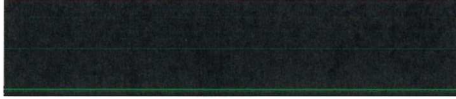




**CITY OF WEST KELOWNA
DEVELOPMENT VARIANCE PERMIT
DVP 22-02**

To: Peter Anthony Dirk and Karen Julie Muma



1. This Development Variance Permit is issued subject to compliance with all of the Bylaws of the City of West Kelowna applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Permit applies to and only to those lands within the City of West Kelowna described below, and any and all buildings, structures and other developments thereon:

**Lot 1, DL 2044, ODYD, Plan EPP82905
(2240 Hihannah Drive)**

3. This permit allows for a single detached dwelling to be constructed. The permit varies S.10.4.5.g.1 of the Zoning Bylaw No. 0154 to **reduce the front parcel setback from 4.5m to 1.89m and the garage setback from 6.0m to 4.02m to construct a single detached dwelling** in accordance with the site plan and building design plans – attached as Schedule 'A' and Landscape Plan – attached as Schedule 'B'.
4. The land described herein shall be developed strictly in accordance with the terms and conditions of this Permit.
5. **This Permit is not a Building Permit.**

AUTHORIZING RESOLUTION NO (_____) PASSED BY THE MUNICIPAL COUNCIL ON
(_____)

ISSUED ON _____

Signed on _____

CORPORATE OFFICER

Schedules:

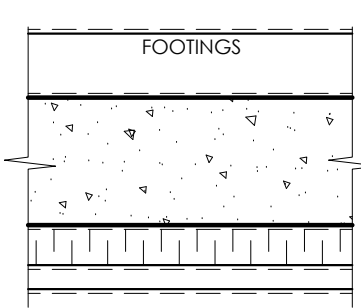
- A. Site and building design plans
- B. Landscape Plan

**BUILDING ASSEMBLIES
WITH H.R.V.:**

WALL ASSEMBLIES:

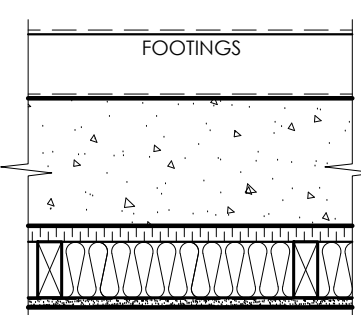
Wc1

GRADE BEAM WALL UNDER WOOD FRAMING:
REQ RSI = 1.99 / 2.31 PROPOSED
• DAMPROOFING or (.03)
• WATERPROOFING, SEE GEOTECH. RECOMMENDATION
• KEYED FOOTINGS (MIN. 1'6"X8")
• 8" BELOW GRADE BEAM WALL C/W REINFORCING TO BCBC (.08)
• FOOTINGS C/W WEeping TILE, DRAINAGE MATT AND DRAINAGE ROCK TO FOOTINGS PERIMETER
• PEEL AND STICK WATERPROOF MEMBRANE AT WOOD CONNECTIONS LESS THAN 8" FROM GRADE
• 2.5" R12 MIN. XPS RIGID (2.2)
• INSULATION TO FLOOR LEVEL (INT.)



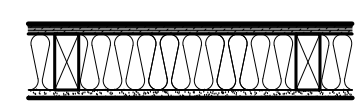
Wc2

FOUNDATION WALL:
REQ RSI = 2.98 / 3.18 PROPOSED
• DAMPROOFING or (.03)
• WATERPROOFING, SEE GEOTECH. RECOMMENDATION
• KEYED FOOTINGS (MIN. 1'6"X8")
• 8" BELOW GRADE CONC. WALL C/W REINFORCING TO BCBC (.08)
• FOOTINGS C/W WEeping TILE, DRAINAGE MATT AND DRAINAGE ROCK TO FOOTINGS PERIMETER
• PEEL AND STICK WATERPROOF MEMBRANE AT WOOD CONNECTIONS LESS THAN 8" FROM GRADE
• 1.5" XPS RIGID INSULATION, NOT T&G OR TAPED SEAMS (1.32)
• 2X4 FRAMING @ 24" O.C., C/W R12 BATT INSULATION (1.53)
• 6 MIL POLY AIR & VAPOUR BARRIER
• 1/2" or 5/8" DRYWALL (.08)
• AIR FILM (.12)



