



**CITY OF WEST KELOWNA  
REGULAR COUNCIL ADDENDUM**

Tuesday, May 14, 2019, 1:30 P.M.  
COUNCIL CHAMBERS  
2760 CAMERON ROAD, WEST KELOWNA, BC

Pages

**2. INTRODUCTION OF LATE ITEMS**

**\*2.1 Item 8.1.3, DP 18-29, Development Permit With Variances, 1975 Shannon Lake Road**

Letter received from Brian and Patti Cryer

**8. DIVISION REPORTS**

**8.1 DEVELOPMENT SERVICES**

**\*8.1.3 DP 18-29, Development Permit with Variances, 1975 Shannon Lake Road**

3

Recommended Motion:

**THAT** Council authorize the issuance of a Development Permit (DP 18-29) to construct 97 units in 13 buildings ranging between three and four storeys in height, subject to the conditions outlined in and attached to the Development Permit; and

**THAT** Council authorize a variance to S.4.10.3(b) of City of West Kelowna Zoning Bylaw No. 0154 to vary the requirement for all truck and van loading spaces to be located to the rear and side of principal buildings to allow five of the six required spaces to be located along the shared private access road across from the development; and

**THAT** Council authorize a variance to S10.9.5(f) of City of West Kelowna Zoning Bylaw No. 0154 to vary the maximum allowable building heights for 13 townhouse structures from 9.0 m (29.5 ft) to a maximum of 3 storeys to:

- A maximum of 11.4 m (37.4 ft) and 4 storeys for Unit Types A<sub>R</sub>, B1<sub>R</sub> and B2<sub>R</sub> - to accommodate access to rooftop decks;
- A maximum of 9.3 m (30.5 ft) and 3 storeys for Unit Types A, B1 and B2; and
- A maximum of 11.5 m (37.7 ft) and 4 storeys for Unit Type C; and

**THAT** issuance of the Development Permit be withheld pending:

- The receipt of landscape security for the landscape plan attached to DP 18-29 as Schedule 'C' in the amount of \$272,067.00;
- The registration to title of the following statutory rights of way to secure:
  - A connection to an existing 200mm sanitary sewer main to the south and located on the neighbouring property;
  - A connection to an existing 250mm storm sewer main to the south and located on the neighbouring property; and
  - The accessibility in perpetuity of an approved turnaround alternative within the internal road network and the installation of signage identifying this turnaround; and

**THAT** if the Development Permit has not been issued within one year from the date of approval, the Permit shall be deemed to have been refused and the file closed.



COUNCIL REPORT  
Development Services Department  
For the May 14, 2019 Council Meeting

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DATE: April 30, 2019 File: DP 18-29  
TO: Jim Zaffino, CAO  
FROM: Jaleen Rousseau, Planner  
RE: Application: Development Permit with Variances (DP 18-29)  
Address: 1975 Shannon Lake Road  
Legal: Lot A, DL 2602, ODYD, Plan KAP92694  
Owner: 1077915 BC LTD  
Agent: New Town Planning and Architecture Services

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**RECOMMENDED MOTION:**

**THAT** Council authorize the issuance of a Development Permit (DP 18-29) to construct 97 units in 13 buildings ranging between three and four storeys in height, subject to the conditions outlined in and attached to the Development Permit; and

**THAT** Council authorize a variance to S.4.10.3(b) of City of West Kelowna Zoning Bylaw No. 0154 to vary the requirement for all truck and van loading spaces to be located to the rear and side of principal buildings to allow five of the six required spaces to be located along the shared private access road across from the development; and

**THAT** Council authorize a variance to S10.9.5(f) of City of West Kelowna Zoning Bylaw No. 0154 to vary the maximum allowable building heights for 13 townhouse structures from 9.0 m (29.5 ft) to a maximum of 3 storeys to:

- A maximum of 11.4 m (37.4 ft) and 4 storeys for Unit Types A<sub>R</sub>, B1<sub>R</sub> and B2<sub>R</sub> - to accommodate access to rooftop decks;
- A maximum of 9.3 m (30.5 ft) and 3 storeys for Unit Types A, B1 and B2; and
- A maximum of 11.5 m (37.7 ft) and 4 storeys for Unit Type C.

**THAT** issuance of the Development Permit be withheld pending:

- The receipt of landscape security for the landscape plan attached to DP 18-29 as Schedule 'C' in the amount of \$272,067.00;
- The registration to title of the following statutory rights of ways to secure:
  - A connection to an existing 200mm sanitary sewer main to the south and located on the neighbouring property;
  - A connection to an existing 250mm storm sewer main to the south and located on the neighbouring property; and
  - The accessibility in perpetuity of an approved turnaround alternative within the internal road network and the installation of signage identifying this turn around.

**THAT** if the Development Permit has not been issued within one year from the date of approval, the Permit shall be deemed to have been refused and the file closed.

## RATIONALE:

- The proposal provides low-density housing options adjacent to an urban arterial road and in close proximity to a major transportation route (Highway 97);
- The siting, form and character, and landscaping of the proposed development is generally consistent with the minimum requirements for multiple family developments as established in the Development Permit Guidelines contained in the Official Community Plan and the development is well screened;
- The proposal includes the provision of two and three bedroom units with varying unit features which will serve a range of lifestyles and incomes;
- The proposal conforms to the principal uses and regulations outlined in Zoning Bylaw No. 0154 for the Low Density Multiple Residential Zone (R3), with the exception of two variances (building height and location of loading spaces), which are considered to have minimal impact on the site and adjacent properties; and
- The proposed height variance to a maximum of 4 storeys for some of the buildings is to accommodate access to rooftop decks and is not intended to have negative impacts to surrounding neighbours based on site location, topography and existing vegetation that will serve to screen the development.

## LEGISLATIVE REQUIREMENTS:

Council has the authority under Part 14 (s. 490) of the *Local Government Act* to issue a Development Permit. This Development Permit is specifically for form and character of a multiple family residential development. Section 498 of the *Local Government Act* gives Council the authority to issue a development variance permit that varies, in respect of the land covered in the permit, the provisions of the Zoning Bylaw.

## BACKGROUND:

### **Proposal**

The applicant is requesting the issuance of a Form and Character Development Permit with Variances to facilitate the construction of a 97 unit strata townhouse units in 13 structures. The proposal in its entirety includes:

- 8 two bedroom units and 89 three bedroom units;
- Four townhouse structures with rooftop decks (38 units);
- Nine townhouse structures without rooftop decks (59 units); and
- 3,089.4 m<sup>2</sup> of outdoor amenity space that includes greenspace, seven community garden plots, benches and a playground area comprised of 630 ft<sup>2</sup> geared towards children aged 5 – 12 years.

The requested variances pertain to building height to accommodate access to rooftop decks and the location of loading spaces.

### **Location and Surrounding Uses**

The 27,599.6 m<sup>2</sup> (6.82 acres) subject property is a large hillside parcel located within the Shannon Lake neighbourhood (*See Attachments 2 & 3*). It was rezoned in 2011 (Z08/09) from a Manufactured Home Park zone to a Low Density Multiple Residential zone.

The subject property is located adjacent to and accessed from Shannon Lake Rd. From Shannon Lake Rd an unnamed shared private access road runs through and past the subject

property and is the primary access for 20 manufactured homes situated at the end of this access road, just south of the subject property (See Figure 1).

While the subject property is adjacent to Shannon Lake Road, it is elevated approximately 12 m above the Road (and 44 m below Hedgestone Drive, a nearby single family subdivision). The property was previously disturbed resulting in a significant area at the top of the site that is relatively flat. The remainder of the property is comprised of environmentally protected lands that slop down to Shannon Lake Rd to the north and the adjacent manufactured home park (Crystal Springs) to the east. A single detached dwelling and accessory structure are currently maintained on site.



Figure 1: Subject Property Location Adjacent to Shannon Lake Rd

Uses surrounding the subject property include:

- North – Shannon Lake Road and a remnant of Shannon Highlands Municipal Park (natural, undeveloped).
- East – Crystal Springs manufactured home park.
- West – Shannon Highlands Municipal Park (natural, undeveloped).
- South – Shannon Highlands Municipal Park (natural, undeveloped), a shared private access road and 20 manufactured homes at the end of the access road.

## POLICY AND BYLAW REVIEW:

### **Official Community Plan (OCP) Bylaw No. 0100**

#### *Land Use Designation*

The subject property maintains a Land Use Designation of *Low Density Multiple Family (LDMF)*, which anticipates semi-detached and attached townhouses. The purpose of this designation is to provide a broader range of housing opportunities in areas served by transit and in walking distance to community amenities, shops and services, while acknowledging the adjacent land uses. The proposal is aligned with the LDMF designation.

#### *Development Permit Areas (DPAs)*

The proposed development is subject to three of the City's DPAs: Hillside; Sensitive Terrestrial Ecosystem; and Form and Character for General and Multiple Family and Intensive Residential development.

In accordance with S.4.3.4, *DPA 4 – Exemptions, Item 3* and S.4.3.7, *DPA 6 – Exemptions, Item 3* of the OCP, the Hillside and Sensitive Terrestrial Ecosystem DPAs are considered to be adequately addressed for this application for the following reasons:

- Site development is to occur primarily on the portion of the subject property that has been previously disturbed;

- A Section 219 No Build / No Disturb covenant respecting geotechnical and environmental conditions is currently registered to title which addresses:
  - Preservation of steep slopes and existing vegetation (all slopes along the north and east parcel boundaries);
  - Required building setback (2.0 m setback from the crest of the fill embankment located in the northeast portion of the site); and
  - Rock fall hazard area (lands south of and abutting the access road).
- The applicant has submitted an addendum to the geotechnical report contained within the Section 219 No Build / No Disturb covenant confirming the suitability of the site for the proposed development in its current form.

The Form and Character DPA for General and Multiple Residential development guidelines encourage pedestrian oriented design, safe communities, and visual interest through careful and thoughtful site design, building form and character, and landscaping. The proposal is found to be in general accordance with these guidelines.

## Site Design

### *Building Locations*

The OCP guidelines encourage appropriate orientation and relationship to adjoining uses. As a result of topography and existing vegetation, the subject property is a sufficient distance from adjacent single family (south, upslope), modular (south and east, down slope) and agricultural uses (north, downslope and across Shannon Lake Rd) resulting in limited anticipated impacts to adjacent uses.

The proposal includes 13 townhouse structures clustered in a previously disturbed area of the site (See *Figure 2*). Five of the townhouse structures (37 units) are located around the primary amenity space area (highlighted in Figure 2 with a dashed blue line). This area includes greenspace, an internal pathway, benches, seven community garden plots and play equipment



Figure 2: Site Layout

for children aged 5 to 12 valued at \$30,000. The amenity space provided for the entire subject property (3,089.4 m<sup>2</sup>) includes the green areas depicted in Figure 2. The provision of this amount of amenity space exceeds the minimum required space of 2,425 m<sup>2</sup>.

*Unit Types and Sizes*

The proposal includes a range of options respecting unit type, size and layout, which will serve a range of lifestyles and incomes. These variations are identified in Table 1 below.

**Table 1: DP 18-29 Unit Types and Sizes**

Unit Type	Number of Units	Number of Bedrooms	Total Gross Floor Area	Garage Style	Rooftop Deck	Total Building Height
Unit A <sub>R</sub>	1	2 + flex*	1,689.6 ft <sup>2</sup>	Tandem	Yes	11.4 M (37.4 ft)
Unit A	7	2 + flex*	1,609.5 ft <sup>2</sup>	Tandem	No	9.3 m (30.5 ft)
Unit B1 <sub>R</sub>	11	3	1,657.2 ft <sup>2</sup>	Tandem	Yes	11.4 m (37.4 ft)
Unit B2 <sub>R</sub>	11	3	1,659.5 ft <sup>2</sup>	Tandem	Yes	11.4 m (37.4 ft)
Unit B1	26	3	1,577.1 ft <sup>2</sup>	Tandem	No	9.3 m (30.5 ft)
Unit B2	26	3	1,579.4 ft <sup>2</sup>	Tandem	No	9.3 m (30.5 ft)
Unit C	15	3	1,931 ft <sup>2</sup>	Double	Yes	11.5 m (37.7 ft)
TOTALS	97	2 Bdrms = 8 3 Bdrms = 89	160,473.8 ft <sup>2</sup>	Tandem = 82 Double = 15	38 Rooftop Decks	N/A

\*Flex space offered in Units A<sub>R</sub> and A are rooms smaller than a typical bedroom and intended to serve as a space that can change use to suit a variety of needs (e.g. office, movie room, extra bedroom, etc).

*Form & Character*

The OCP encourages that where heights of buildings are in excess of three storeys that the fourth storey should be noticeably stepped back. The four buildings proposed at four storeys do not include living space on the fourth storey. Rather, the fourth storey is to accommodate access to rooftop patios.

The OCP encourages variation in building facades through the incorporation of a variety materials and colours, as well as window shapes and sizes. The proposal includes a basic colour and material scheme that is organized in a way that adds interest and textured detail to the development (See Figures 3 & 4). The building materials and colour scheme are largely comprised of hardie panels coloured in black and greys in addition to blue and yellow accent colours that vary between structures to provide differentiation amongst the buildings. Refer to Attachment 5 for renderings of all 13 proposed structures.



Figure 3: Rendering Depicting Townhouse Form and Character



Figure 4: Rendering Depicting Townhouse Form and Character

### *Landscape Plan*

Landscaping is intended to enhance the appearance of areas of private development. The landscape plan includes a mix of trees, shrubs, grasses and perennials. The proposal includes landscaping to be located primarily within the amenity space area and around the townhouse complexes. The total landscaping security is \$272,067.00 (at 125% of the cost). Prior to issuance of the Permit, it is recommended that the security be required to be submitted to ensure the installation of the identified landscape plantings and hardscaping. Refer to *Attachment 6* for the Landscape Plan.

### **Zoning Bylaw No. 0154**

The proposal conforms to the principal uses and regulations outlined in the Zoning Bylaw for the Low Density Multiple Residential Zone (R3), including density, parcel coverage, frontage and setbacks, with the exception of height. The proposed development meets the minimum required parking spaces. However, the applicant proposes to locate five of the six required loading spaces contrary to applicable Zoning regulations. The applicant is requesting two variances to applicable Zoning Bylaw requirements in order to facilitate the development as proposed:

### *Variance Requests*

#### 1. Location and Number of Loading Spaces

To vary the requirement for all truck and van loading spaces to be located to the rear and side of principal buildings to allow five of the six required spaces to be located along the shared private access road across from the development (See *Figure 4*).

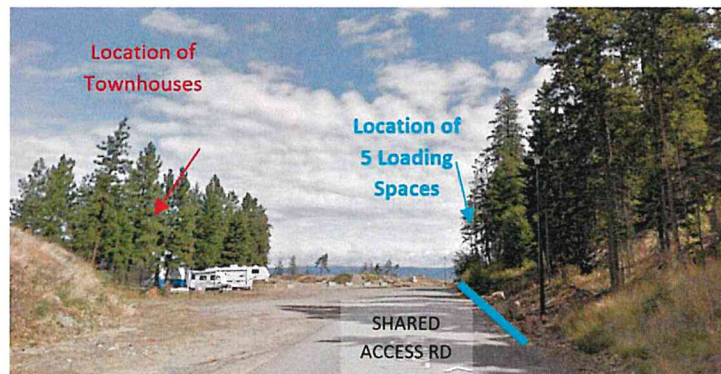


Figure 5: Loading Spaces on Access Road

The City's Zoning Bylaw requires that loading spaces are located at the rear and side of the residential structures that they serve. Locating these spaces outside of the internal road network



and so far from the buildings does not provide for a realistic approach to transportation of boxes, furniture and the like to residential units within the development where necessary. Rather, the present location of these loading spaces is likely to result in the parking of these large vehicles within the internal road network, in front of buildings. This design has the potential to interrupt the flow of regular traffic, garbage collection, delivery trucks and emergency vehicles. Ultimately, the frequency of internal circulation conflicts are anticipated to be minimal, and would largely be associated with the strata road width (6 m). In consideration of all related loading space considerations, staff are recommending support of the proposed loading space location variance.

Additionally, as the City is currently undertaking a Zoning Bylaw review, an evaluation of the potential reduction of required loading spaces has been planned as part of this review. Should this review result in staff recommending a reduction in this type of parking, Council must first consider and then approve this regulatory change.

## 2. Height

To vary the maximum allowable building heights for 13 townhouse structures from 9.0 m (29.5 ft) to a maximum of 3 storeys to:

1. A maximum of 11.4 m (37.4 ft) and 4 storeys for Unit Types A<sub>R</sub>, B1<sub>R</sub> and B2<sub>R</sub> - with rooftop decks;
2. A maximum of 9.3 m (30.5 ft) and 3 storeys for Unit Types A, B1 and B2; and
3. A maximum of 11.5 m (37.7 ft) and 4 storeys for Unit Type C.

Staff are recommending support of the proposed height variance, as the request is not to accommodate an additional storey but rather building form and rooftop patio accesses.

Four of the structures are proposed at four storeys in height to accommodate access to rooftop patios (38 units). An additional storey of habitable space is not being proposed. These structures are located primarily along the northern and eastern parcel boundaries. The remaining nine structures are proposed at three storeys in height and do not include rooftop patios (59 units). All 13 structures are proposed to exceed the maximum allowable building height of 9.0 m (29.5 ft) as stipulated in the City's Zoning Bylaw. The applicant has provided a rationale in support of the proposed variances (*See Attachment 7*). Additionally, as the City is currently undertaking a Zoning Bylaw review, an evaluation of the exclusion of accesses to rooftop decks has been planned as part of this review. Should this review result in staff recommending this building component is excluded from the calculation of height, Council must first consider and then approve this regulatory change.

No negative impacts resulting from the proposed variances are anticipated as a result of the sites' elevation above Shannon Lake Road and the existing vegetative buffer within the protected area between the proposed buildings and the Road.

## **Technical Review**

### Site Access

The property is accessed off of Shannon Lake Road (Urban Arterial Road). Parcel frontage on Shannon Lake Rd is currently built to an urban standard and includes sidewalks and streetlights. Further improvements are not required.

### Traffic

The City's Works and Servicing Bylaw No. 0249 requires that adequate turnarounds are provided at 90 m intervals. However, topography of the site would necessitate undesirable rock cuts to achieve this preferred interval. As a result, the City has accepted an alternative approach that would allow for this requirement to be satisfied within a portion of the internal roadway while also ensuring that a turnaround is provided within a reasonable distance. This requires:

- Protection of the turnaround alternative through registration of a statutory right of way to ensure it remains accessible in perpetuity;
- Signage installed identifying the accessibility and location of the turnaround; and
- That the internal roadway meets the minimum required standards for emergency vehicles.

The applicant has confirmed that the minimum required standards for emergency vehicles can be accommodated within the internal roadway. Registration of a statutory right of way to ensure that the turnaround remains accessible in perpetuity and the installation of signage is achieved will be required as a condition of issuance of the Permit.

A traffic impact assessment is not required for developments less than 100 units as per the City's Standardized Terms of Reference. However, it is expected that the proposed development will result in increased volume of traffic currently experienced by the 20 residents located along the existing shared private access route.

### Internal Circulation

The site plan proposes the first of two points of access for vehicular traffic into the multiple family development approximately 150 m up the shared private access road from Shannon Lake Rd. The internal roadway serving the clustered townhouses begins at these access points, which forms a crescent (publicly accessible alternate turnaround). From the northeastern corner of the crescent the internal roadway continues further into the remainder of the multi-family development, which includes a single hammerhead at the southeast end of the development which satisfies the needs of emergency vehicles. This design meets the standards required under the City's Works and Services Bylaw No. 0249 for strata roads, which allows for reduced road width (6 m) and servicing standards than what is required for public roadways (18 – 20 m) within the City.