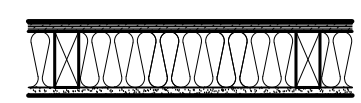
Ww1

LOADBEARING EXTERIOR WALL, BCBC TYPE EW1:
REQ RSI = 3.08 (2.97 HRV) / 2.99 PROPOSED
• EXTERIOR AIR FILM (.03)
• STUCCO (.014) or
• PANEL SIDING (.09) or
• STONE VENEER (.011) or
• CEDAR PLANKS (.12)
• 2 PLY ASPHALT BUILDING PAPER
• EXTERIOR GRADE PLYWOOD or O.S.B. SHEATHING (.1)
• 2x6" WOOD STUDS @ 16" O.C., C/W R24 BATT INSUL. (2.66)
• 6 MIL AIR & VAPOUR BARRIER
• 1/2" or 5/8" DRYWALL (.08)
• INTERIOR AIR FILM (.12)



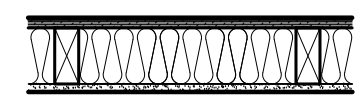
Ww2

LOADBEARING GARAGE DEMISING WALL:
REQ RSI = 2.92 / 2.99 PROPOSED
• EXTERIOR AIR FILM (.03)
• PAINT
• OPTIONAL GYPSUM BOARD
• EXTERIOR GRADE PLYWOOD or O.S.B. SHEATHING (.1)
• 2x6" WOOD STUDS @ 16" O.C., C/W R24 BATT INSUL. (2.66)
• 6 MIL AIR & VAPOUR BARRIER
• 1/2" or 5/8" DRYWALL (.08)
• INTERIOR AIR FILM (.12)



Ww3

LOADBEARING GARAGE EXTERIOR WALL:
REQ RSI = 0 / 2.97 PROP.
• EXTERIOR AIR FILM (.03)
• STUCCO (.014) or
• PANEL SIDING (.09) or
• STONE VENEER (.011)
• 2 PLY ASPHALT BUILDING PAPER
• EXTERIOR GRADE PLYWOOD or O.S.B. SHEATHING (.1)
• 2x6" WOOD STUDS @ 16" O.C., C/W R22 BATT INSUL. (2.55)
• 6 MIL AIR & VAPOUR BARRIER
• 1/2" or 5/8" DRYWALL (.08)
• INTERIOR AIR FILM (.12)

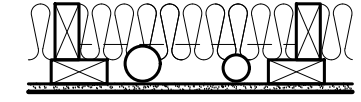


Ww4

LOADBEARING & NON-LOADBEARING INTERIOR PARTITION WALL:
• 1/2" or 5/8" DRYWALL
• 2X4" or 6" STUDS @ 16" O/C
• 1/2" or 5/8" DRYWALL



• EXT. PLUMBING WALL TO BE FURRED WITH 2X4" STUDS ON FLAT C/W INSULATION AND VAPOUR BARRIER BEHIND WARM PLUMBING



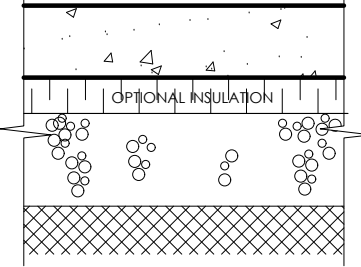
• INT. PLUMBING WALLS TO BE INSULATED FOR SOUND AS REQUIRED, ADD RES. METAL CHANNELS FOR ADD. SOUND R.