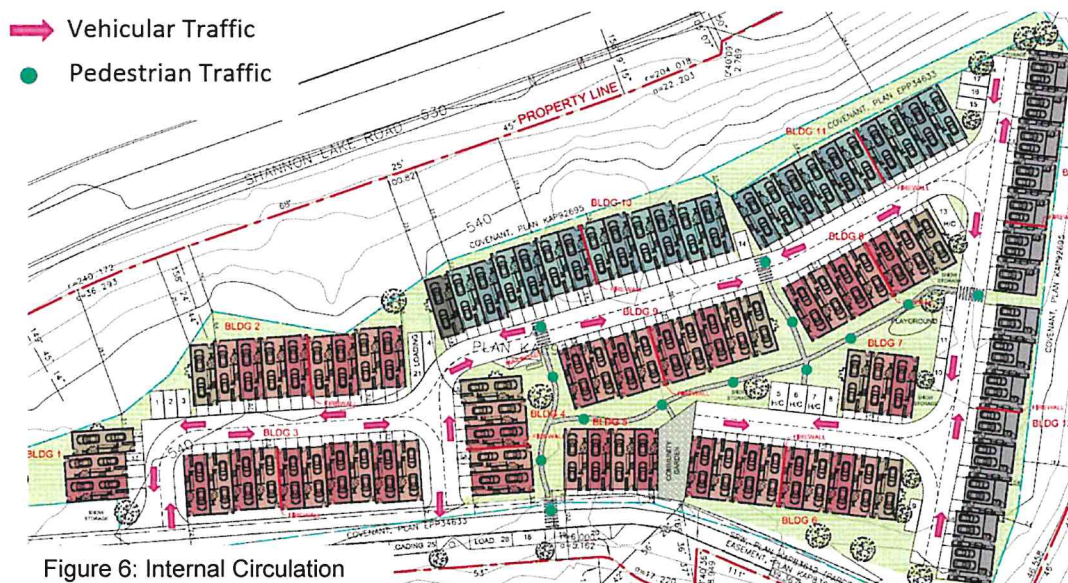


Figure 6: Internal Circulation

Designated pedestrian access throughout the site has not been provided. Rather, it is limited to four delineated crosswalks (one crossing the shared private access road and three crossing the internal road network) and a paved trail through the primary amenity space area (See Figure 6). The City's OCP directs that site design should separate vehicular and pedestrian traffic where possible. Where this is not possible, special design treatment should be utilized to ensure safe pedestrian movement. This includes provisions for movement from parking areas to

destinations. While provisions for safe pedestrian movement have not been provided for throughout the entire site, the proposal does make an effort to provide pedestrian pathways through the primary amenity space area in addition to pedestrian crossings throughout the site.

### *Parking*

Parking is provided for each unit within either a tandem (82 units) or double garage (15 units). Driveway lengths in front of garages vary with a minimum depth for all driveways of 1.5 m (4.9 ft). Driveways are not intended to accommodate parked cars. In total, 194 resident stalls, 20 visitor stalls (four of which are accessible stalls) and six loading spaces have been provided throughout the site. These parking provisions are consistent with the number of parking spaces required for each parking category.

### Site Servicing

The proposed development can be serviced by existing area services. On December 18, 2018 Council approved a Petition to Amend the Boundary of the City of West Kelowna Rose Valley Water System to include the subject property within this service area (Bylaw No. 0239.03). Sanitary and Stormwater service connections are available to the south of the subject property. However, registration of statutory rights of ways (SRWs) is necessary to secure these connections through to neighbouring property. Registration of these SRWs will be required as a condition of issuance of the Development Permit.

### Geotechnical Investigation

In addition to the existing Section 219 No Build / No Disturb covenant registered to title the applicant has submitted an addendum to the supporting geotechnical report for the site commissioned in 2012. The addendum concurs with the covenant content for the present development proposal with the additional recommendation for mitigation of a rock fall hazard area along the strata road (installation of chain-link fencing). The proposed development has been designed in consideration of all geotechnical and environmental components.

### Covenants

The subject property currently maintains several legal documents respecting site use and development including, but not limited to:

- (CA3415589) Section 219 No Build / No Disturb covenant respecting geotechnical and environmental conditions;
- (LB041628) Emergency access easement over the shared private access road; and
- (LB500110) Statutory Right of Way in favour of West Kelowna to ensure a 3 m wide public use recreational trail in the northeastern most corner of the subject property and connecting down to Shannon Lake Road in the interest of residents of 1975 Shannon Lake Rd. The majority of this right away occurs on public land and is currently undeveloped. The City has no plans to further develop this trail connection.

### *View points*

The proposed development will be visible from Shannon Lake Road and the shared private access road. The protected hillside area along the north end of the subject property is vegetated and will provide partial screening along Shannon Lake Rd (*See Figures 7 - 10*).



Figure 7: Existing View Travelling Eastbound on Shannon Lake Rd



Figure 8: View of Development from Shannon Lake Road (Provided by Applicant)



Figure 9: View of Development Travelling up the Shared Private Access Rd Towards Shannon Lake Rd



Figure 10: View Point of Development from Shannon Lake Road (Provided by Applicant)

Phasing

The applicant has proposed to phase development of the site for financing and occupancy purposes. Phasing of this project will require a strata subdivision application process. Details of the phasing plan are shown in Figure 11 below.

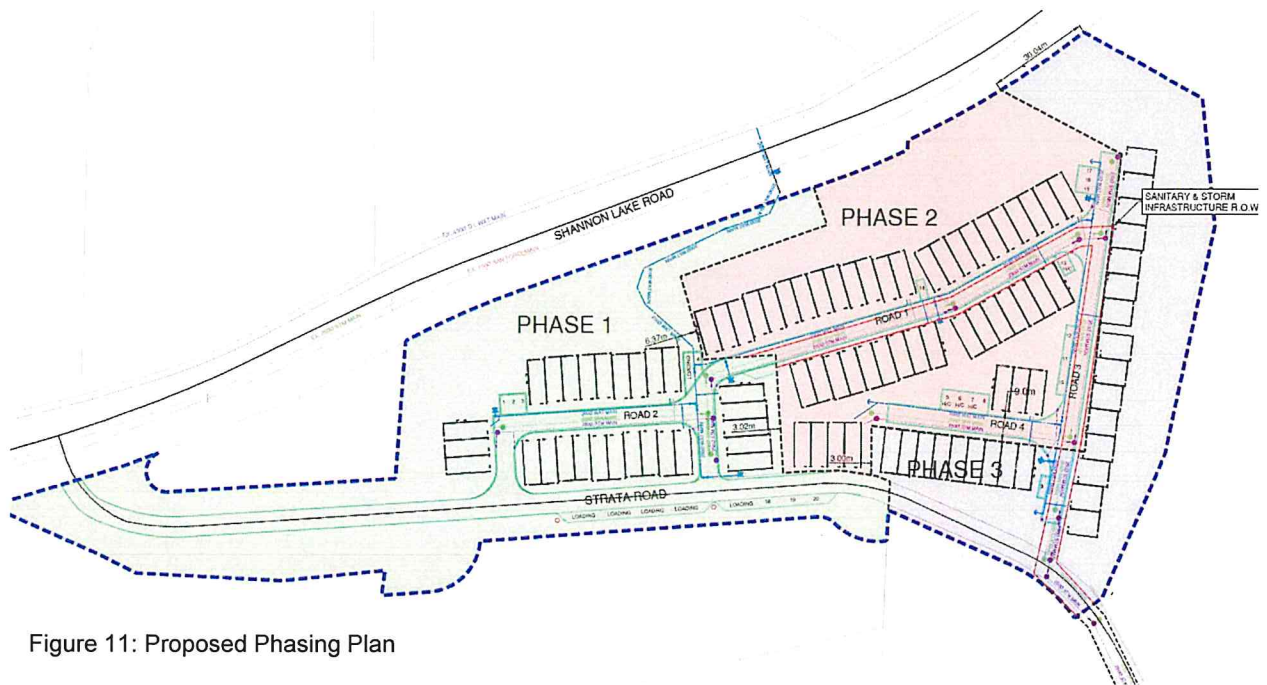


Figure 11: Proposed Phasing Plan

As the parcel is zoned R3, each phase will be required to meet the minimum zoning requirements applicable for that zone, including but not limited to parcel frontage and setbacks. The primary amenity space area is located in Phase II, however, the landscape cost estimate includes the costs related to the playground, paved internal trail network and associated landscaping, which will be secured as a condition of issuance of the Development Permit.

**Public Notification**

In accordance with the *Local Government Act* for the proposed variances, letters were sent to all property owners and their tenants (124 notices) within 100 metres of the subject property

(Attachment 8). A development notice sign has been placed on the subject property in accordance with the Development Application Procedures Bylaw No. 0260. As of the date of this report, no submissions have been received from the public.

ALTERNATE MOTIONS:

**1. Postpone Consideration of Development Permit with Variances DP 18-29**

**THAT** Council postpone consideration of Development Permit (DP 18-29).


Council may wish to postpone the issuance of the Development Permit and require the applicant to redesign components of the proposal in accordance with the City's Zoning Bylaw or Official Community Plan Development Permit Guidelines.


**2. Deny Consideration of Development Permit with Variances DP 18-29**

**THAT** Council deny Development Permit (DP 18-29).

Council may wish to deny the requested variances and require the applicant to redesign the proposal in accordance with the City's Zoning Bylaw and/or Official Community Plan Development Permit guidelines. If the proposal was revised to avoid the proposed variances, the site plan and proposed building siting would have to be redesigned and the Development Permit would require further consideration by Council.

Respectfully submitted,

  
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Jaleen Rousseau  
Planner

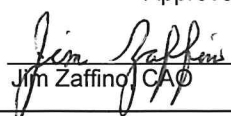
  
\_\_\_\_\_  
Brent Magnan  
Planning Manager

  
\_\_\_\_\_  
Nancy Henderson  
General Manager of Development Services

  
\_\_\_\_\_  
Bob Dargatz  
Development Manager / Approving  
Officer Development Engineering

Powerpoint: Yes  No

- Attachments:
- 1. Draft Development Permit DP 18-40 (not all documents attached)
  - 2. Subject Property Map
  - 3. Context Map
  - 4. Site Plan
  - 5. Architectural Plans/Renderings/Elevations
  - 6. Landscape Plan
  - 7. Variance Rationale
  - 8. Public Notification Map

Approved for Agenda  
  
Jim Zaffino, CAO  
Date May 8, 2019



**CITY OF WEST KELOWNA**  
**DEVELOPMENT PERMIT WITH VARIANCES**  
**DP 18-29**

**To:** 1077915 BC, LTD., INC. NO. BC1077915  
 207 – 12639 – 80<sup>th</sup> Avenue  
 Surrey, BC, V3W 3A6  
 c/o  
 New Town Architecture and Engineering Inc  
 1464 St. Paul Street  
 Kelowna, BC, V1Y 2E6

1. This Permit is issued subject to compliance with all of the Bylaws of the City of West Kelowna applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Permit applies to and only to those lands within the City of West Kelowna described below, and any and all buildings, structures and other developments thereon:

**LOT A, DL 2602, ODYD, PLAN KAP92694**  
 (1975 Shannon Lake Road)

3. This Permit allows the construction of 97 townhouse units in 13 buildings, ranging between three and four storeys in height and in the **Multiple Family and Intensive Residential Development Permit Area (DPA 3) Design Guidelines**, subject to the following conditions and related Schedules:
  - A. The siting, exterior design, and finish of buildings are to be in accordance with the Architectural submission (site plan, elevations, renderings, and materials and colour schedule) by New Town Architecture and Engineering Inc., dated April 3, 2019 and attached within Schedule "A" subject to the following:
  - B. The dimensions and siting of the structures to be constructed on the land be in accordance with Civil Engineering Drawings (site servicing and grading plans, stormwater management plan, and erosion, sediment control plan and fire truck turning movements), dated November 21, 2018 and Servicing Feasibility Study by New Town Architecture and Engineering Inc., dated August 23, 2018 and attached within Schedule "B" and subject to the following:
  - C. The landscaping to be provided on the land be in accordance with Landscape Drawings by Ecora Engineering and Resource Group Ltd, dated February 25, 2019 and attached within Schedule "C"; and
  - D. All construction activities to be conducted on the land be in general accordance with the Geotechnical Hazard Assessment by Beacon Geotechnical, dated December 5, 2018, Rock Fall Protection Email dated January 25, 2019 and New Town Architecture and Engineering Inc. Site Plan PR. Features, Drawing No. 004, dated April 10, 2019 attached within Schedule "D".

- E. The following variances to Zoning Bylaw No. 0154 are included as part of this Development Permit:
- A. To S.10.9.5(f) to vary the maximum allowable building heights for 13 townhouse structures from 9.0 m (29.5 ft) to a maximum of 3 storeys to:
- A maximum of 11.4 m (37.4 ft) and 4 storeys for Unit Types A<sub>R</sub>, B1<sub>R</sub> and B2<sub>R</sub> - with rooftop decks;
  - A maximum of 9.3 m (30.5 ft) and 3 storeys for Unit Types A, B1 and B2; and
  - A maximum of 11.5 m (37.7 ft) and 4 storeys for Unit Type C.
- B. To S.4.10.3(b) not require five of the six required truck and van loading spaces to be located to the rear and side of the principal buildings.
4. As a condition of the issuance of this Permit the following requirements shall be satisfied:
- A. The City of West Kelowna is holding a landscape security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Permittee and be paid to the Permittee if the security is returned. The condition of the posting of the security is that should the Permittee fail to carry out the development hereby authorized, according to the terms and conditions of the Permit within the time provided, the City of West Kelowna may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Permittee, or should the Permittee carry out the development permitted by this Permit within the time set out below, the security shall be returned to the Permittee. There is filed accordingly:
- An Irrevocable Letter of Credit or Bank Draft in the amount of \$272,067.00.**
- B. Registration to title of the following statutory rights of ways have been secured:
1. A connection to an existing 200mm sanitary sewer main to the south and located on the neighbouring property;
  2. A connection to an existing 250mm storm sewer main to the south and located on the neighbouring property; and
  3. The accessibility in perpetuity of an approved turnaround alternative within the internal road network and the installation of signage identifying this turn around.
5. The land described herein shall be developed strictly in accordance with the terms and conditions of this Permit and any plans and specifications attached to this Permit, which shall form a part hereof. Should any changes be required to this permit, please ensure that you obtain written approval from City of West Kelowna prior to making any changes.
6. If this Development Permit has not been issued within one year from approval, Development Permit DP 18-29 with Variances shall be deemed to have been refused and the file will be closed.
7. **This Permit is not a Building Permit.**
8. Subject to the terms of the permit, where the holder of a permit issued under the *Local Government Act* does not substantially commence any construction with respect to which



the permit was issued within one year after the date it is issued, the permit lapses.

AUTHORIZING RESOLUTION NO. CXXX/19 PASSED BY THE MUNICIPAL COUNCIL ON APRIL XX, 2019.

Signed on \_\_\_\_\_

\_\_\_\_\_  
City Clerk

I hereby confirm that I have read and agree with the conditions of Development Permit DP 18-29 with Variances and will ensure that copies of the Permit will be provided to onsite personnel at time of construction.

Signed on \_\_\_\_\_

\_\_\_\_\_  
Property Owner or Agent

ISSUED on \_\_\_\_\_

Attached Schedules:

Schedule "A"

1. Shannon Lake Townhouse Development Architectural Drawings by New Town Architecture and Engineering Inc, dated March 6, 2019.

Schedule "B"

1. Civil Engineer Drawings by New Town Architecture and Engineering Inc, dated November 21, 2018.
2. Servicing Feasibility Study by New Town Architecture and Engineering Inc, dated August 23, 2018.

Schedule "C"

1. Landscape Plan and Estimate of Probably Costs – Reference: LDP 01 / LDP 02 / LDP 03 by Ecora Engineering and Resource Group Ltd, dated February 25, 2019.

Schedule "D"

1. Geotechnical Hazard Assessment by Beacon Geotechnical, dated December 5, 2018;
2. Rock Fall Protection Email dated January 25, 2019; and
3. Site Plan PR. Features, Drawing No. 004, dated April 10, 2019.



CITY OF WEST KELOWNA

# SUBJECT PROPERTY: DP 18-29



Subject Property  
(1975 Shannon Lake Road)

see Zoning Bylaw for  
site specific use

### LEGEND

- Subject Property
- Zoning Boundary
- Parcels

File: DP 18-29

Legal Description: Lot A, DL 2602, ODYD, Plan KAP92694





CITY OF WEST KELOWNA

# CONTEXT MAP: DP 18-29



File: DP 18-19

Legal Description: Lot A, DL 2602. ODYD, Plan KAP92694

 Subject Property

 City Boundary



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**NEW TOWN DEVELOPMENT INC.**  
 URBAN PLANNING  
 1100 WEST 10TH AVENUE  
 VANCOUVER, BC V6H 2E6  
 WWW.NTDCORP.COM

Scale

Revision	No	Date	Description
1	18-09-23		ISSUED FOR BP
2	18-11-09		RE-ISSUED FOR BP
3	18-03-09		RE-ISSUED FOR BP

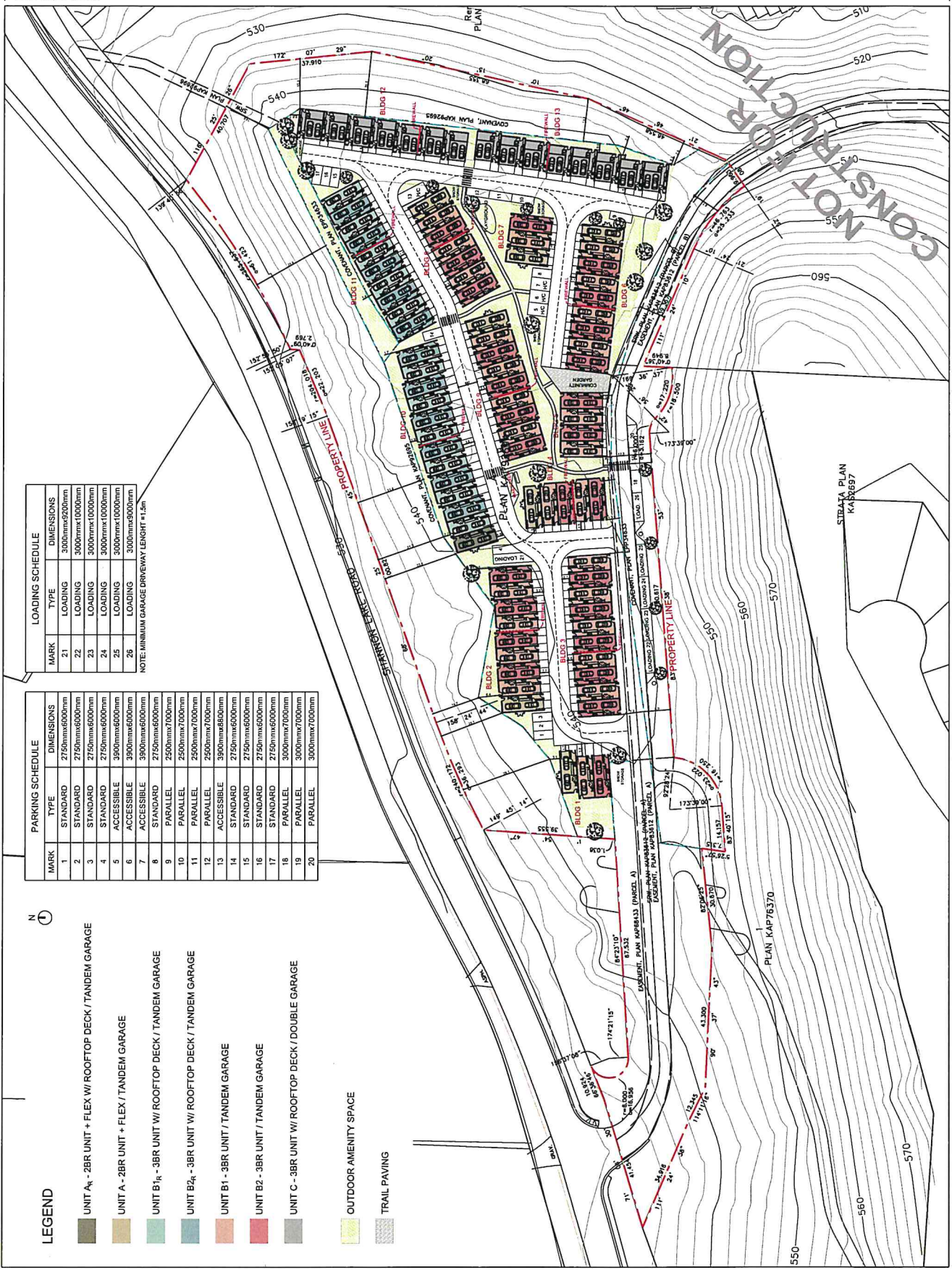
PROJECT NAME: SHANNON LAKE  
 PROJECT ADDRESS: Shannon lake road West Kelowna, BC  
 PROJECT NO.: 4030  
**SITE PLAN**  
 SCALE: 1:1000  
 DATE: N.T.  
**A2.0**