FLOOR ASSEMBLIES:

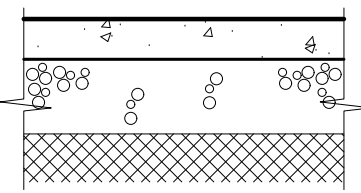
Fc1

CONCRETE SLAB ON GRADE:
REQ RSI = 1.96 ABOVE FROST (2.32 HEATED), 0.0 BELOW FROST
• INTERIOR AIR FILM (.16)
• FINISHED FLOORING C/W UNDERLAY OR TROWEL FINISH WITH CONCRETE SEALER + CONTROL JOINTS
• 5" SLAB ON GRADE (.05)
• REBAR AS REQUIRED PER BCBC
• OPTIONAL 2" XPS RIGID INSULATION, TAPE ALL SEAMS TO PROVIDE AIR, VAPOUR & RADON BARRIER (1.76)
• CONTINUOUS POLY AIR & VAPOUR BARRIER & @ PENETRATIONS, SEAL ALL W TAPE
• COMPACTED GRANULAR FILL



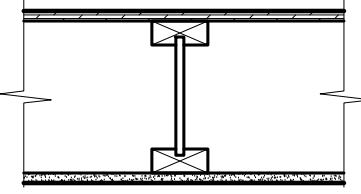
Fc2

CONCRETE PATIO, SIDEWALK, DRIVE:
• DECORATIVE FINISH, STAMPED & DYED PER OWNER + CONTROL JOINTS
• MIN. 3 1/2" REINFORCED CONC. SLAB ON GRADE
• SLOPE 1/8" / 12" AWAY FROM DWELLING
• ON COMPACTED FILL
• REINFORCING PER BCBC



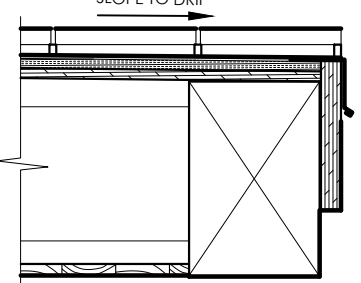
Fw1

WOOD FLOOR:
• FINISHED FLOORING C/W UNDERLAY
• 5/8" T&G PLYWOOD SUBFLOOR
• 11 7/8" FLOOR JOIST (SEE JOIST SUPPLIER SHOP DRAWINGS)
• 1/2" or 5/8" DRYWALL
• JOIST ENDS (R22) & CANTILEVER FLOORS (R40) TO BE INSULATED W EITHER BATT AND POLY AIR & VAPOUR BARRIER or 2LB CLOSED CELL SPRAY FOAM.
• MIN. RSI OF 4.47 REQUIRED AT CANTILEVERS (R-28)



Fw2

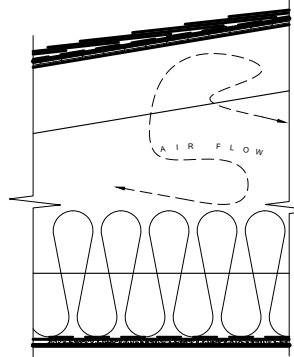
COVERED WOOD PATIO:
• DECKING MEMBRANE or OTHER C/W UNDERLAYMENT / OWNER
• 1/2" T&G EXTERIOR PLYWOOD
• 2x12" FLOOR JOIST (SEE JOIST SUPPLIER SHOP DRAWINGS)
• SOFFIT PER OWNER
• DECK EDGE FLASHING
• SLOPE 1/4" / 12" AWAY FROM DWELLING



ROOF ASSEMBLIES:

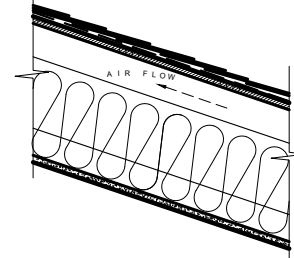
Rw1

SLOPED ROOF @ FLAT CEILINGS:
REQ RSI = 8.67 (6.91 HRV) / 9.28 PROP.
• ASPHALT SHINGLES
• ROOFING UNDERLAYMENT
• EXTERIOR GRADE PLYWOOD
• EXT. AIR FILM, VENTED ATTIC SPACE (.03)
• ENG. RAISED HEEL TRUSSES @ 24" O.C. BY OTHERS (3.5" WITHIN TRUSS = 1.76)
• R50 BLOWN CELLULOSE INSULATION +/- 14" (11.5" CONTINUOUS INSULATION = 7.3)
• 6 MIL POLY AIR & VAPOUR BARRIER
• 1/2" or 5/8" DRYWALL (.08)
• INTERIOR AIR FILM (.11)