MARK	TYPE	DIMENSIONS
21	LOADING	3000mmx9000mm
22	LOADING	3000mmx10000mm
23	LOADING	3000mmx10000mm
24	LOADING	3000mmx10000mm
25	LOADING	3000mmx10000mm
26	LOADING	3000mmx9000mm

NOTE: MINIMUM GARAGE DRIVEWAY LENGTH = 4.5m

MARK	TYPE	DIMENSIONS
1	STANDARD	2750mmx6000mm
2	STANDARD	2750mmx6000mm
3	STANDARD	2750mmx6000mm
4	STANDARD	2750mmx6000mm
5	ACCESSIBLE	3900mmx6000mm
6	ACCESSIBLE	3900mmx6000mm
7	ACCESSIBLE	3900mmx6000mm
8	STANDARD	2750mmx6000mm
9	PARALLEL	2500mmx7000mm
10	PARALLEL	2500mmx7000mm
11	PARALLEL	2500mmx7000mm
12	PARALLEL	2500mmx7000mm
13	ACCESSIBLE	3900mmx8800mm
14	STANDARD	2750mmx6000mm
15	STANDARD	2750mmx6000mm
16	STANDARD	2750mmx6000mm
17	STANDARD	2750mmx6000mm
18	PARALLEL	3000mmx7000mm
19	PARALLEL	3000mmx7000mm
20	PARALLEL	3000mmx7000mm

- LEGEND**
- UNIT A<sub>1</sub> - 2BR UNIT + FLEX W/ ROOFTOP DECK / TANDEM GARAGE
  - UNIT A - 2BR UNIT + FLEX / TANDEM GARAGE
  - UNIT B<sub>1a</sub> - 3BR UNIT W/ ROOFTOP DECK / TANDEM GARAGE
  - UNIT B<sub>2a</sub> - 3BR UNIT W/ ROOFTOP DECK / TANDEM GARAGE
  - UNIT B<sub>1</sub> - 3BR UNIT / TANDEM GARAGE
  - UNIT B<sub>2</sub> - 3BR UNIT / TANDEM GARAGE
  - UNIT C - 3BR UNIT W/ ROOFTOP DECK / DOUBLE GARAGE
  - OUTDOOR / AMENITY SPACE
  - TRAIL PAVING



# SHANNON LAKE TOWNHOUSE DEVELOPMENT

RE-ISSUED FOR DEVELOPMENT PERMIT, MARCH 06, 2019



NOT FOR CONSTRUCTION

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WWW.NEWTOWNSERVICES.CA

Scale

Rev#	Date	Description
1	18-05-23	ISSUED FOR DP
2	18-11-29	REISSUED FOR DP
3	18-03-06	REISSUED FOR DP

**SHANNON LAKE**  
TOWNHOUSE  
DEVELOPMENT

Project name  
1875 Shannon Lake road  
Kawatha, BC, V1Y 6L8

Project No.  
2019-001

Drawing No.  
**COVER SHEET**

Scale

**A0.0**

## ARCHITECTURAL

NEW TOWN ARCHITECTURE & ENGINEERING INC.  
1464 St. Paul Street Kelowna, B.C., V1Y 2E5

Roman Yermolenko, Architect AIBC  
PC: 250 860 8185, fax: 250 860 0985  
romsi@newtownservices.net

Lenka Aligerova, Building Design Technologist  
ph: 250 860 8185, fax: 250 860 0985  
lenka@newtownservices.net

### DRAWING LIST:

- A0.0 COVER SHEET
- A1.0 ZONING & CODE REVIEW
- A2.0 SITE PLAN
- A3.1M UNIT PLANS AR (GR-FLEX-DECK)
- A3.2M UNIT PLANS BR (GR-FLEX-DECK)
- A3.3R UNIT PLANS BR & BR (GR-DECK)
- A3.4R UNIT PLANS BR & BR (GR-DECK)
- A3.5B UNIT PLANS B1 & B2 (DBR)
- A3.6C UNIT PLANS C (GR-DECK)
- A4.0 ELEVATIONS BLDG 1
- A4.1 ELEVATIONS BLDG 1,2,6,7,8,9
- A4.2 ELEVATIONS BLDG 3&4
- A4.3 ELEVATIONS BLDG 5&6
- A4.4 ELEVATIONS BLDG 10
- A4.5 ELEVATIONS BLDG 11
- A4.6 ELEVATIONS BLDG 12
- A4.7 ELEVATIONS BLDG 13
- A5.1A SECTIONS UNITS TYPE A
- A5.2B SECTIONS UNITS TYPE B
- A5.3C SECTIONS UNITS TYPE C
- A5.4C SECTIONS UNITS TYPE D
- A6.0 DEVELOPMENT VIEW 1
- A8.1 DEVELOPMENT VIEW 2
- A8.2 DEVELOPMENT VIEW 3
- A8.3 DEVELOPMENT VIEW 4
- A8.4 DEVELOPMENT VIEW 5

## CIVIL

NEW TOWN ARCHITECTURE & ENGINEERING INC.  
1464 St. Paul Street Kelowna, B.C., V1Y 2E5

Jacob Paul, EIT  
ph: 250 860 8185, fax: 250 860 0985  
jacob@newtownservices.net

### DRAWING LIST:

- 001 COVER PAGE
- 002 GENERAL NOTES
- 003 SITE PLAN EX FEATURES
- 004 OFFSITE FEATURES
- 005 OFFSITE FEATURES
- 006 SITE PLAN 1 WITH ORTHO
- 007 SITE PLAN 2 WITH ORTHO
- 008 SITE PLAN 3 WITH ORTHO
- 102 GRADING PLAN 2
- 103 GRADING PLAN 3
- 201 ROAD 1 - ROAD & WATER PLAN & PROFILE
- 202 ROAD 2 - ROAD & WATER PLAN & PROFILE
- 203 ROAD 3 - ROAD & WATER PLAN & PROFILE
- 204 ROAD 4 - ROAD & WATER PLAN & PROFILE
- 301 ROAD 1 - SAN & STM PLAN & PROFILE
- 302 ROAD 2 - SAN & STM PLAN & PROFILE
- 303 ROAD 3 - SAN & STM PLAN & PROFILE
- 304 ROAD 4 - SAN & STM PLAN & PROFILE
- 401 SHANNON LK RD WAT CONNECT PLAN & PROFILE
- 402 STRATA ROAD - SAN & STM PLAN & PROFILE
- 501 STORM WATER MANAGEMENT PLAN 1
- 502 STORM WATER MANAGEMENT PLAN 2
- 503 STORM WATER CALCULATIONS
- 601 EROSION & SEDIMENT CONTROL PLAN
- 602 EROSION & SEDIMENT STANDARD DETAILS
- 701 CROSS SECTION 1
- 702 CROSS SECTION 2
- 703 CROSS SECTION 3
- 801 FIRE TRUCK TURNING MOVEMENTS

# SHANNON LAKE ROAD TOWNHOUSES

ADDRESS:  
1975 Shannon Lake Road, West Kelowna, BC

LEGAL DESCRIPTION:  
Lot A, District Lot 2002, ODTD, Plan MAPP2204

GRADE:  
EXISTING AVERAGE - FLAT

PROPOSED AVERAGE - FLAT

NUMBER OF BUILDINGS:  
13 TOWNHOUSE BUILDINGS

## ZONING ANALYSIS:

EXISTING	PROPOSED
ZONING: R1	R1

## RM3 ZONING REQUIREMENTS: REQUIRED PROPOSED

### SITE DETAILS

MINIMUM PARCEL AREA (m <sup>2</sup> )	27,596 m <sup>2</sup>
MINIMUM USABLE PARCEL AREA (m <sup>2</sup> )	13,981 m <sup>2</sup>
MINIMUM PARCEL FRONTAGE (m)	220 m
MAX SITE COVERAGE FOR BUILDINGS (%)	24.5%

## DEVELOPMENT REGULATIONS

TOTAL NUMBER & TYPES OF UNITS:	1x UNIT A, 2BR 22x UNIT B1 + 1x BA, 3BR 15x UNIT C, 3BR	7x UNIT A, 2BR 52x UNIT B1 + 1x BA, 3BR 52x UNIT B1 + 1x BA, 3BR
BLOCK 1: 3 UNITS	BLOCK 6: 8 UNITS	BLOCK 13: 8 UNITS
BLOCK 2: 9 UNITS	BLOCK 9: 8 UNITS	BLOCK 10: 11 UNITS
BLOCK 3: 10 UNITS	BLOCK 10: 11 UNITS	BLOCK 11: 10 UNITS
BLOCK 4: 5 UNITS	BLOCK 6: 8 UNITS	BLOCK 12: 7 UNITS
FLOOR AREA (GF+P+K): MAX 2,089 m <sup>2</sup> BASED ON ULS FAR	L1: 624 m <sup>2</sup> ULS FAR GFA FOR FAR = 14,127.6 m <sup>2</sup>	
MAX DENSITY (P/M): 0.75	0.55	
BUILDING HEIGHT: 3 STORES (9.14m)	4 STORES (11.5m) (3.10 TO PARADEY)	
SETBACKS:		
FRONT: 4.5 m	30.0m	
INT. SIDE: 3.0 m	7.9 m	
EXT. SIDE: 4.5 m	10A	
REAR: 7.5 m	14.8 m	
NUMBER OF PARKING STALLS: 2 PER 1 DWELLING UNIT + 15A 10% OF TOTAL PARKING REQ. FOR VISITORS + 20	194 STALLS 20 VISITOR STALLS (4 HO STALLS) / ON SITE 6 LOADING SPACES	
MIN. OUTDOOR AMENITY SPACE 25 m <sup>2</sup> PER UNIT + 2,425 m <sup>2</sup>	3,089 m <sup>2</sup>	



LOCATION PLAN (ITS)



SCHEMATIC RENDERING (ITS)

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URBAN PLANNING  
CONSULTANTS LTD.  
www.newtownarea.com

204

Revision No	Date	Description
1	18-06-21	ISSUED FOR DP
2	18-12-28	REISSUED FOR DP
3	19-01-06	REISSUED FOR DP

PROJECT USE:  
**SHANNON LAKE TOWNHOUSE DEVELOPMENT**

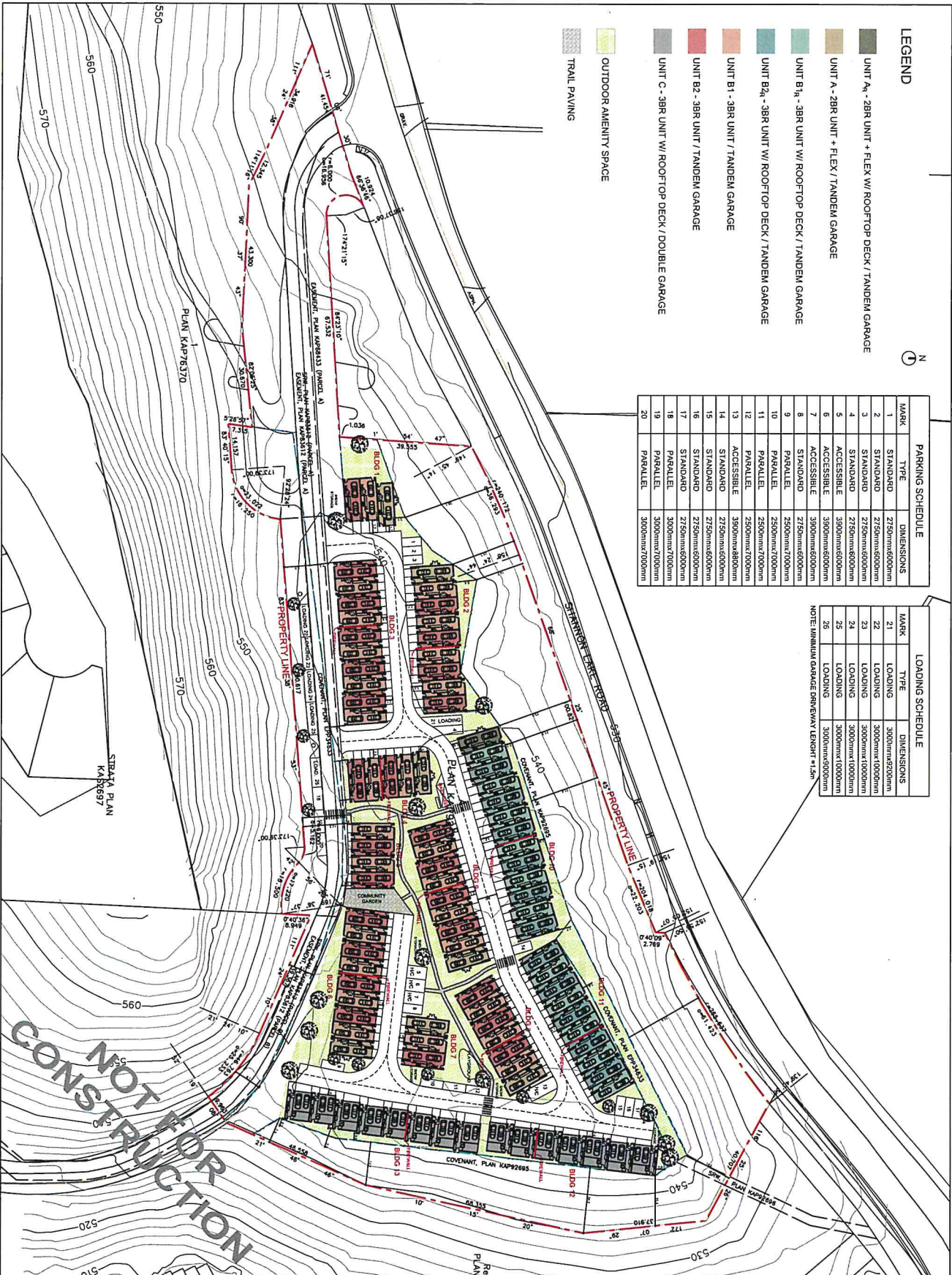
PROJECT ADDRESS:  
1975 Shannon Lake Road  
West Kelowna, BC  
V9X 1A6  
DRAWING NO.: 41030

**ZONING & CODE REVIEW**

Project Name	Project No.	Project Date

**A1.0**

DATE: AUG 28, 2019



**LEGEND**

- UNIT A<sub>n</sub> - 2BR UNIT + FLEX W/ ROOFTOP DECK / TANDEM GARAGE
- UNIT A - 2BR UNIT + FLEX / TANDEM GARAGE
- UNIT B<sub>n</sub> - 3BR UNIT W/ ROOFTOP DECK / TANDEM GARAGE
- UNIT B<sub>n</sub> - 3BR UNIT W/ ROOFTOP DECK / TANDEM GARAGE
- UNIT B<sub>1</sub> - 3BR UNIT / TANDEM GARAGE
- UNIT B<sub>2</sub> - 3BR UNIT / TANDEM GARAGE
- UNIT C - 3BR UNIT W/ ROOFTOP DECK / DOUBLE GARAGE
- OUTDOOR AMENITY SPACE
- TRAIL PAVING

**PARKING SCHEDULE**

MARK	TYPE	DIMENSIONS
1	STANDARD	2750mmx6000mm
2	STANDARD	2750mmx6000mm
3	STANDARD	2750mmx6000mm
4	STANDARD	2750mmx6000mm
5	ACCESSIBLE	3000mmx6000mm
6	ACCESSIBLE	3000mmx6000mm
7	ACCESSIBLE	3000mmx6000mm
8	STANDARD	2750mmx6000mm
9	PARALLEL	2500mmx7000mm
10	PARALLEL	2500mmx7000mm
11	PARALLEL	2500mmx7000mm
12	PARALLEL	2500mmx7000mm
13	ACCESSIBLE	3000mmx6000mm
14	STANDARD	2750mmx6000mm
15	STANDARD	2750mmx6000mm
16	STANDARD	2750mmx6000mm
17	STANDARD	2750mmx6000mm
18	PARALLEL	3000mmx7000mm
19	PARALLEL	3000mmx7000mm
20	PARALLEL	3000mmx7000mm

**LOADING SCHEDULE**

MARK	TYPE	DIMENSIONS
21	LOADING	3000mmx4000mm
22	LOADING	3000mmx4000mm
23	LOADING	3000mmx4000mm
24	LOADING	3000mmx4000mm
25	LOADING	3000mmx4000mm
26	LOADING	3000mmx4000mm

NOTE: MINIMUM GARAGE DRIVEWAY LENGTH = 1.5m

NOT FOR CONSTRUCTION

**PROJECT INFO**

Project Name: SHANNON LAKE

Project Address: 2100 West Kelowna Road, West Kelowna, BC

Project No: 4030

Project Date: 2024

Project Scale: 1:1000

Project Date: 2024

Project Scale: 1:1000

**A2.0**

**NEW TOWN ARCHITECTURE CIVIL ENGINEERING**

1000 West Kelowna Road, West Kelowna, BC

www.newtownarchitect.com

Scale: 1:1000

No	Date	Description
1	1/24/2024	ISSUED FOR PER
2	1/24/2024	REVISED FOR PER
3	1/24/2024	REVISED FOR PER

ALL CONTRACTORS ARE REQUIRED TO OBTAIN PERMITS FROM THE LOCAL MUNICIPALITY AND TO OBTAIN THE NECESSARY APPROVALS FROM THE LOCAL MUNICIPALITY AND THE LOCAL MUNICIPALITY. THIS DRAWING IS AN INSTRUMENT OF SERVICE AND NOT A CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL MUNICIPALITY AND THE LOCAL MUNICIPALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL MUNICIPALITY AND THE LOCAL MUNICIPALITY.