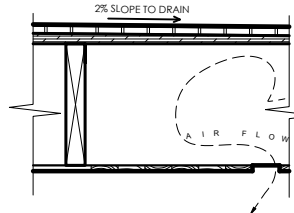
Rw2

SLOPED ROOF @ VAULTED CEILINGS:
REQ RSI = 4.67 / 9.28 PROP.
• EXTERIOR AIR FILM
• ASPHALT SHINGLES
• ROOFING UNDERLAYMENT
• EXTERIOR GRADE PLYWOOD
• EXT. AIR FILM, VENTED ATTIC SPACE (.03)
• ENG. RAISED HEEL TRUSSES @ 24" O.C. BY OTHERS (3.5" WITHIN TRUSS = 1.76)
• R50 BLOWN CELLULOSE INSULATION +/- 15" (11.5" CONTINUOUS INSULATION = 7.3)
• 6 MIL POLY AIR & VAPOUR BARRIER
• 1/2" or 5/8" DRYWALL (.08)
• INTERIOR AIR FILM (.11)



Rw3

FLAT & SLOPE ROOFS OVER EXTERIOR SPACE:
• ASPHALT SHINGLES or
• FINISHED WATERPROOF MEMBRANE or 2 PLY SBS ROOF
• PROTECTION BOARD AS REQUIRED
• GALVANIZED FLASHING AT ROOF EDGES
• EXTERIOR GRADE PLYWOOD
• 2x or TJI ROOF JOISTS PER SUPPLIER, SLOPING TOP CHORD + JACKS AS REQ.
• SLOPE ROOF MIN. 1/4" / 12" TO DRIP or DRAIN
• VENTED SOFFIT PER OWNER, DARK COLOR
• ROOF MEMBRANE TO MIN. 12" UP EXT. WALL



FENESTRATION:

WINDOWS & DOORS TO HAVE AN OVERALL THERMAL TRANSMITTANCE (U-VALUE) NOT GREATER THAN LISTED WITHIN THE BCBC. HEATING DEGREE DAY, CLIMATE ZONE 5, MAX. U-VALUE TO BE 1.80.

DOORS TO UNCONDITIONED GARAGE FROM DWELLING MAX. U-VALUE OF 0.46.
FRONT DOOR MAX. U-VALUE OF 0.46.
GLASS DOORS MAX. U-VALUE OF 0.51.
ATTIC HATCH MIN. RSI OF 2.6.

ASSEMBLY REFERENCE NOTES:

1. RATED ASSEMBLIES HAVE BEEN IDENTIFIED ACCORDING TO APPENDIX D, TABLES D-2.2.1 - D-2.6.1, A-9.10.3.1.A, & A-9.10.3.1.B. OF THE CURRENT BRITISH COLUMBIA BUILDING CODE.
2. GRID LINES / DIMENSIONS ARE TO THE CENTERLINE OF STUDS / ASSEMBLY OR EDGE OF STUDS U.N.O.
3. PROVIDE CONTINUOUS AIR & VAPOR BARRIER THROUGHOUT, SEAL ALL JOINTS, INTERSECTIONS, LEAVE MIN. 4" LAPS.
4. BUILDING PAPER TO BE 2 LAYERS "HAL-TEX SUPER" OR APPROVED EQUAL, INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND THE ASSOCIATION OF WALL AND CEILING CONTRACTORS OF B.C. SPECIFICATION STANDARDS MANUAL.
5. APPLY CONTINUOUS ACOUSTICAL SEALANT TO BASE PERIMETER OF WALLS, AROUND ELECTRICAL AND ANY OTHER OPENINGS, AND AT THE JUNCTION OF INTERSECTING PARTITIONS.
6. REFER TO GEOTECHNICAL REPORT & SPECIFICATIONS FOR EXCAVATIONS, WATERPROOFING & BACKFILL DESIGN REQUIREMENTS.
7. REFER TO MECHANICAL DRAWINGS & SPECIFICATIONS FOR DRAINAGE & WALL PENETRATION LOCATIONS.
8. REFER TO STRUCTURAL DRAWINGS & SPECIFICATIONS FOR LOCATIONS, CONCRETE MATERIAL, REINFORCING AND APPLICATION.
9. REFER TO DETAILS, NOTES & SPECIFICATIONS FOR ADDITIONAL INFORMATION.
10. USE MOISTURE RESISTANT DRYWALL OR EQUAL AS A BASE FOR FINISH MATERIALS IN ALL WASHROOMS.
11. ALL FIRE PROTECTION SURFACES MUST BE IN PLACE PRIOR TO THE INSTALLATION OF THE ABOVE SURFACES.
12. SHEATHING MEMBRANE (WEATHER BARRIER) TO MEET CAN/CGSB-51.32-M MINIMUM.
13. ALL PLUMBING / MECHANICAL WALL CAVITIES TO BE FILLED WITH ACOUSTIC FIBRE-GLASS BATT INSULATION. INSULATION TO BE INSTALLED TIGHT TO DRYWALL BUT NOT BE COMPRESSED. SEE MANUFACTURERS INSTRUCTIONS.
14. REFER TO DETAILS FOR BUILDING ENVELOPE INFORMATION.
15. ALL EXTERIOR WOOD USED FOR ITEMS SUCH AS GUARDS, HANDRAILS, PRIVACY SCREENS, TRELLIS, ETC. OTHER THAN STRUCTURAL FRAMING WITHIN BUILDING ENVELOPE, IS TO BE PRESSURE TREATED.
16. ACOUSTIC CAULKING REQUIRED AT FULL PERIMETER OF ALL SUITE DEMISING WALLS AT FLOOR, CEILING & WALL INTERSECTIONS.
17. WOOD STUD SPACING TO BE 16" O.C. MAX. U.N.O. - CLOSER SPACING MAY BE REQUIRED. REFER TO STRUCTURAL DRAWINGS.
18. MECHANICAL SYSTEMS (DUCTS, PIPING, ETC.) LOCATED WITHIN WALL CAVITIES IS NOT TO COME IN CONTACT WITH FRAMING.
19. MECHANICAL DUCTS WITHIN JOIST SPACE TO BE INSULATED. ALL DUCTS TO TERMINATE W/ VENT HOOD.
20. PROVIDE VAPOUR BARRIER BOOTS FOR ALL BUILDING ENVELOPE PENETRATIONS @ EXTERIOR WALLS AND ROOF LEVEL.
21. WHERE SOUND ABSORPTIVE MATERIAL (ACOUSTIC INSULATION) IS CALLED FOR WITHIN STUD SPACING, INSULATION MUST FILL AT LEAST 90% OF THE CAVITY FOR THE WALL TO HAVE THE LISTED S.T.C. VALUE.
22. REFER TO STRUCTURAL DRAWINGS FOR PLYWOOD SHEAR WALL LOCATIONS. LOCATE PLYWOOD TO DRYWALL SIDE, NOT IN THE REQUIRED AIR SPACE.
23. PLUMBING INSTALLATION REQUIREMENTS:
 - 23.1 PLUMBING ROUGH-IN TO BE INSTALLED W/IN THE DIMENSION OF FRAMING MATERIAL.
 - 23.2 PLUMBING NOT TO TOUCH INTERIOR FACE OF GWB.
24. SUBFLOOR DEPRESSURIZATION:
 - 24.1 RADON VENT PIPE TO BE MIN. 100mm
 - 24.2 PIPE TO TERMINATE ON THE EXTERIOR, 1M ABOVE ANY INLET, DOOR or OPERABLE WINDOW, 2M ABOVE PATIO / ROOF OCCUPANCY, 1.8M FROM PROPERTY LINES.
 - 24.3 LABEL PIPE "RADON VENT PIPE" EVERY 1.2M & AT EVERY CHANGE IN DIRECTION.
 - 24.4 SEAL UNDER SLAB AIR & VAPOUR BARRIER TO RADON VENT PIPE.
 - 24.5 PROVIDE POWER ADJACENT VENT PIPE IN CASE OF REQ. MECH. ASSISTANCE.
25. ALL ROOFING TO MIN. RCABC STANDARDS

THIS DRAWING MUST NOT BE SCALED.
VERIFY ALL DIMENSIONS AND DATUMS ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS.
REPORT ALL ERRORS AND OMISSIONS.