Revision	No	Date	Description
	1	18-02-20	ISSUED FOR DP
	2	18-02-20	ISSUED FOR DP
	3	18-02-20	REISSUED FOR DP
	4	18-02-20	REISSUED FOR DP

project title  
**SHANNON LAKE TOWNHOUSE DEVELOPMENT**

project address  
**1875 Shannon lake road West Kelowna, BC**

project no.  
**4030**

unit no.  
**AR**

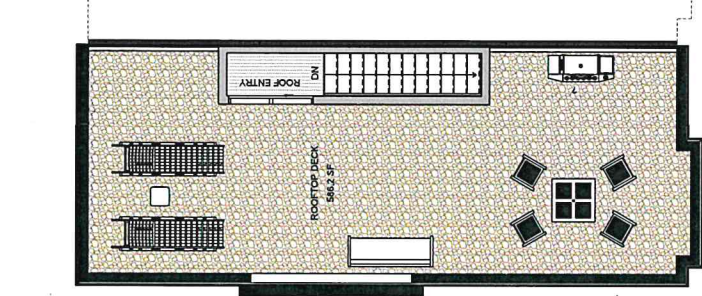
unit plans  
**AR (2BR-FLEX-DECK)**

DATE  
**18-02-20**

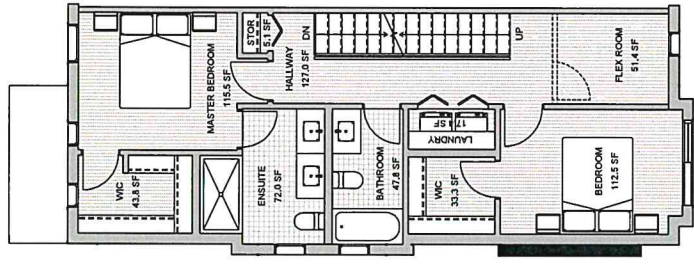
SCALE  
**1/4" = 1'-0"**

PROJECT NO.  
**A3.1AR**

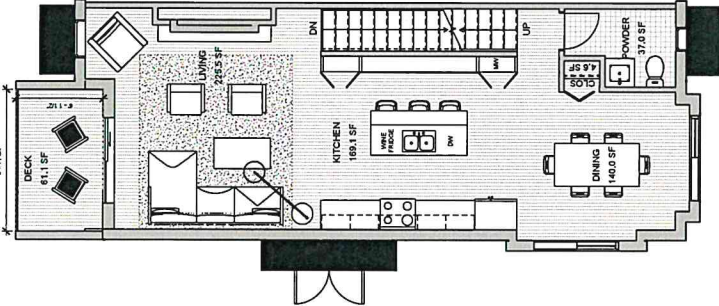
NOT FOR CONSTRUCTION



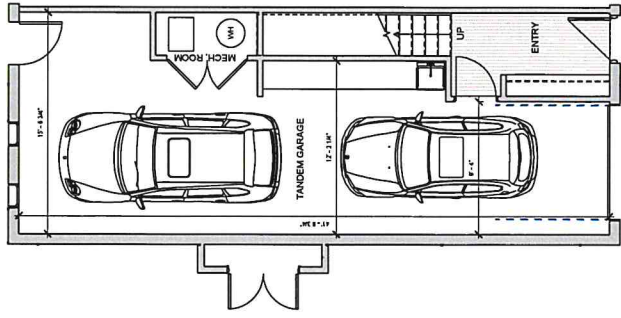
4. ROOFTOP DECK - UNIT AR  
1/4" = 1'-0"



3. LEVEL 3 - UNIT AR  
1/4" = 1'-0"



2. LEVEL 2 - UNIT AR  
1/4" = 1'-0"



1. LEVEL 1 - UNIT AR  
1/4" = 1'-0"

AR	GFA
Unit AR:	
L1	14.2M <sup>2</sup>
L2	66.6M <sup>2</sup>
L3	68.7M <sup>2</sup>
ROOF ACCESS	7.4M <sup>2</sup>
	<b>156.9M<sup>2</sup></b>



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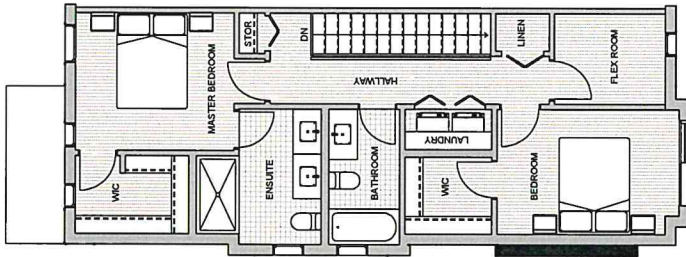


Scale

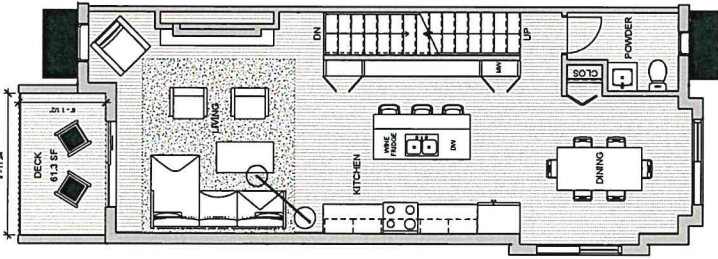
Revision No.	Date	Description
1	18-02-23	ISSUED FOR DP
2	18-11-28	RE-ISSUED FOR DP
3	19-03-06	RE-ISSUED FOR DP

PROJECT: SHANNON LAKE TOWNHOUSE DEVELOPMENT  
 PROJECT ADDRESS: 1978 Shannon Lake Road, Westborough, MA 01581  
 PROJECT NO.: 4030  
 DRAWING NO.:  
 UNIT PLANS A (2BR-FLEX)  
 SHEET: A3.2A

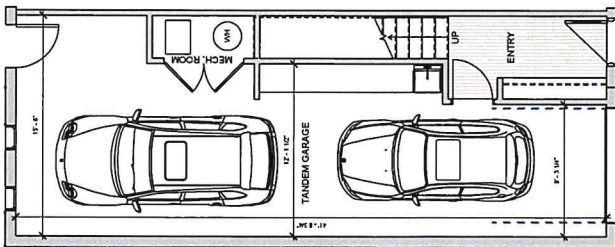
NOT FOR CONSTRUCTION



3. LEVEL 3 - UNIT A  
 14.2MP / 148' x 114'



2. LEVEL 2 - UNIT A  
 66.5MP / 114' x 114'



1. LEVEL 1 - UNIT A  
 116' x 114'

Unit AR:	GFA
L1	152.8SF
L2	716.7SF
L3	740.0SF
	1,609.5SF
	14.2MP
	66.5MP
	58.7MP
	149.5MP

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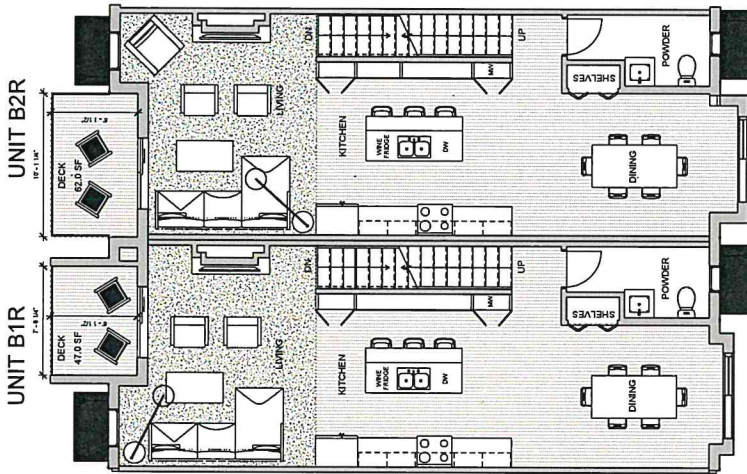
**NEW TOWN**  
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Sheet

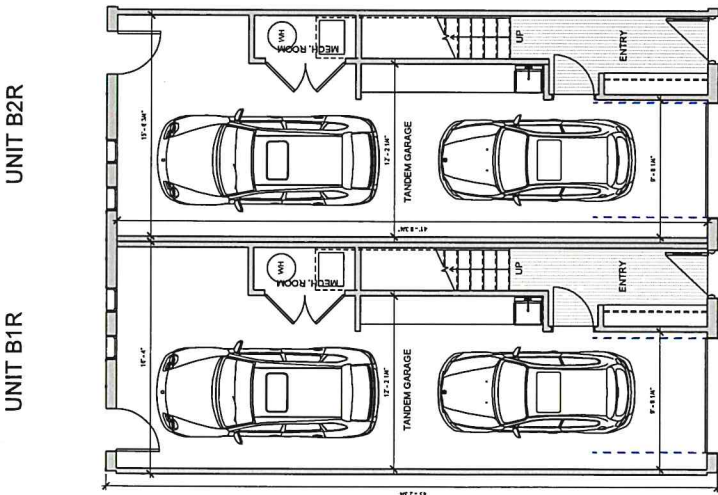
Revision	No	Date	Description
	1	18-06-20	ISSUED FOR DP
	2	18-11-20	REISSUED FOR DP
	3	19-02-06	REISSUED FOR DP

PROJECT: SHANNON LAKE TOWNHOUSE DEVELOPMENT  
 PROJECT ADDRESS: 1976 Shannon Lake Road, Shannon Lakes, 4030  
 DRAWING NO: UNIT PLANS B1R & B2R (3BR-DECK)  
 SHEET: A3.3BR

NOT FOR CONSTRUCTION



2. LEVEL 2 - UNIT B1R & B2R  
 1/4" = 1'-0"



1. LEVEL 1 - UNIT B1R & B2R  
 1/4" = 1'-0"

UNIT	LEVEL	GFA
B1R	L1	152.8SF
	L2	695.4SF
	L3	728.9SF
	ROOF ACCESS	80.1SF
		<b>1,659.2SF</b>
B2R	L1	152.8SF
	L2	703.3SF
	L3	723.3SF
	ROOF ACCESS	80.1SF
		<b>1,659.5SF</b>

ALL CONTRACTORS ARE REQUIRED TO PERFORM WORK IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS. THE DRAWING IS AN INSTRUMENT OF SERVICE AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION AND DATA PROVIDED TO THEM BY THE CLIENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE CLIENT AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION AND DATA PROVIDED TO THEM BY THE CLIENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE CLIENT AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION AND DATA PROVIDED TO THEM BY THE CLIENT.

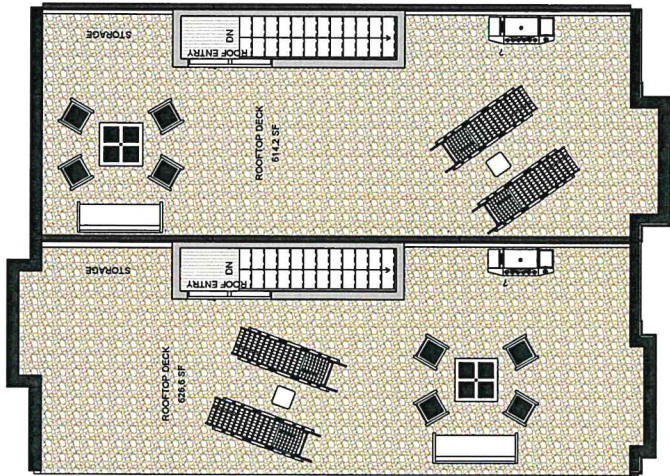


Revision	No	Date	Description
1	190823		ISSUED FOR DP
2	190823		ISSUED FOR DP
3	190826		RE-ASSUED FOR DP

Project No: SHANNON LAKE TOWNHOUSE DEVELOPMENT  
 Project Address: 1975 Shannon Lake Road West Kelowna, BC  
 Project No: 4030  
 Drawing No: UNIT PLANS B1R & B2R (3BR-DECK)  
 Scale: 1/4" = 1'-0"  
 Date: 10/23/19  
 Author: A.V.  
 Checker: A.V.  
**A3.4BR**  
 10/23/19 10:23 AM

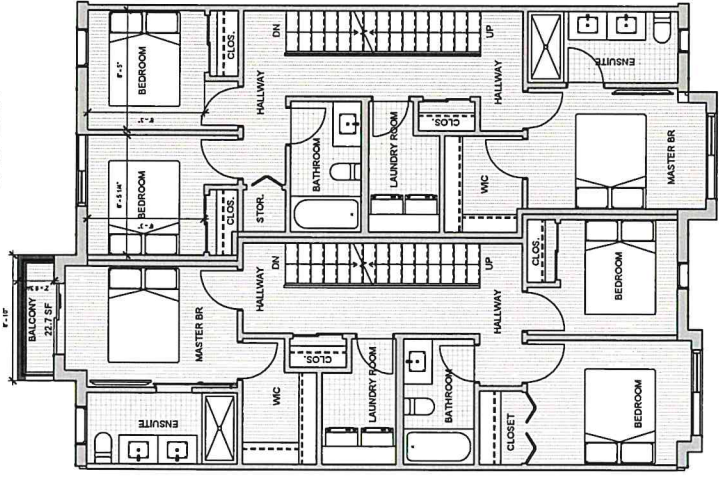
NOT FOR CONSTRUCTION

UNIT B1R  
UNIT B2R



2. ROOFDECK - UNIT B1R & B2R  
1/4" = 1'-0"

UNIT B1R  
UNIT B2R



1. LEVEL 3 - UNIT B1R & B2R  
1/4" = 1'-0"

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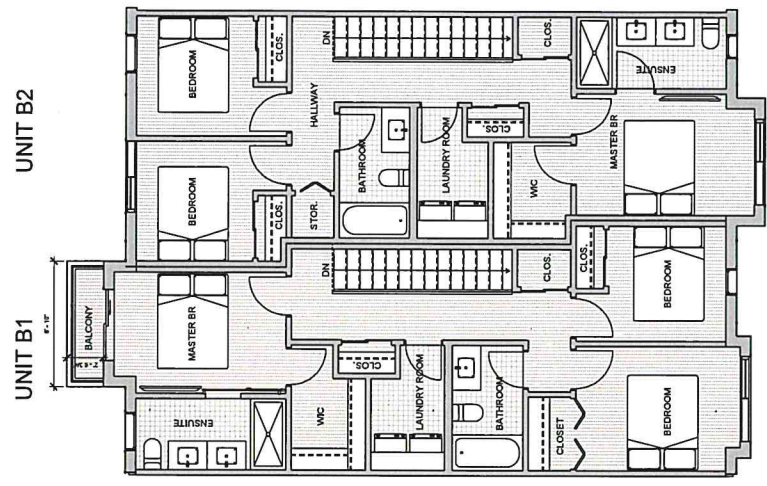


Revision	No.	Date	Description
1	16.06.23		ISSUED FOR DP
2	16.12.23		REISSUED FOR DP
3	19.02.26		REISSUED FOR DP

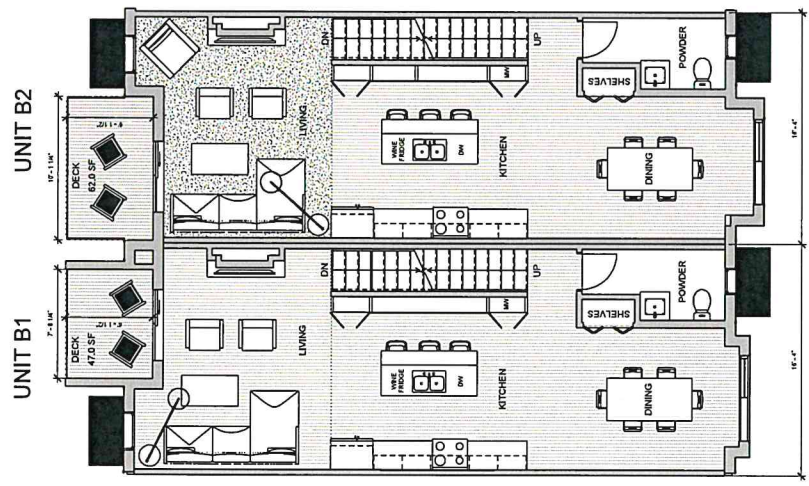
Project No: SHANNON LAKE TOWNHOUSE DEVELOPMENT  
Project Address: 1975 Shannon Lake Road West Melbourne, BC  
Project No: 403D  
Drawing No: UNIT PLANS B1 & B2 (3BR)  
Scale: 1/4" = 1'-0"

**A3.5B**  
DATE: 14.05.2024  
DRAWN BY: [Name]

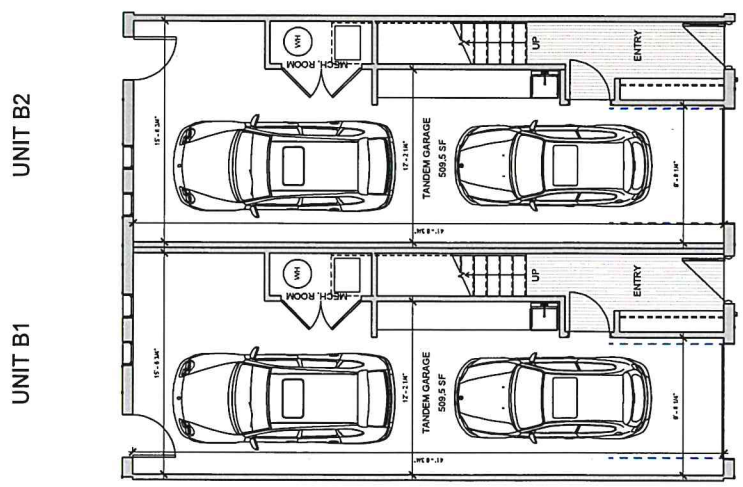
NOT FOR CONSTRUCTION



3. LEVEL 3 - UNIT B1 & B2  
1/4" = 1'-0"



2. LEVEL 2 - UNIT B1 & B2  
1/4" = 1'-0"



1. LEVEL 1 - UNIT B1 & B2  
1/4" = 1'-0"

Unit	GFA	Area
<b>B1</b>		
L1	152.85SF	14.2M <sup>2</sup>
L2	695.45SF	64.6M <sup>2</sup>
L3	728.93SF	67.7M <sup>2</sup>
	<b>1,577.45SF</b>	<b>146.5M<sup>2</sup></b>
<b>B2</b>		
L1	152.85SF	14.2M <sup>2</sup>
L2	703.35SF	65.3M <sup>2</sup>
L3	723.35SF	67.2M <sup>2</sup>
	<b>1,579.45SF</b>	<b>146.7M<sup>2</sup></b>

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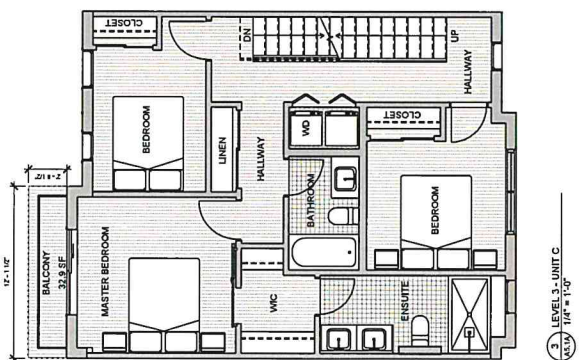
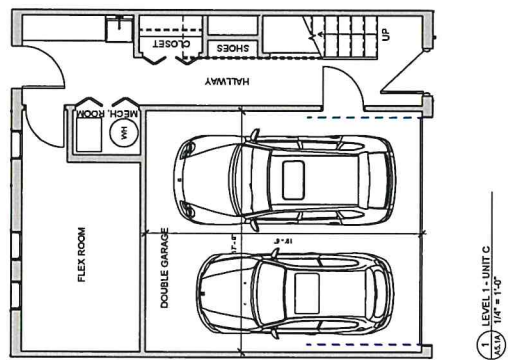
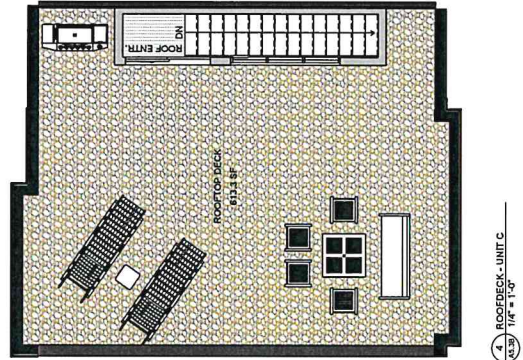
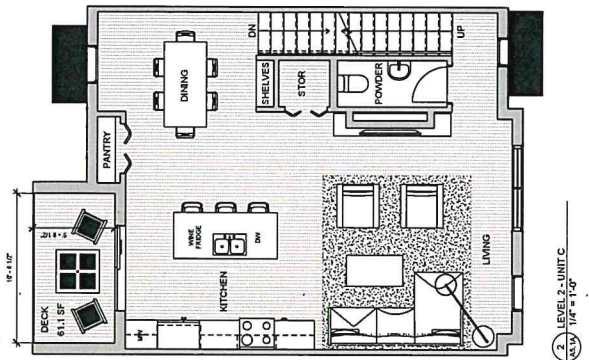


Revision	No.	Date	Description
1	16.06.20		ISSUED FOR DP
2	16.12.20		REISSUED FOR DP
3	19.03.06		REISSUED FOR DP

Project No: SHANNON LAKE TOWNHOUSE DEVELOPMENT  
 Project Address: 1975 Shannon Lake Road West Melbourne, VIC 3030  
 Drawing No: UNIT PLANS C (3BR-DECK)  
 Scale: 1/4" = 1'-0"

**A3.6C**  
 DATE: 16.06.20  
 DRAWN BY: [Name]

NOT FOR CONSTRUCTION



	GFA	
L1	369.2SF	34.3M <sup>2</sup>
L2	722.9SF	67.2M <sup>2</sup>
L3	756.8SF	70.5M <sup>2</sup>
ROOF ACCESS	80.1SF	7.4M <sup>2</sup>
<b>C</b>	<b>1,931SF</b>	<b>179.4M<sup>2</sup></b>

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Sheet

Revision	No.	Date	Description
1	18-06-01		ISSUED FOR DP
2	18-12-06		REISSUED FOR DP
3	18-06-06		REISSUED FOR DP

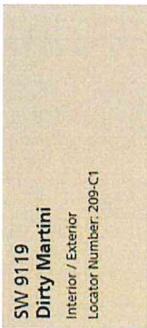
Project No: SHANNON LAKE TOWNHOUSE DEVELOPMENT  
 Project Address: 1975 Shannon Lakes Road West Melbourne, FL 32909  
 Drawing No: 4030  
**MATERIAL BOARD**  
 Scale: 1" = 8' L.S. 1/4" = 1' L.S.  
**A4.0**  
 Date: 08/05/2019  
 Designer: J. HALL

**NOT FOR CONSTRUCTION**

**HARDIE REVEAL PANEL ACCENT COLORS (#5)**



**SW 6798 Iceberg**  
Interior / Exterior  
Locator Number: 272-C6



**SW 9119 Dirty Martini**  
Interior / Exterior  
Locator Number: 209-C1



**SAMPLE (FOR COLOR PURPOSES ONLY) (#2)**  
**SW 7671 On the Rocks**



**SAMPLE (FOR COLOR PURPOSES ONLY) (#3)**  
**SW 7674 Peppercorn**

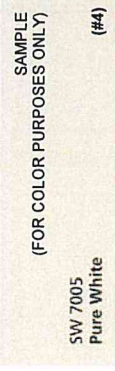
**DOUBLE GLAZED WINDOWS W/ BLACK FRAMES (#8)**



**UNIT NUMBERS DISTINCTIONS BY HILLMAN 5-INCH FLOATING MOUNT BRUSHED NICKEL (#12)**



**HARDIE REVEAL PANEL (SMOOTH) W/ PAINTED EXP. FASTENERS & SATIN NICKEL ALUMINUM REVEAL (#14)**



**SAMPLE (FOR COLOR PURPOSES ONLY) (#4)**  
**SW 7005 Pure White**

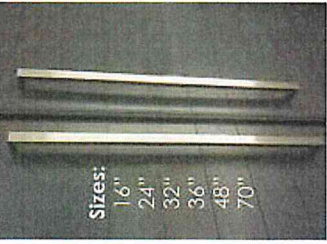


**SAMPLE (FOR COLOR PURPOSES ONLY) (#1)**  
**SW 7673 Pewter Cast**

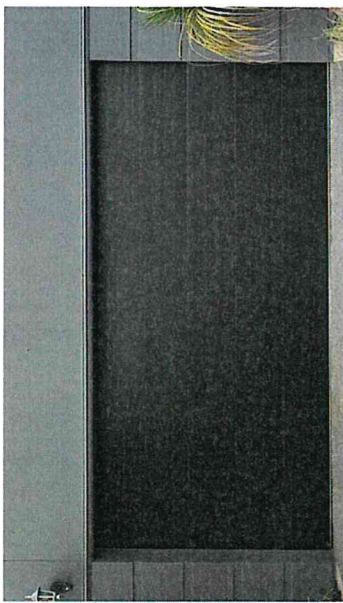
**MASONITE UTILITY STEEL DOOR FULL LITE W/ PEARL (LAM) GLASS 48" SQUARE DOOR HANDLE W/ WEISER SQUARE DEADBOLT w/ COLORS ALTERNATING FROM DOOR TO DOOR (#7)**



**SW 7595 Sommieller**  
**SW 7602 Indigo Batik**



**GARAGE DOOR SMOOTH SLAB - PEPPERCORN SW7674 (#6)**



**BLACK ALUMINUM RAILING W/ LAM GLASS (#10)**



**DECKING MATERIAL APPLIED TO TORCH ON - QUARTZ EXPOSED AGGREGATE (#15)**



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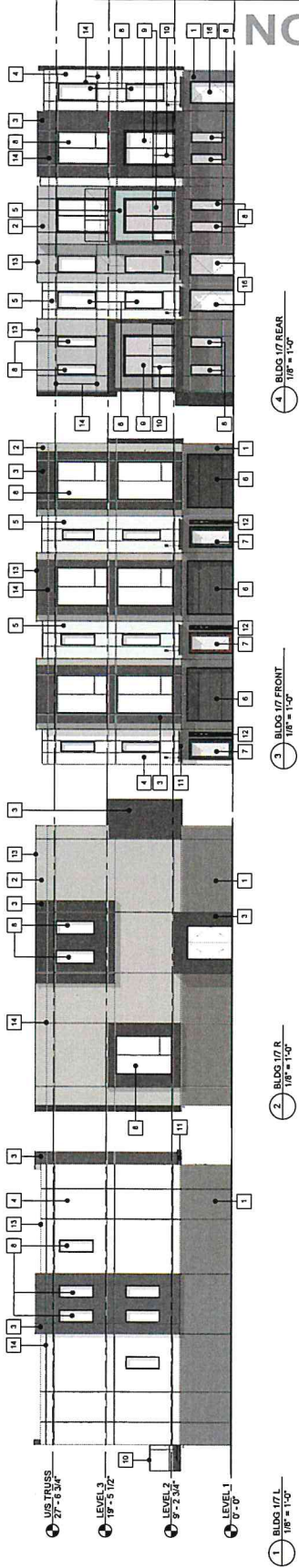
544

Revision	No.	Date	Description
1	16.06.23		ISSUED FOR DP
2	16.11.28		REISSUED FOR DP
3	19.03.06		REISSUED FOR DP

Project Name: SHANNON LAKE TOWNHOUSE DEVELOPMENT  
 Project Address: 1975 Shannon Lake Road West Melbourne, VIC 3030  
 Drawing No: ELEVATIONS BLDG 1, 2, 6, 7 & 9  
 Scale: 1/8" = 1'-0"

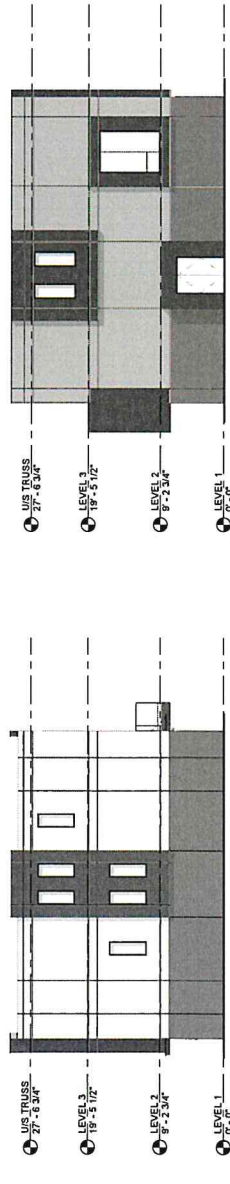
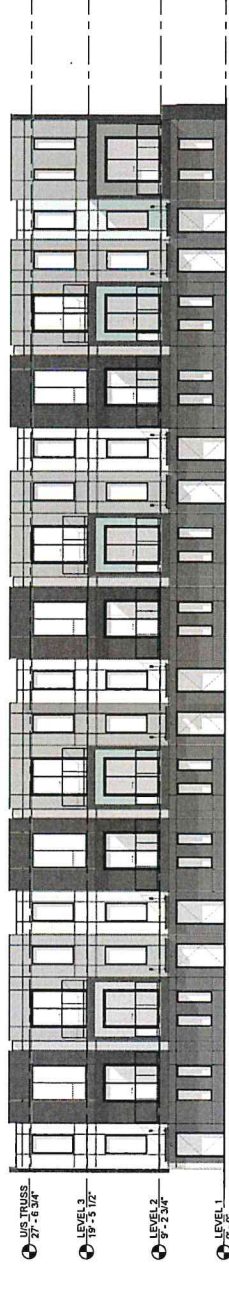
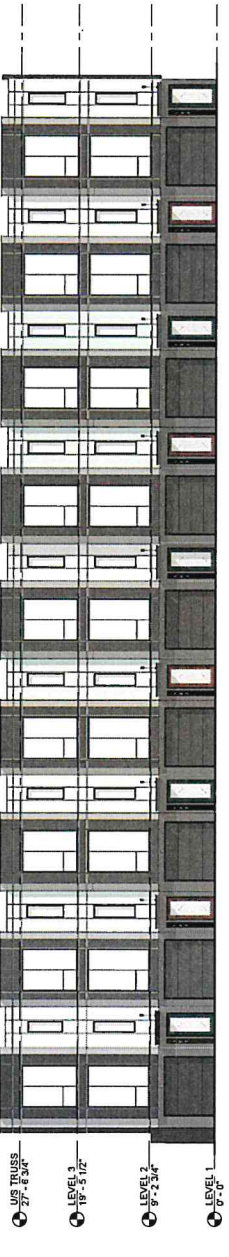
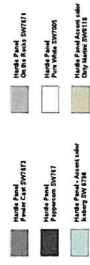
**A4.1**

NOT FOR CONSTRUCTION



**MATERIAL KEYNOTE LEGEND**

- HARDE PANEL (PEPPER CAST SW/RT)
- HARDE PANEL (ON THE ROCKS SW/RT)
- HARDE PANEL (PEPPER CORN SW/RT)
- HARDE PANEL (PURE WHITE SW/RT)
- HARDE PANEL (ACCENT COLOR - SEE ELEVATIONS (PEPPER SW (FAVORITE MARTIN SW (T11AS)
- OH DOOR (PEPPER CORN SW/RT)
- ENTRY DOOR - P1000 BATH SW/RT2 (ALUMINUM) - SCHMIDT SW/RT2
- WINDOW FRAME - EXTERIOR BLACK - INTERIOR WHITE
- SLIDING PATIO DOOR FRAME - EXTERIOR BLACK - INTERIOR WHITE
- GUARDRAIL W/ LAMINATED GLASS - BLACK
- ENTRY CANOPY (PEPPER CORN SW/RT)
- UNIT NUMBER - 3-FLOAT MOUNT BRUSHED NICKEL BY ALUMIN
- FLASHING - BLACK
- HARDE PANEL REVEAL - SATIN NICKEL ALUMINUM
- DECKING MATERIAL - QUARTZ FOSSED AGGREGATE (TORN ON)
- BACKYARD DOOR
- ROOFTOP DECK PRIVACY SCREEN



ALL CONSTRUCTION SHALL BE SUBJECT TO THE CITY OF DENVER DESIGN AND CONSTRUCTION STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DENVER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DENVER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DENVER.



NEW TOWN  
ARCHITECTURE  
URBAN PLANNING  
DESIGN  
1000 14TH AVENUE, SUITE 100  
DENVER, CO 80202  
WWW.NEWTOWNARCHITECTURE.COM

Revision	No	Date	Description
	1	10-06-23	ISSUED FOR DP
	2	10-11-20	REISSUED FOR DP
	3	10-03-06	REISSUED FOR DP

PROJECT NAME  
SHANNON LAKE  
CONDOMINIUM  
DEVELOPMENT

PROJECT ADDRESS  
10775 Shannon Lake Road  
DENVER, COLORADO 80231

PROJECT NO.  
4033D

DRAWING TITLE  
ELEVATIONS  
BLDG 3&4

DATE  
10/03/2023

SCALE  
1/8" = 1'-0"

PROJECT NO.  
A4.2

NOT FOR CONSTRUCTION





ALL DIMENSIONS ARE UNLESS OTHERWISE NOTED AND SHALL BE TO FACE UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND MATERIALS TO BE USED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.



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URBAN PLANNING  
1000 BROADWAY  
SUITE 1000  
NEW YORK, NY 10018  
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Scale

Revision	No	Date	Description
	1	16.06.23	ISSUED FOR DP
	2	16.11.20	REISSUED FOR DP
	3	19.03.06	REISSUED FOR DP

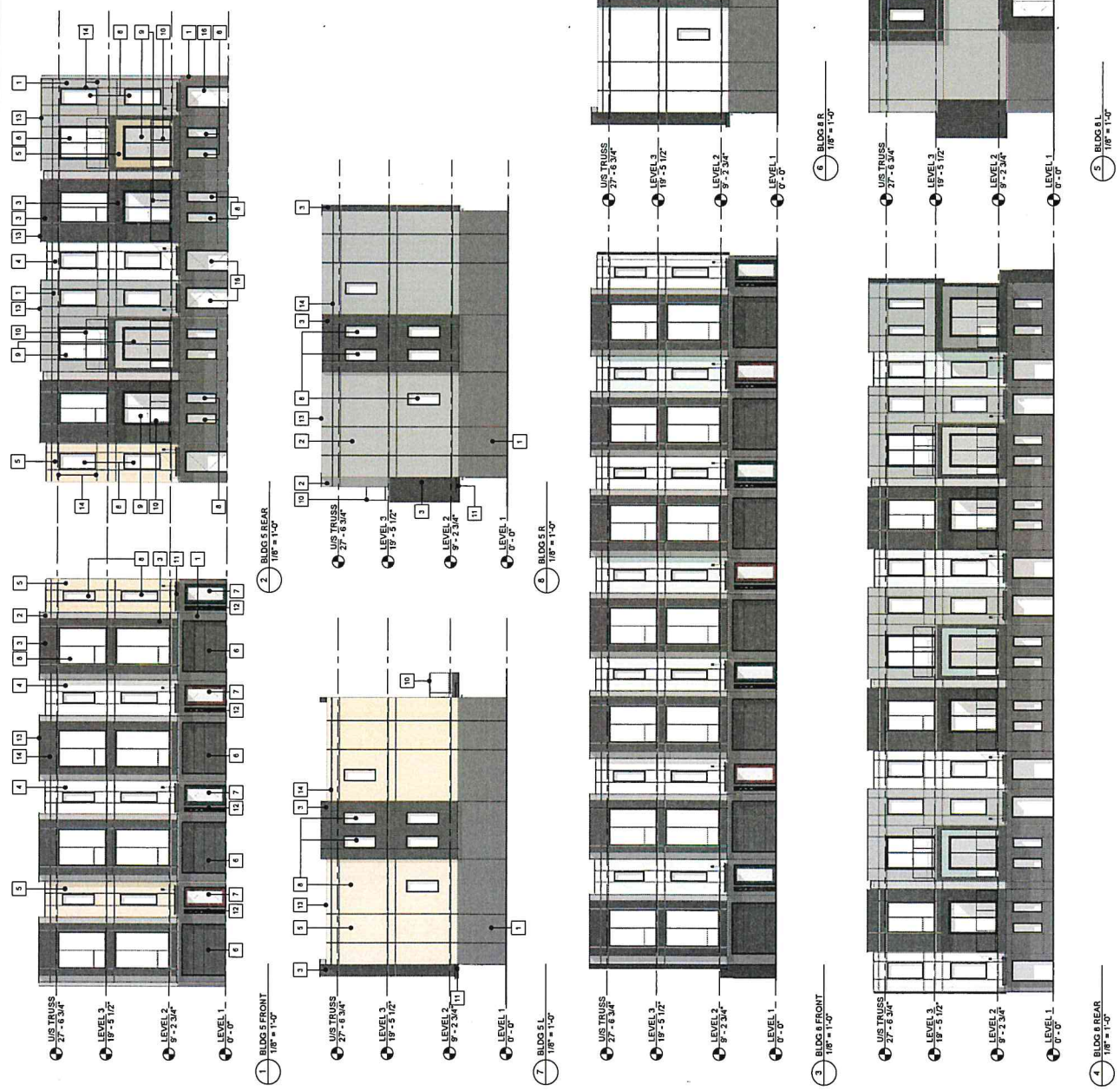
PROJECT: SHANNON LAKE  
URBAN DEVELOPMENT  
PROJECT ADDRESS: 775 Shannon Lake Road  
WILMINGTON, DE 19806  
PROJECT NO.: 4030  
DRAWING NO.:  
DATE: 11/16/19  
SCALE: 1/8" = 1'-0"  
SHEET NO.: 1  
SHEET TOTAL: 53  
A4.3  
REVISED: 11/16/19

NOT FOR CONSTRUCTION

- MATERIAL KEYNOTE LEGEND**
- HARDE PANEL (PREFER CAST SW/RT)
  - HARDE PANEL (ON THE NOOS SW/RT)
  - HARDE PANEL (PEPPERONI SW/RT)
  - HARDE PANEL (PURE WHITE SW/RT)
  - HARDE PANEL (COLOR - SEE ELEVATIONS FOR SW/RT)
  - CHI DOOR (PEPPERONI SW/RT)
  - ENTRY DOOR - INDOOR BATH SW/RT (ALTERNATING) - SOMMERWER SW/RT
  - WINDOW FRAME - EXTERIOR BLACK - INTERIOR WHITE
  - SLIDING PATIO DOOR FRAME - EXTERIOR BLACK - INTERIOR WHITE
  - GUARDRAIL W/ LAMINATED GLASS - BLACK
  - ENTRY CHAMPY - PEPPERONI SW/RT
  - UNIT NUMBER - 5" FLOAT MOUNT BRUSHED NICKEL BY HILLMAN
  - FLASHING - BLACK
  - HARDE PANEL (REVEAL - SATIN NICKEL ALUMINUM (ORCH O))
  - DECKING MATERIAL - QUARTZ EXPOSED AGGREGATE
  - BACKYARD DOOR
  - ROOFTOP DECK PRIVACY SCREEN

Color swatches and material codes:

- Hard Panel (PREFER CAST SW/RT)
- Hard Panel (ON THE NOOS SW/RT)
- Hard Panel (Pepperoni SW/RT)
- Hard Panel (Pure White SW/RT)
- Hard Panel (Color - See Elevations for SW/RT)
- Chi Door (Pepperoni SW/RT)
- Entry Door - Indoor Bath SW/RT (Alternating) - Sommerwer SW/RT
- Window Frame - Exterior Black - Interior White
- Sliding Patio Door Frame - Exterior Black - Interior White
- Guardrail w/ Laminated Glass - Black
- Entry Champy - Pepperoni SW/RT
- Unit Number - 5" Float Mount Brushed Nickel by Hillman
- Flashing - Black
- Hard Panel (Reveal - Satin Nickel Aluminum (Orch O))
- Decking Material - Quartz Exposed Aggregate
- Backyard Door
- Rooftop Deck Privacy Screen



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Scale

Revision	No.	Date	Description
	1	14.06.13	ISSUED FOR RFP
	2	16.11.20	REISSUED FOR RFP
	3	19.03.06	REISSUED FOR RFP

Project Name  
**SHANNON LAKE  
 TOWNHOUSE  
 DEVELOPMENT**

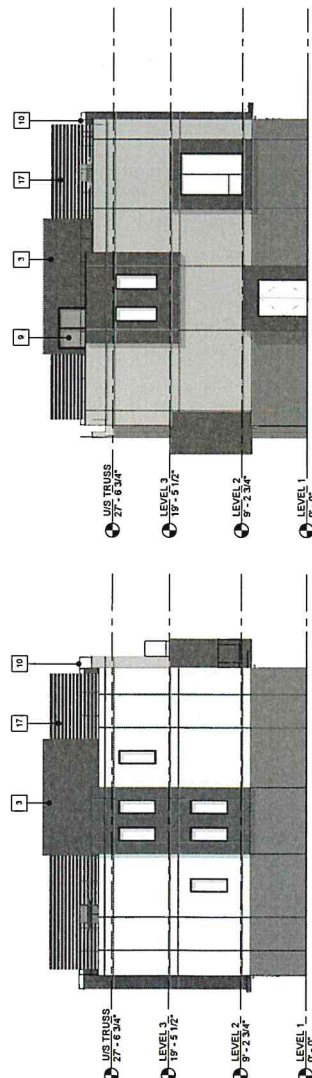
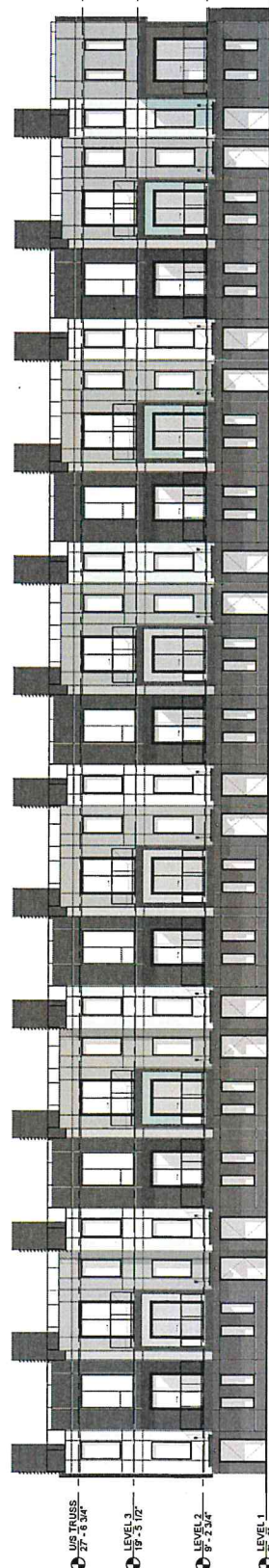
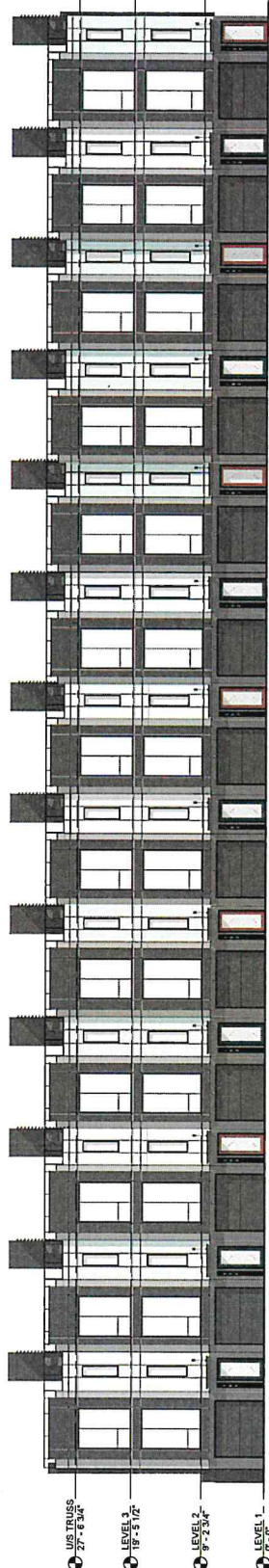
Project Address  
 1975 Shannon Lake Road  
 West Melbourne, BC  
 4030

Drawing No.  
**ELEVATIONS  
 BLDG 10**

Scale  
 1/8" = 1'-0"

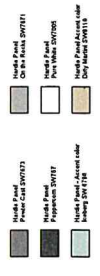
Sheet No.  
**A4.4**

NOT FOR CONSTRUCTION



**MATERIAL KEYNOTE LEGEND**

- HARDE PANEL (PROVER CAST SW/RT)
- HARDE PANEL (ON THE ROCKS SW/RT)
- HARDE PANEL (PEPPER CORN SW/RT)
- HARDE PANEL (PURE WHITE SW/RT)
- HARDE PANEL ACCENT COLOR - SEE ELEVATIONS (PEPPER CORN SW/RT)
- OH DOOR (PEPPER CORN SW/RT)
- ENTRY DOOR - HINDO BATH SW/RT (ALTERNATIVE) - SOMMERLER SW/RT
- WINDOW FRAME - EXTERIOR BLACK - INTERIOR WHITE
- SLIDING PATIO DOOR FRAME - EXTERIOR BLACK - INTERIOR WHITE
- GUARDRAIL - UNLAMINATED GLASS - BLACK
- ENTRY CHOPPY - PEPPER CORN SW/RT
- UNIT NUMBER - F FLOYD MOUNT BRUSHED NICKEL BY HELIUM
- FLASHING - BLACK
- HARDE PANEL REVEAL - SATIN NICKEL ALUMINUM (FOR CHOP)
- DECKING MATERIAL - QUANT EXPOSED AGGREGATE
- BACKYARD DOOR
- ROOFTOP DECK PRIVACY SCREEN



ALL CONSTRUCTION IS REQUIRED TO BE IN ACCORDANCE WITH THE BC BUILDING ACT AND THE BC BUILDING REGULATIONS. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE DRAWING IS AN INSTRUMENT OF SERVICE AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE DRAWING IS AN INSTRUMENT OF SERVICE AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.



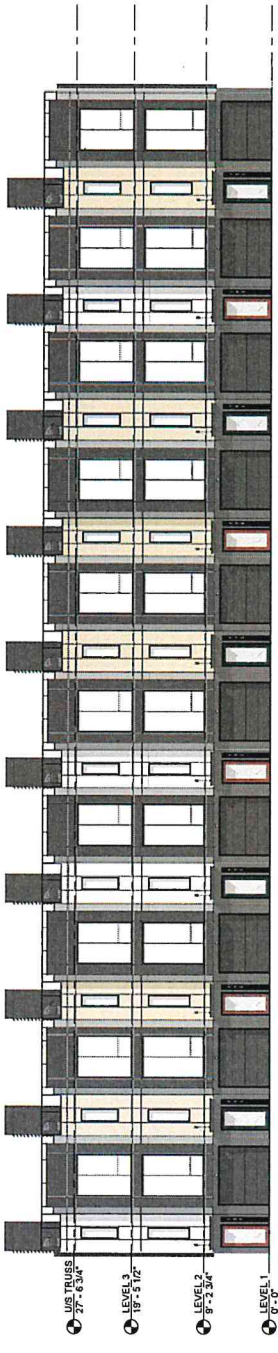
**NEW TOWN**  
URBAN PLANNING  
& CIVIL ENGINEERING

Revision	No	Date	Description
	1	14-05-20	ISSUED FOR CD
	2	14-11-20	ISSUED FOR CD
	3	19-03-06	REISSUED FOR RP

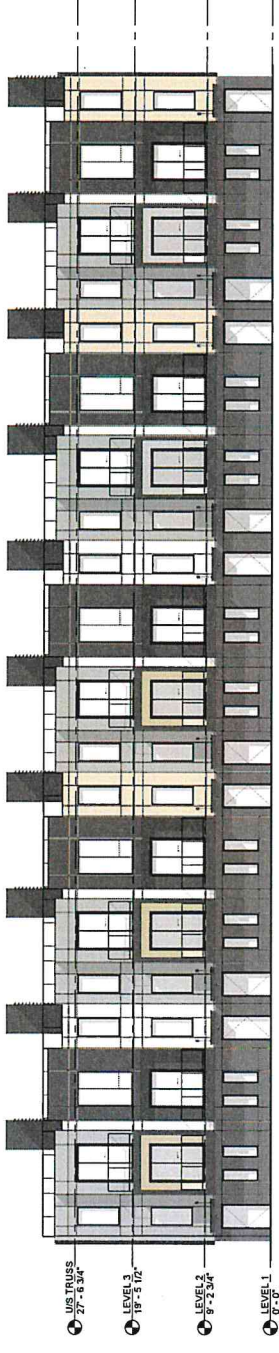
Project Name: SHANNON LAKE TOWNHOUSE DEVELOPMENT  
 Project Address: 1975 Shannon Lake Road West Kelowna, BC  
 Project No: 4030  
 Drawing No: ELEVATIONS BLDG 11  
 Scale: 1/8" = 1'-0"

**A4.5**

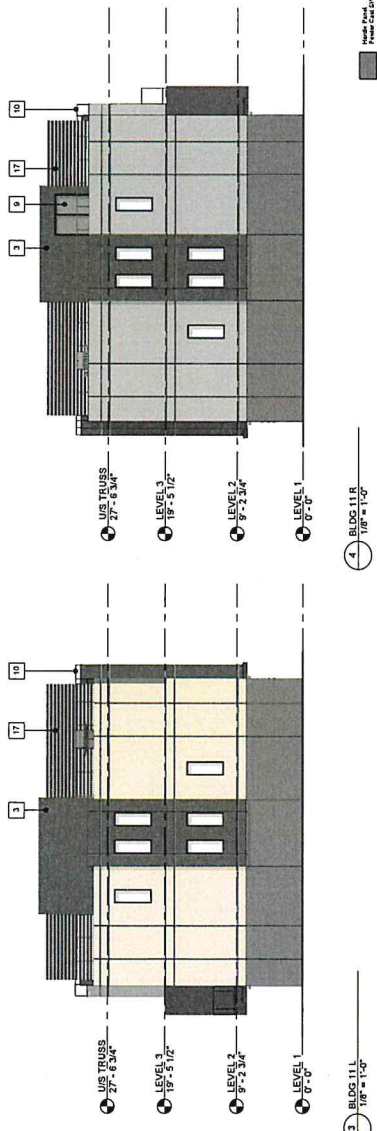
NOT FOR CONSTRUCTION



1 BLDG 11 FRONT  
1/8" = 1'-0"



2 BLDG 11 REAR  
1/8" = 1'-0"



3 BLDG 11 L  
1/8" = 1'-0"

**MATERIAL KEYNOTE LEGEND**

- HARDFE PANEL (PEWTER CAST SW/RT3)
- HARDFE PANEL (ON THE ROCKS SW/RT1)
- HARDFE PANEL (PEPERCORI SW/RT4)
- HARDFE PANEL (PURE WHITE SW/RT5)
- HARDFE PANEL ACCENT COLOR - SEE ELEVATIONS (JENSEN SW/RT6) OR MARTIN SW/RT19A3)
- ON DOOR (PEPERCORI SW/RT14)
- ENTRY DOOR - BLDG 10 SW/RT2 (ALTERNATIVE) - SOMMERLUND SW/RT5
- WINDOW FRAME - EXTERIOR BLACK - INTERIOR WHITE
- SLIDING PATIO DOOR FRAME - EXTERIOR BLACK - INTERIOR WHITE
- GUARDRAIL W/ LAMINATED GLASS - BLACK
- ENTRY CHICKY - (PEPERCORI SW/RT4)
- UNIT NUMBER - FLOAT MOUNT BRUSHED NICKEL BY HILUMIN
- FLASHING - BLACK
- HARDFE PANEL REVEAL - SATIN NICKEL ALUMINUM
- LEDGING MATERIAL - (TOUCH ON)
- BACKYARD DOOR
- ROOFTOP BECK PRIVACY SCREEN

Color key for materials:

- Hardfe Panel (Pewter Cast SW/RT3)
- Hardfe Panel (On the Rocks SW/RT1)
- Hardfe Panel (Pepercori SW/RT4)
- Hardfe Panel (Pure White SW/RT5)
- Hardfe Panel Accent Color (Jensen SW/RT6)
- On Door (Pepercori SW/RT14)
- Entry Door - Bldg 10 SW/RT2
- Window Frame - Exterior Black
- Sliding Patio Door Frame - Exterior Black
- Guardrail w/ Laminated Glass - Black
- Entry Chicky (Pepercori SW/RT4)
- Unit Number - Float Mount Brushed Nickel by Hilumin
- Flashing - Black
- Hardfe Panel Reveal - Satin Nickel Aluminum
- LEDGING MATERIAL (Touch On)
- Backyard Door
- Rooftop Beck Privacy Screen

THE CLIENT HAS REVIEWED THE INFORMATION CONTAINED HEREIN AND HAS APPROVED THE SAME FOR THE PURPOSES OF THE PROJECT. THE CLIENT'S REVIEW IS LIMITED TO THE INFORMATION PROVIDED AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION. THE CLIENT'S REVIEW IS LIMITED TO THE INFORMATION PROVIDED AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION.



Revision	No	Date	Description
	1	08-09-13	ISSUED FOR DP
	2	10-11-13	REASSUED FOR DP
	3	10-03-06	REASSUED FOR DP

**PROJECT NAME**  
SHANNON LAKE  
TOWNHOUSE  
DEVELOPMENT

**PROJECT ADDRESS**  
1975 Shannon Lake Road  
West Yellowstone, ID  
83454

**DATE**  
10/30/13

**SCALE**  
1/8" = 1'-0"

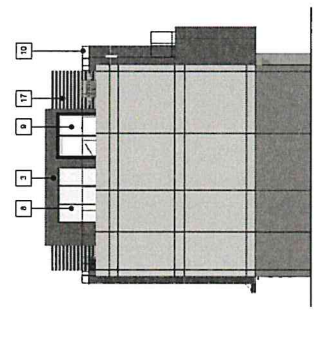
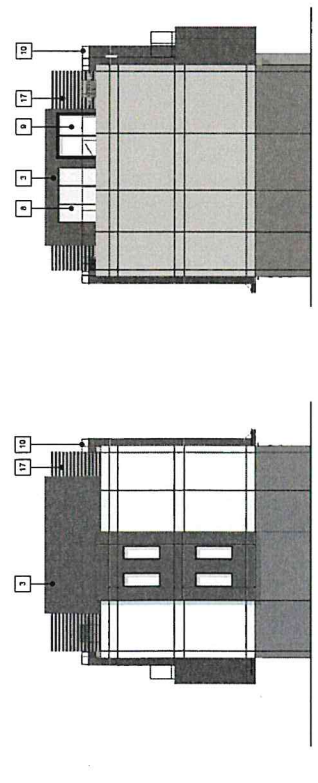
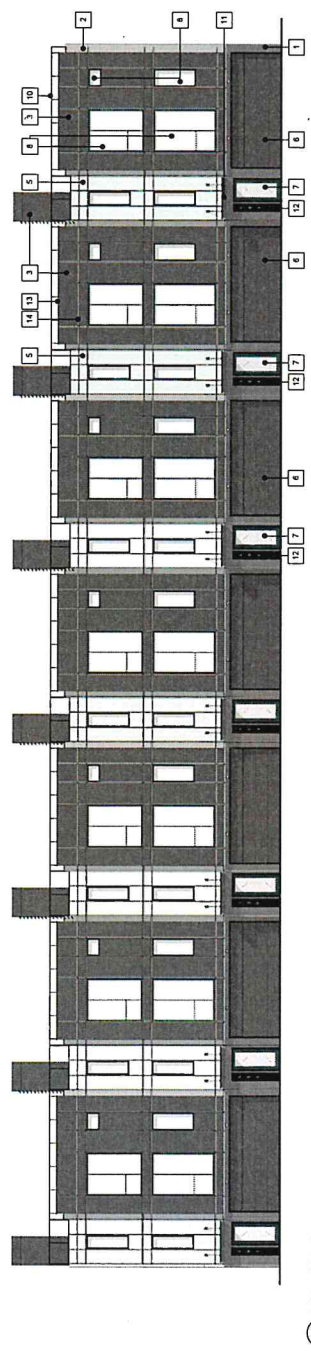
**ELEVATIONS**  
BLDG 12

**DATE**  
10/30/13

**SCALE**  
1/8" = 1'-0"

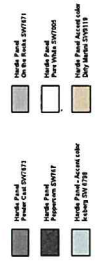
**PROJECT NO.**  
A4.6

NOT FOR CONSTRUCTION



**MATERIAL KEYNOTE LEGEND**

- HARDF PANEL (P/W/BI CAST SW/RT)
- HARDF PANEL (ON THE ROCKS SW/RT)
- HARDF PANEL (PEPPERCORN SW/RT)
- HARDF PANEL (PURE WHITE SW/RT)
- HARDF PANEL ACCENT COLOR - SEE ELEVATIONS (CEBERG SW/RT/MORTY MARTIN SW/RT/18AS) (ALTERNATING) - SOMMERLIER SW/RT/56
- OH DOOR (PEPPERCORN SW/RT)
- ENTRY DOOR - INDIGO BATH SW/RT/53 (ALTERNATING) - SOMMERLIER SW/RT/56
- WINDOW FRAME - EXTERIOR BLACK - INTERIOR WHITE
- SLIDING PATIO DOOR FRAME - EXTERIOR BLACK - INTERIOR WHITE
- GUARDRAIL W/ LAMINATED GLASS - BLACK
- ENTRY CANOPY - (PEPPERCORN SW/RT)
- UNIT NUMBER - FLOAT MOUNT BRUSHED NICKEL BY HILLMAN
- FLASHING - BLACK
- HARDF PANEL REVEAL - SATIN NICKEL ALUMINUM
- DECORO MATERIAL - QUARTZ EXPOSED AGGREGATE (TORCH ON)
- BACKYARD DOOR
- ROOFTOP DECK PRIVACY SCREEN



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Project: SHANNON LAKE TOWNHOUSE DEVELOPMENT  
 1976 Shannon Lake Road  
 West Melbourne, FL 32909  
 Project No.: 4030  
 Drawing No.: ELEVATIONS BLDG 13

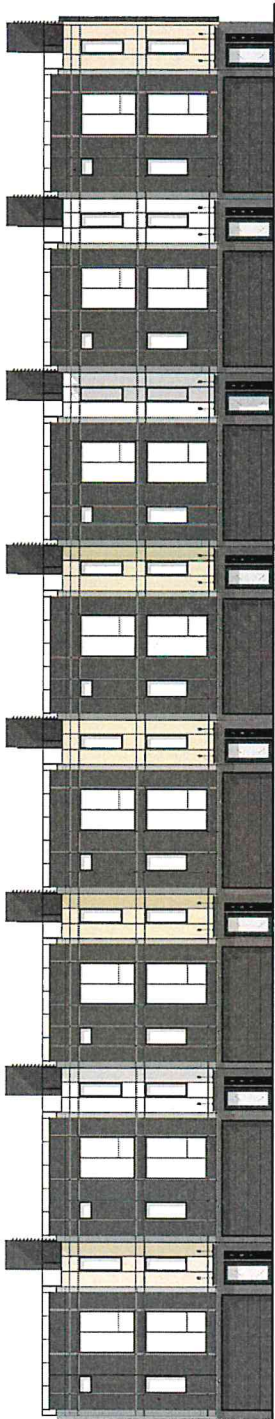


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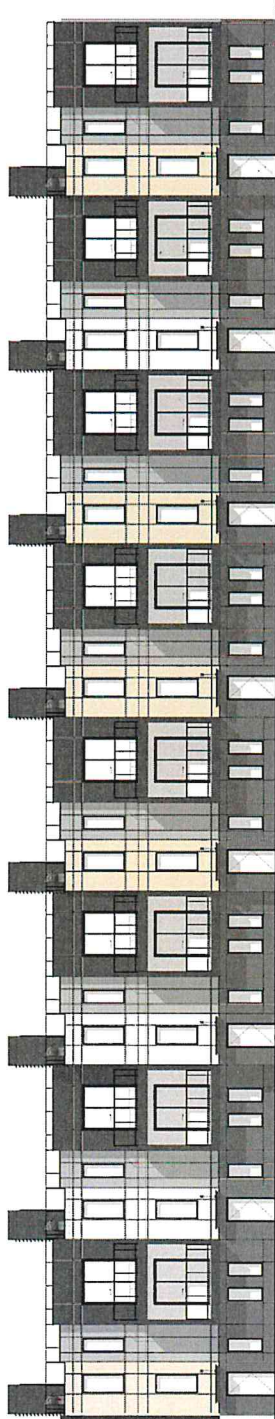
Revision	No	Date	Description
1	18-09-20		ISSUED FOR DP
2	18-11-20		REASSUED FOR DP
3	19-03-06		REASSUED FOR DP

Project Name: SHANNON LAKE TOWNHOUSE DEVELOPMENT  
 Project Address: 1976 Shannon Lake Road, West Melbourne, FL 32909  
 Project No.: 4030  
 Drawing No.: ELEVATIONS BLDG 13  
 Date: 18-09-20  
 Scale: 1/8" = 1'-0"  
 Sheet No.: A4.7  
 Project Manager: [Name]  
 Designer: [Name]  
 Checker: [Name]  
 Date: 18-09-20

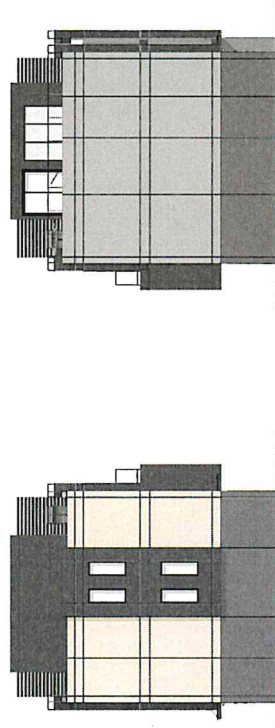
NOT FOR CONSTRUCTION



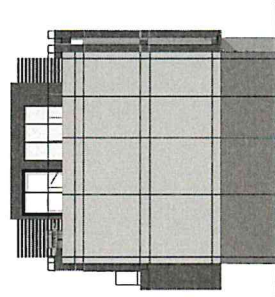
1. BLDG 13 FRONT  
1/8" = 1'-0"



2. BLDG 13 REAR  
1/8" = 1'-0"

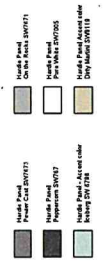


4. BLDG 13 L  
1/8" = 1'-0"



3. BLDG 13 R  
1/8" = 1'-0"

- MATERIAL KEYNOTE LEGEND**
- HARDIE PANEL (PEWTER CAST SW/RTZ)
  - HARDIE PANEL (ON THE ROCKS SW/RTZ)
  - HARDIE PANEL (PEPPER CORN SW/RTZ)
  - HARDIE PANEL (PURE WHITE SW/RTZ)
  - HARDIE PANEL (ACCENT COLOR - SEE ELEVATIONS) (ESBERG SW 87M00RTY MARTIN SW 9119AS)
  - OH DOOR (PEPPER CORN SW/RTZ)
  - ENTRY DOOR - HARDIE PANEL SW/RTZ (ALTERNATE) - SANGRETO SW/RTZ
  - WINDOW FRAME - EXTERIOR BLACK - INTERIOR WHITE
  - SLIDING PATIO DOOR FRAME - EXTERIOR BLACK - INTERIOR WHITE
  - GUARDRAIL W/ LAMINATED GLASS - BLACK
  - ENTRY CANOPY - PEPPER CORN SW/RTZ
  - UNIT NUMBER - FLOAT MOUNT BRUSHED NICKEL BY HILMAN
  - FLASHING - BLACK
  - HARDIE PANEL REVEAL - SATIN NICKEL ALUMINUM
  - DECORATIVE MATERIAL - QUARTZ EXPOSED AGGREGATE (TORCH ON)
  - BACKYARD DOOR
  - ROOFTOP DECK PRIVACY SCREEN



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Very truly yours,  
 NEW TOWN ARCHITECTURAL AND PLANNING CONSULTANTS  
 PROJECT ARCHITECTS AND PLANNERS TO THE PROJECT.



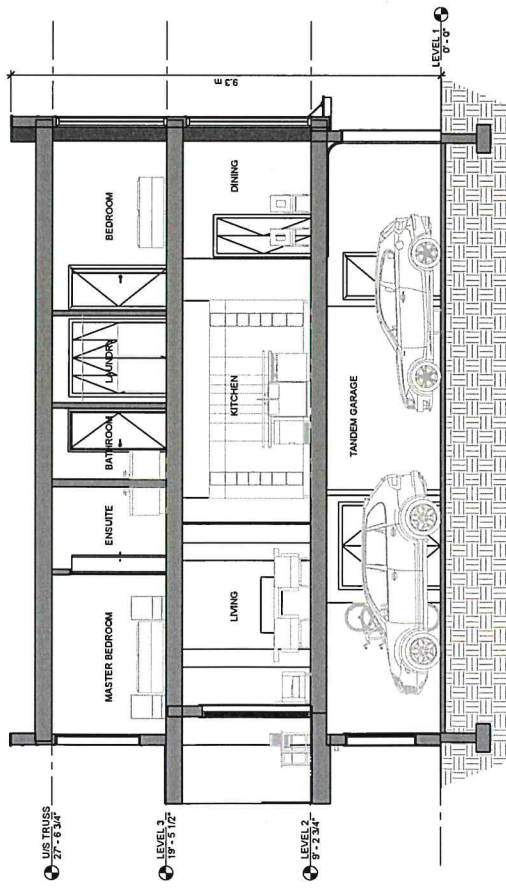
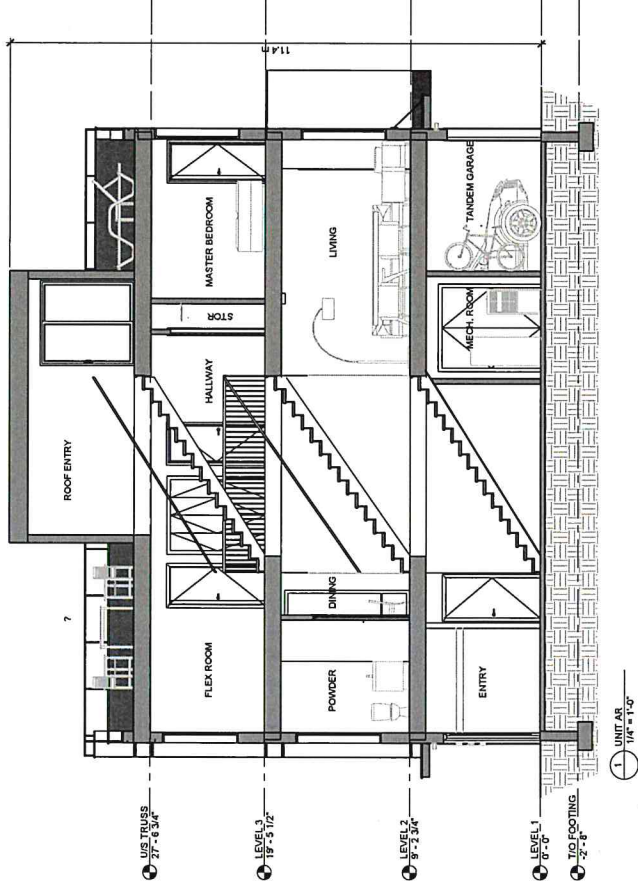
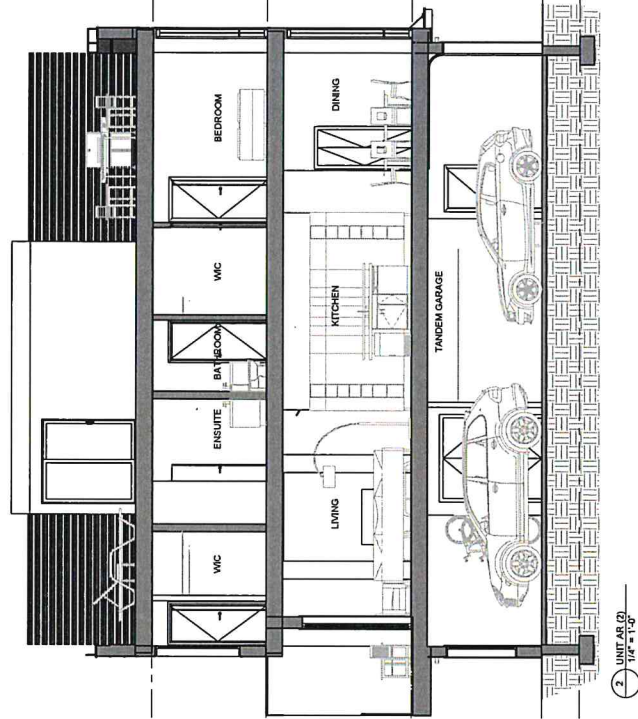
**NEW TOWN**  
 ARCHITECTURAL  
 AND PLANNING  
 CONSULTANTS  
 1000 WESTERN AVENUE, SUITE 100  
 VANCOUVER, BC V6E 2R6  
 TEL: 604.681.1111  
 WWW.NTARCHITECTS.COM

Scale

Revision	No	Date	Description
	1	18-09-20	ISSUED FOR DP
	2	18-11-20	REISSUED FOR DP
	3	18-03-06	REISSUED FOR DP

PROJECT: SHANNON LAKE TOWNHOUSE DEVELOPMENT  
 PROJECT ADDRESS: 1975 Shannon Lake Road, West Vancouver, BC V8W 2G1  
 PROJECT NO: 4030  
 DRAWING NO: SECTIONS UNITS TYPE A  
 SHEET: A5.1A  
 DATE: 18-09-20

NOT FOR CONSTRUCTION



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 VANCOUVER, BC V6H 3G9  
 WWW.NEWTOWNDEVELOPMENT.COM

Scale

Revision	No	Date	Description
1	18-05-23		ISSUED FOR DP
2	18-11-29		RE-ASSIGNED FOR DP
3	19-03-06		RE-ASSIGNED FOR DP

Project Name  
**SHANNON LAKE**  
 TOWNHOUSE  
 DEVELOPMENT

Project Address  
 1975 Shannon Lake Road  
 West Kelowna, BC  
 V1Y 9C6  
 4030

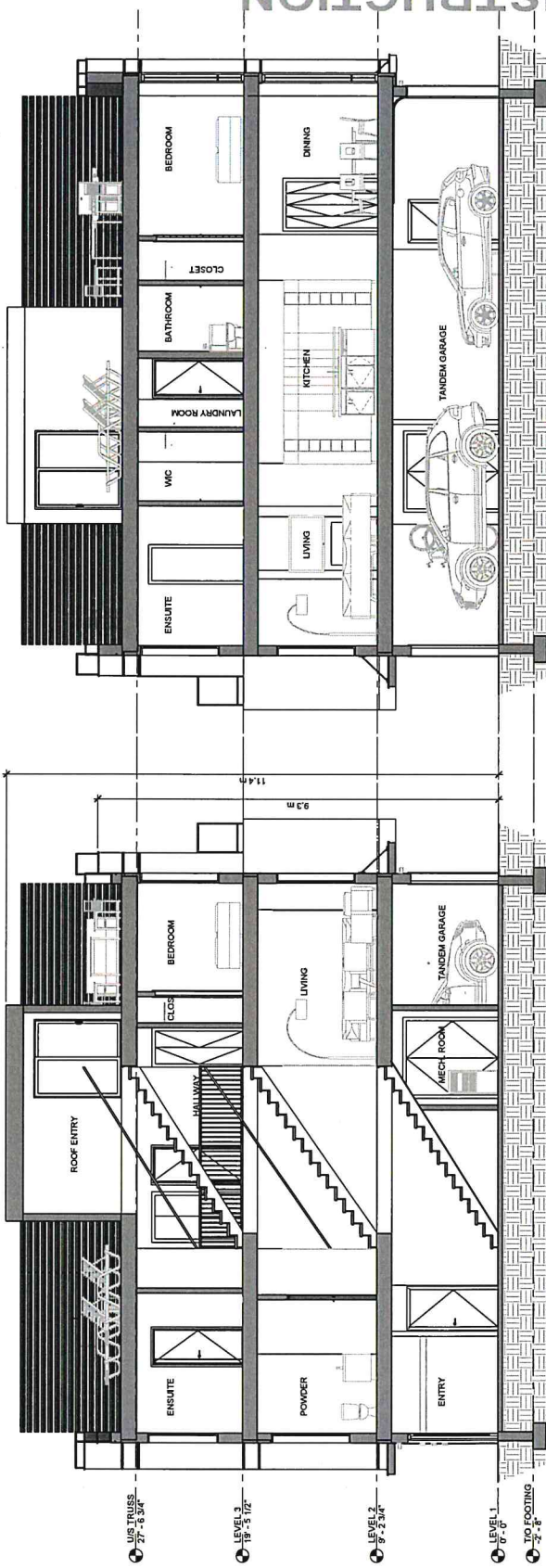
SECTION  
 UNITS TYPE B

Scale  
 1/4" = 1'-0"

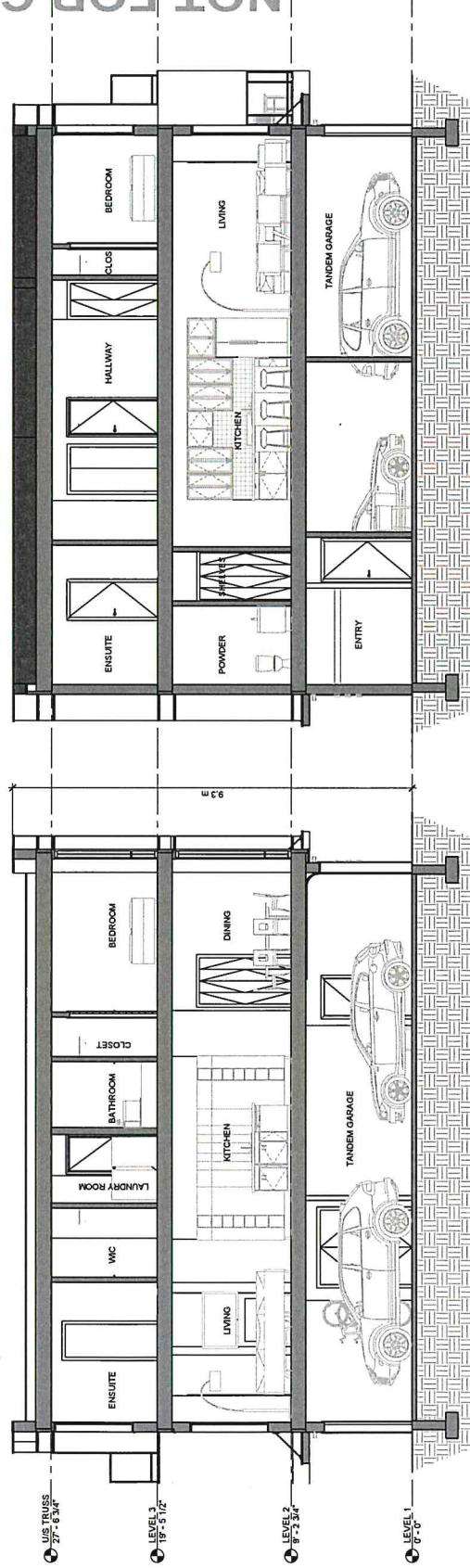
**A5.2B**

DATE: 18-05-23

NOT FOR CONSTRUCTION



1 UNIT B1  
 1/4" = 1'-0"



2 UNIT B2  
 1/4" = 1'-0"

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF ALL EXISTING AND PROPOSED WORK AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

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 URBAN PLANNING  
 & INTERIOR DESIGN  
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 DENVER, CO 80202  
 WWW.NEWTOWNARCHITECTS.COM

Scale

No.	Date	Description
1	10-03-20	ISSUED FOR BID
2	10-11-20	REISSUED FOR BID
3	10-03-06	REISSUED FOR BID

Project Name  
**SHANNON LAKE**  
 LOW-RISE  
 DEVELOPMENT

Project Address  
 1975 Shannon Lake Road  
 Denver, CO 80202  
 Project No.  
 403D  
 Drawing No.  
 SECTION 4

**SECTIONS**  
 UNITS TYPE B

Scale  
 1/4" = 1'-0"

**A5.3B**

NOT FOR CONSTRUCTION



4 Section 4  
 1/4" = 1'-0"

3 Section 3  
 1/4" = 1'-0"

1 UNIT A. B1 + B2  
 1/4" = 1'-0"





ALL CONTRACTORS ARE REQUIRED TO DESIGN AND CONSTRUCT WITH ALL BUILDING CODES AND REGULATIONS IN FORCE AT THE TIME OF CONSTRUCTION. THE OWNER IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY STRUCTURE OR EQUIPMENT WHICH IS NOT SHOWN ON THESE PLANS. THE OWNER IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY STRUCTURE OR EQUIPMENT WHICH IS NOT SHOWN ON THESE PLANS. THE OWNER IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY STRUCTURE OR EQUIPMENT WHICH IS NOT SHOWN ON THESE PLANS.



Scale

Revision	No	Date	Description
	1	18-11-29	REISSUED FOR DP
	2	18-03-26	REISSUED FOR DP

PROJECT TITLE  
**SHANNON LAKE TOWNHOUSE DEVELOPMENT**

PROJECT ADDRESS  
 1875 Shannon Lake Road  
 West Kelowna, BC

PROJECT NO.  
 4030

**DEVELOPMENT VIEW 1**

DATE	18-11-29
SCALE	1:1
DRAWN BY	J.A.
CHECKED BY	J.A.
PROJECT	4030

**A9.1**

NOT FOR CONSTRUCTION



KEYPLAN - VIEW LOCATION

ALL CONSTRUCTION IS SUBJECT TO PERMITS FROM THE LOCAL MUNICIPALITY AND THE PROVINCE OF BRITISH COLUMBIA. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.



NEW TOWN ORGANIZATIONAL PLANNING CIVIL ENGINEERING ARCHITECTURE INTERIOR DESIGN

Revision	No	Date	Description
	1	2023.11.28	ISSUED FOR DP
	2	2023.11.28	ISSUED FOR DP

Project Name: SHANNON LAKE TOWNHOUSE DEVELOPMENT  
 Project Address: 1875 Shannon Lake Road West Kelowna, BC  
 Project No.: 4030  
 Drawing No.: DEVELOPMENT VIEW 2  
 Scale: 1/8" = 1'-0"  
 Date: 11/28/23  
 Drawing No.: A9.2  
 Project No.: 4030

NOT FOR CONSTRUCTION



KEYPLAN - VIEW LOCATION



NOT FOR CONSTRUCTION



KEYPLAN - VIEW LOCATION



**NEW TOWN**  
 URBAN PLANNING  
 & DESIGN  
 1000 W. 10TH STREET  
 SUITE 100  
 DENVER, CO 80202  
 WWW.NEWTOWNURBANPLANNING.COM

Sheet

Revision No.	Date	Description
1	10/03/20	RESUBMITTED FOR DP

Project No. \_\_\_\_\_  
 Project Name \_\_\_\_\_  
 Project No. 4030  
 Drawing No. \_\_\_\_\_  
**DEVELOPMENT VIEW 3**  
 Date \_\_\_\_\_  
 Scale \_\_\_\_\_  
**A9.3**  
 SHEET 14 OF 20  
 10/03/20

ALL CONTRACTORS ARE REQUIRED TO DESIGN AND CONSTRUCT WITH ALL BUILDING CODES AND REGULATIONS IN EFFECT AT THE TIME OF THE PROJECT. THE DRAWING IS THE PROPERTY OF NEW TOWN ENGINEERING AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED THEREIN. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. THE DRAWING MUST NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT.

**NEW TOWN ENGINEERING**  
 1975 SHANNON LAKE ROAD  
 WEST KILLOWEN, BC  
 V2Y 1K2  
 TEL: 604.273.4030  
 FAX: 604.273.4031  
 WWW.NTENGINEERING.COM

Seal

Revision No	Date	Description
1	150300	ISSUED FOR DP

PROJECT NAME  
**SHANNON LAKE TOWNHOUSE DEVELOPMENT**

PROJECT ADDRESS  
 1975 Shannon lake road  
 West Kelowna, BC

PROJECT NO.  
 4030

DATE  
 15/03/2015

DEVELOPMENT VIEW 4

SCALE  
 1:100

DATE  
 15/03/2015

BY  
 [Signature]

NO.  
**A9.4**

DATE  
 15/03/2015

NOT FOR CONSTRUCTION



KEYPLAN - VIEW LOCATION

**1975 SHANNON LAKE ROAD TOWNHOUSES  
LANDSCAPE DEVELOPMENT PERMIT**



2018.11.20

**INDEX OF DRAWING SHEETS**

<u>DRAWINGS SHEET TITLE</u>	<u>DRAWING SHEET NO.</u>
COVER SHEET	L00
SITE PLAN	L01
SITE PLAN	L02
SITE PLAN	L03
LANDSCAPE DETAILS	L04

**ecora**  
 ECORA ENGINEERING & RESOURCE GROUP LTD.  
 1000 W. GREENWAY, SUITE 100  
 FAYETTEVILLE, NC 27033  
 Phone: 252-446-9737  
 Web: www.ecora.com

LK-18-159 L00 - L04

**LEGEND:**

- DECIDUOUS TREES
- PROPERTY LINE
- GRAVEL PATH
- SOD
- SHRUBS / GRASSES / PERENNIALS w/ GRAVEL MULCH
- COMMUNITY GARDEN
- EXISTING NATIVE HILLSIDE
- CONCRETE PAVING
- SAFETY SURFACE w/ PLAY EQUIPMENT
- BENCH (#)

**GENERAL NOTES:**

1. PLANT MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MINIMUM STANDARDS ESTABLISHED IN THE CANADIAN LANDSCAPE STANDARD (CURRENT EDITION).
2. THE LANDSCAPE DESIGN DESIGNATED HEREIN IS CONCEPTUAL AND NOT INTENDED FOR CONSTRUCTION. FINAL PLANT MATERIAL SELECTIONS ARE CONCEPTUAL ONLY. FINAL PLANTING SELECTIONS MAY VARY DEPENDING UPON AVAILABILITY.
3. ALL PLANTING BEDS SHALL HAVE APPROVED MULCH.
4. PLANTING SHALL BE ORIENTED WITH AN EFFICIENT AUTOMATIC IRRIGATION SYSTEM.
5. THIS DRAWING DEPICTS FORM AND CHARACTER AND IS TO BE USED FOR DEVELOPMENT PERMIT SUBMISSION ONLY. IT IS NOT INTENDED FOR USE AS A CONSTRUCTION DOCUMENT.

**PLANT LEGEND**

SYMBOL	PLANT NAME	PLANT SIZE	PLANT TYPE
	Deciduous Tree	10' - 12'	Tree
	Shrub	6' - 8'	Shrub
	Grass	1' - 2'	Grass
	Perennial	1' - 2'	Perennial
	Mulch	1' - 2'	Mulch

**REPRESENTATIVE PLANT LIST**

SYMBOL	PLANT NAME	PLANT SIZE	PLANT TYPE
	Deciduous Tree	10' - 12'	Tree
	Shrub	6' - 8'	Shrub
	Grass	1' - 2'	Grass
	Perennial	1' - 2'	Perennial
	Mulch	1' - 2'	Mulch

**REPRESENTATIVE IMAGES:**



PROJECT NO.	1157018
DATE	03/2018
SCALE	1:500

REVISION	
NO.	DATE (MM/DD/YYYY)
1	11/20/18
0	03/20/18

DESIGN ID	
DRAWN BY	EA
CHECKED BY	
DATE	03/20/18
SCALE	1:500

PROJECT	SHANNON LAKE TOWNHOMES, KELOWNA, B.C.
CLIENT	NEW TOWNSERVICES

PROJECT NO.	1157018
DATE	03/20/18
SCALE	1:500

DESIGN ID	
DRAWN BY	EA
CHECKED BY	
DATE	03/20/18
SCALE	1:500

PROJECT	SHANNON LAKE TOWNHOMES, KELOWNA, B.C.
CLIENT	NEW TOWNSERVICES

**ecora**  
 570 LAWRENCE AVE. KELOWNA, B.C. V1Y 6R9  
 PHONE: 250-629-9257 WWW.ECORACA

REFER TO LDP-02

REFER TO LDP-03

EA



**SITE PLAN**

LDP-01

Project No. LK-18-159-XSB



**LEGEND:**

- DECIDUOUS TREES
- PROPERTY LINE
- GRAVEL PATH
- SOD
- SHRUBS / GRASSES / PERENNIALS w/ GRAVEL MULCH
- COMMUNITY GARDEN
- EXISTING NATIVE HILLSIDE
- CONCRETE PAVING
- SAFETY SURFACE w/ PLAY EQUIPMENT
- BENCH (#)

**GENERAL NOTES:**  
 1. PLANT MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MINIMUM STANDARDS ESTABLISHED IN THE CANADIAN LANDSCAPE STANDARD (CURRENT EDITION).  
 2. THE DRAWING IS A CONCEPTUAL DESIGN AND DOES NOT REFLECT THE MINIMUM ACCEPTABLE QUALITY CODES.  
 3. PLANT MATERIAL SELECTIONS ARE CONCEPTUAL ONLY. FINAL PLANTING SELECTIONS MAY VARY DEPENDING UPON AVAILABILITY.  
 4. ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN EFFICIENT AUTOMATIC IRRIGATION SYSTEM.  
 5. THIS DRAWING DEPICTS FORM AND CHARACTER AND IS TO BE USED FOR DEVELOPMENT PERMIT SUBMISSION ONLY. IT IS NOT INTENDED FOR USE AS A CONSTRUCTION DOCUMENT.

**PLANT LEGEND**

SYMBOL	PLANT NAME	SIZE	PLANTING RATE
○	Deciduous Tree	100cm DBH	1 per 100sqm
○	Deciduous Tree	75cm DBH	1 per 150sqm
○	Deciduous Tree	50cm DBH	1 per 200sqm
○	Deciduous Tree	25cm DBH	1 per 300sqm
○	Deciduous Tree	15cm DBH	1 per 400sqm
○	Deciduous Tree	10cm DBH	1 per 500sqm
○	Deciduous Tree	7.5cm DBH	1 per 600sqm
○	Deciduous Tree	5cm DBH	1 per 700sqm
○	Deciduous Tree	2.5cm DBH	1 per 800sqm
○	Deciduous Tree	1.5cm DBH	1 per 900sqm
○	Deciduous Tree	1cm DBH	1 per 1000sqm

**REPRESENTATIVE PLANT LIST**

PLANT NAME	SIZE	PLANTING RATE
Deciduous Tree	100cm DBH	1 per 100sqm
Deciduous Tree	75cm DBH	1 per 150sqm
Deciduous Tree	50cm DBH	1 per 200sqm
Deciduous Tree	25cm DBH	1 per 300sqm
Deciduous Tree	15cm DBH	1 per 400sqm
Deciduous Tree	10cm DBH	1 per 500sqm
Deciduous Tree	7.5cm DBH	1 per 600sqm
Deciduous Tree	5cm DBH	1 per 700sqm
Deciduous Tree	2.5cm DBH	1 per 800sqm
Deciduous Tree	1.5cm DBH	1 per 900sqm
Deciduous Tree	1cm DBH	1 per 1000sqm

**REPRESENTATIVE IMAGES:**



**PROJECT:** SHANNON LAKE TOWNHOMES, KELOWNA, B.C.

**CLIENT:** NEW TOWN SERVICES

**ecora™**  
 57 LAWRENCE AVE. KELOWNA, B.C. V1Y 6L8  
 PHONE: 250-492-9137 WWW.ECORACANADA.COM

**DATE:** 11/09/18

**SCALE:** 1:500

**NO. [DATE (MM/DD/YY)]:** 0 [03/20/18]

**REVISION:**

**SITE PLAN**

**LDP-02**

Project No. LK-18-169-XSB



**LEGEND:**

- DECIDUOUS TREES
- PROPERTY LINE
- GRAVEL PATH
- SOD
- SHRUBS / GRASSES / PERENNIALS w/ GRAVEL MULCH
- COMMUNITY GARDEN
- EXISTING NATIVE HILLSIDE
- CONCRETE PAVING
- SAFETY SURFACE w/ PLAY EQUIPMENT
- BENCH (B)

**GENERAL NOTES:**

1. PLANT MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MINIMUM STANDARDS ESTABLISHED IN THE CANADIAN LANDSCAPE STANDARD (CURRENT EDITION).
2. THE SELECTION OF PLANT MATERIALS IN THIS CONCEPTUAL DESIGN IS CONCEPTUAL AND NOT INTENDED TO BE FINAL.
3. PLANT MATERIAL SELECTIONS ARE CONCEPTUAL ONLY. FINAL PLANTING SELECTIONS MAY VARY DEPENDING UPON AVAILABILITY.
4. ALL TREES SHALL HAVE APPROVED MULCH.
5. ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN EFFICIENT AUTOMATIC IRRIGATION SYSTEM.
6. THIS DRAWING DEPICTS FORM AND CHARACTER AND IS TO BE USED FOR DEVELOPMENT PERMIT SUBMISSION ONLY. IT IS NOT INTENDED FOR USE AS A CONSTRUCTION DOCUMENT.

**PLANT LEGEND**

SYMBOL	PLANT NAME	PLANT SIZE	PLANT TYPE
(Symbol)	Plant Name	Plant Size	Plant Type
(Symbol)	Plant Name	Plant Size	Plant Type
(Symbol)	Plant Name	Plant Size	Plant Type
(Symbol)	Plant Name	Plant Size	Plant Type
(Symbol)	Plant Name	Plant Size	Plant Type
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(Symbol)	Plant Name	Plant Size	Plant Type
(Symbol)	Plant Name	Plant Size	Plant Type
(Symbol)	Plant Name	Plant Size	Plant Type

**THREE LEGENDS**

SYMBOL	PLANT NAME	PLANT SIZE	PLANT TYPE
(Symbol)	Plant Name	Plant Size	Plant Type
(Symbol)	Plant Name	Plant Size	Plant Type
(Symbol)	Plant Name	Plant Size	Plant Type

**REPRESENTATIVE PLANT LIST**

SYMBOL	PLANT NAME	PLANT SIZE	PLANT TYPE
(Symbol)	Plant Name	Plant Size	Plant Type
(Symbol)	Plant Name	Plant Size	Plant Type
(Symbol)	Plant Name	Plant Size	Plant Type
(Symbol)	Plant Name	Plant Size	Plant Type
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(Symbol)	Plant Name	Plant Size	Plant Type
(Symbol)	Plant Name	Plant Size	Plant Type
(Symbol)	Plant Name	Plant Size	Plant Type
(Symbol)	Plant Name	Plant Size	Plant Type

**REPRESENTATIVE IMAGES:**



**SITE PLAN**

LDP-03

Project No. LK-18-159-XSB

DESIGN BD  
DRAWN BY  
DATE 03/08/18  
SCALE 1:500

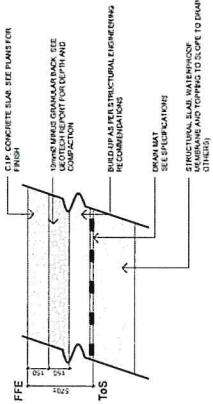
RE-ISSUED FOR DEVELOPMENT PERMIT  
ISSUED FOR DEVELOPMENT PERMIT

NO. [DATE (MM/DD/YYYY)]  
REVISION

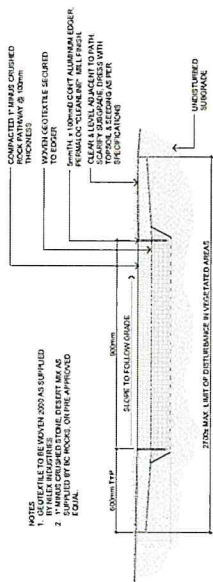


PROJECT: SHANNON LAKE TOWNHOMES, KELOWNA, B.C.  
CLIENT: NEW TOWN SERVICES

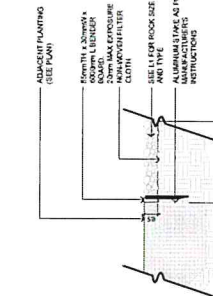
**ecora**  
571 LAWRENCE AVE. KELOWNA, B.C. V1Y 1E8  
PHONE: 250-869-9757 WWW.ECORCA.CA



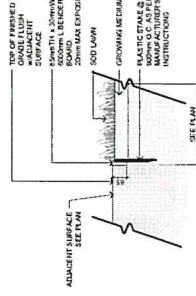
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L03  
CONCRETE PAVING  
N.T.S.



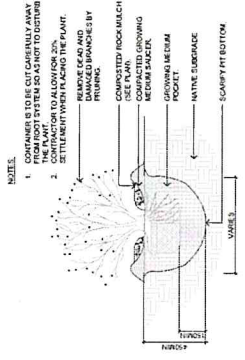
2  
L03  
GRAVEL PATHWAY  
N.T.S.



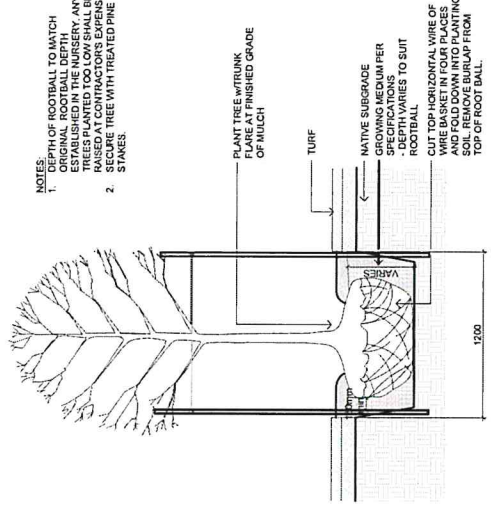
3  
L03  
ROCK MULCH  
N.T.S.



4  
L03  
LAWN PLANTING  
N.T.S.



5  
L03  
SHRUB PLANTING  
N.T.S.



6  
L03  
TREE PLANTING  
N.T.S.

DESIGN ID	DATE	SCALE	REVISION
CHK'D BY	03/25/18	AS NOTED	
DATE	03/25/18		
ISSUED FOR DEVELOPMENT PERMIT			
ISSUED FOR DEVELOPMENT PERMIT			
NO. (DATE (MM/DD/YYYY))			

**APPLICANT RATIONALE FOR VARIANCES (DP 18-29)**HEIGHT

The homes are arranged in contemporary styled blocks along a walkable street. Private patios and balconies are offered in all homes and ridge side homes also have rooftop terraces. Sheltered stairways lead to the rooftop terrace thus triggering a height variance in the number of storeys. Although some jurisdictions don't count roof access as a storey, the West Kelowna Zoning Bylaw does not exempt these structures from the height calculation. A variance to allow a maximum height of 11.4 m will be required.

LOADING SPACES

The site plan has the loading spaces within the development property skirting the access road. This location, although not ideal, satisfies the bylaw requirement, is not visible from offsite property and is duly screened by the proposed townhomes from Shannon Lake Road. Amendment to the location is not practical. Finally it is understood that the draft Zoning Bylaw is addressing the inordinately high need for loading within multiple residential development. Please note, the City of Kelowna does not require any loading for multiple family residential developments.

# DP 18-29 with Variances GIS Mail Notification Map

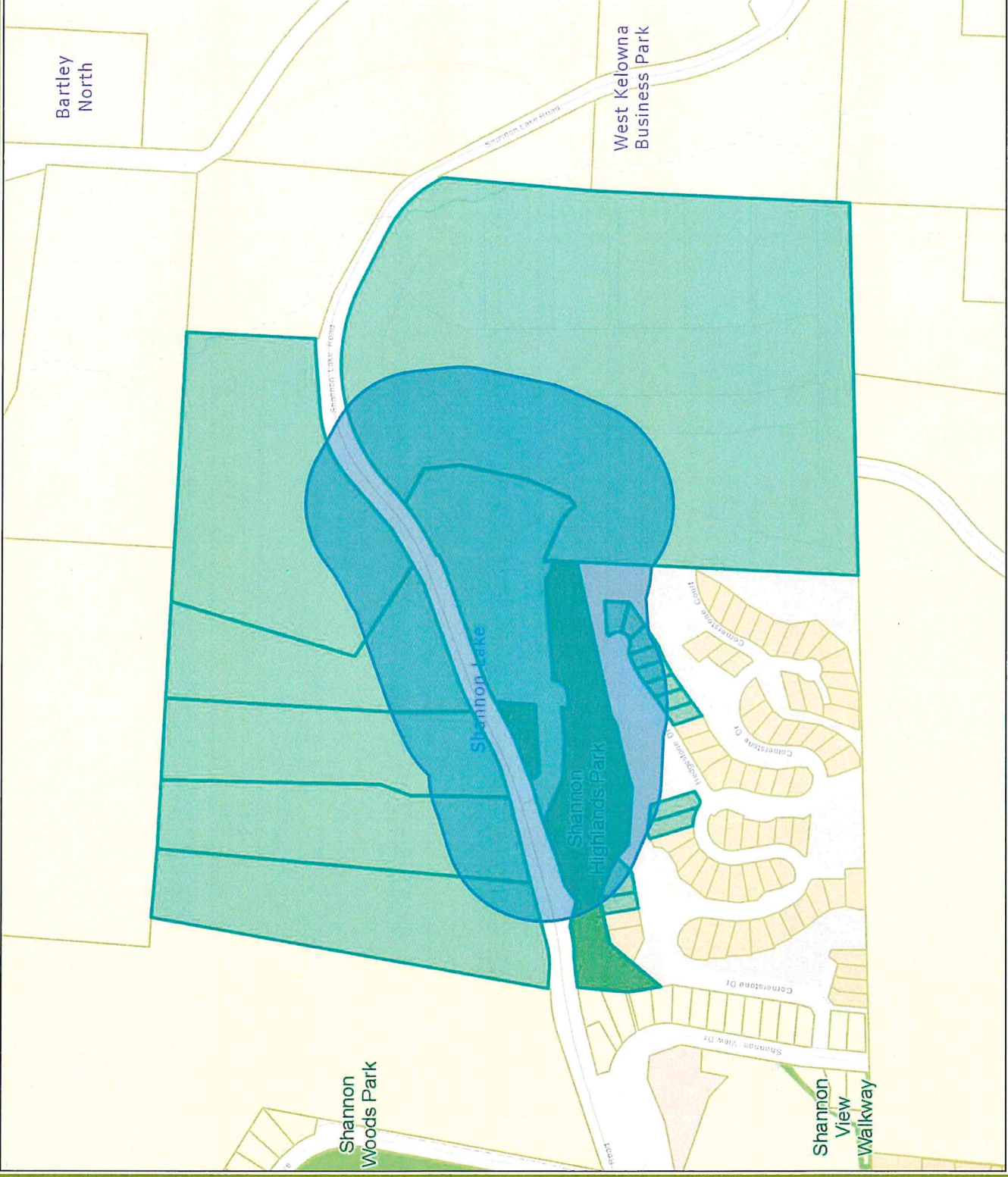


**Legend**

Cemetery	City Hall	Community Centre	Dam	Fire Hall	Museum
Basemap Layers	WK Admin Boundary	Regional Admin Boundary	Highway	River / Stream	Intermittent Stream
Waterbody	Lake Access	Regional Park	Municipal Park	Westbank First Nation	Lease
Ownership	Land Strata	Building Strata	Common Property	Crown Land	Park
Parcels	Road Right-Of-Way	Walkway	Common Access		

**Scale** 1 : 5,561

**Notes**



This map has been produced by the City of West Kelowna's Geographic Information System. The data provided is derived from a variety of sources with varying levels of accuracy. The City of West Kelowna makes no warranty or representation, expressed or implied, with the regard to the correctness, accuracy and/or reliability of the information contained herein.

0 141 283 Meters

Map Projection: NAD\_1983\_UTM\_Zone\_11N  
© City of West Kelowna (2015)

Map Produced on: 4/24/2019 7:38:10 AM

#1

-----Original Message-----

From: BRIAN CRYER <[REDACTED]>

Sent: May-05-19 3:46 PM

To: info west kelowna <[info@westkelownacity.ca](mailto:info@westkelownacity.ca)>

Subject: DP 18-29 Notice for Development Permit with Variance.

Attn: City Clerk,

Re: Written submission regarding the development permit and effects approval will have on residents of Crystal Springs (1850 Shannon Lake Road) specifically unit #52.

I wish to bring the following items forward and hopefully affect resolution to them at the upcoming hearing. The items are:

1. We ARE NOT opposed to the construction of the Townhome Project next to our property but rather would appreciate these few items be considered to allow a seamless transition. The first is a speed and traffic flow issue down Shannon Lake road. Until two years ago, we had a slow to 30kmh sign and enforcement by the curve approaching our Main gate entrance. That is not the case now and, with a higher traffic volume from the proposed project, it is extremely difficult to exit or enter our complex safely. Could this be looked at and a resolution from traffic dept. be attached in the issue of the permit?
2. As the hill directly behind our row of houses is rocky and very steep, we would ask that a design of a safeguard to prevent rocks, boulders or other dangerous projectiles from being pushed, tossed or in any way moved to coming down the hill and causing injury or severe damage to the residents or homes below.

I believe these are reasonable requests and , if dealt with at this stage, will set the tone for a very harmonious addition to our wonderful neighbourhood.

I thank you for the opportunity to express our very real concerns.

Brian and Patti Cryer  
#52-1850 Shannon Lake road  
West Kelowna, B.C.



~ PLEASE ~

If you forward this, PLEASE REMOVE my email address before you send it on. Thanks!