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ISSUED FOR
DEVELOPMENT &
BUILDING PERMIT

14. FEB 16 / 2022	DEV. PERMIT - DRIVEWAY / ELEV
13. FEB 3 / 2022	DEV. PERMIT - VARIANCES
12. SEPT 28 / 2021	ISSUED FOR BUILDING PERMIT
11. AUG 31 / 2021	ISSUED FOR TENDER
10. AUG 10 / 2021	ISSUED FOR TENDER & FINAL REVIEW
9. JULY 30 / 2021	C. REVIEW - PLAN REVISIONS

8. JULY 22 / 2021	CLIENT REVIEW - ELEV, FINAL PLANS
7. JUNE 22 / 2021	CLIENT REVIEW - ROOF LINES
6. JUNE 2 / 2021	CLIENT REVIEW - WINDOWS, GRADE
5. MAY 10, 14 / 2021	CLIENT REVIEW - SITE, M.F.P LAYOUT
4. APR 36 / 2021	CLIENT REVIEW - SITE, M.F.P LAYOUT
3. APR 14 / 2021	CLIENT REVIEW - SITE, M.F.P LAYOUT

P 9 d

part nine designs
250-864-7971
clint@partninedesigns.ca
partninedesigns.ca

NEW CUSTOM HOME
2240 HIHANNAH DRIVE
WEST KELOWNA, BC V4T 3C9

BUILDING
ASSEMBLIES
& NOTES

Start Date:
March 28, 2021
Project: P21-05

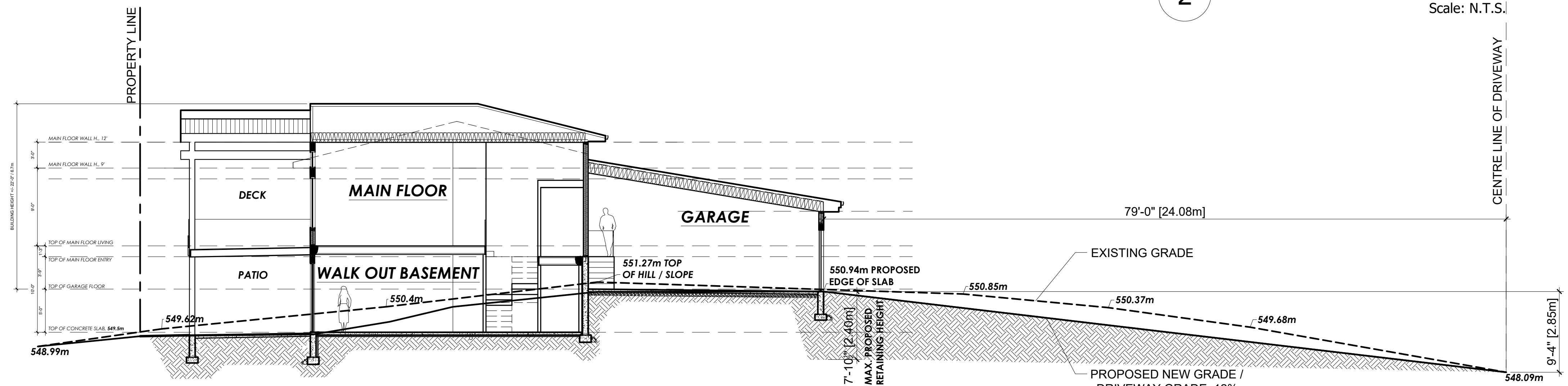
A1.1



3 LOT LOOKING NORTH
Scale: N.T.S.



2 LOT LOOKING SOUTH
Scale: N.T.S.



1 SITE SECTION
Scale: 1/8" = 1'-0"

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15. MAR 15 / 2022	DEV. PERMIT - SITE SECTION 2	9. JULY 30 / 2021	C. REVIEW - PLAN REVISIONS
14. FEB 16 / 2022	DEV. PERMIT - DRIVEWAY / ELEVATIONS	8. JULY 22 / 2021	CLIENT REVIEW - ELEVATIONS, FINAL PLANS
13. FEB 5 / 2022	DEV. PERMIT - VARIANCES	7. JUNE 22 / 2021	CLIENT REVIEW - ROOFLINES
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10. AUG 10 / 2021	ISSUED FOR TENDER & FINAL REVIEW	4. APR 26 / 2021	CLIENT REVIEW - SITE, M.F.P. LAYOUT

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p9d

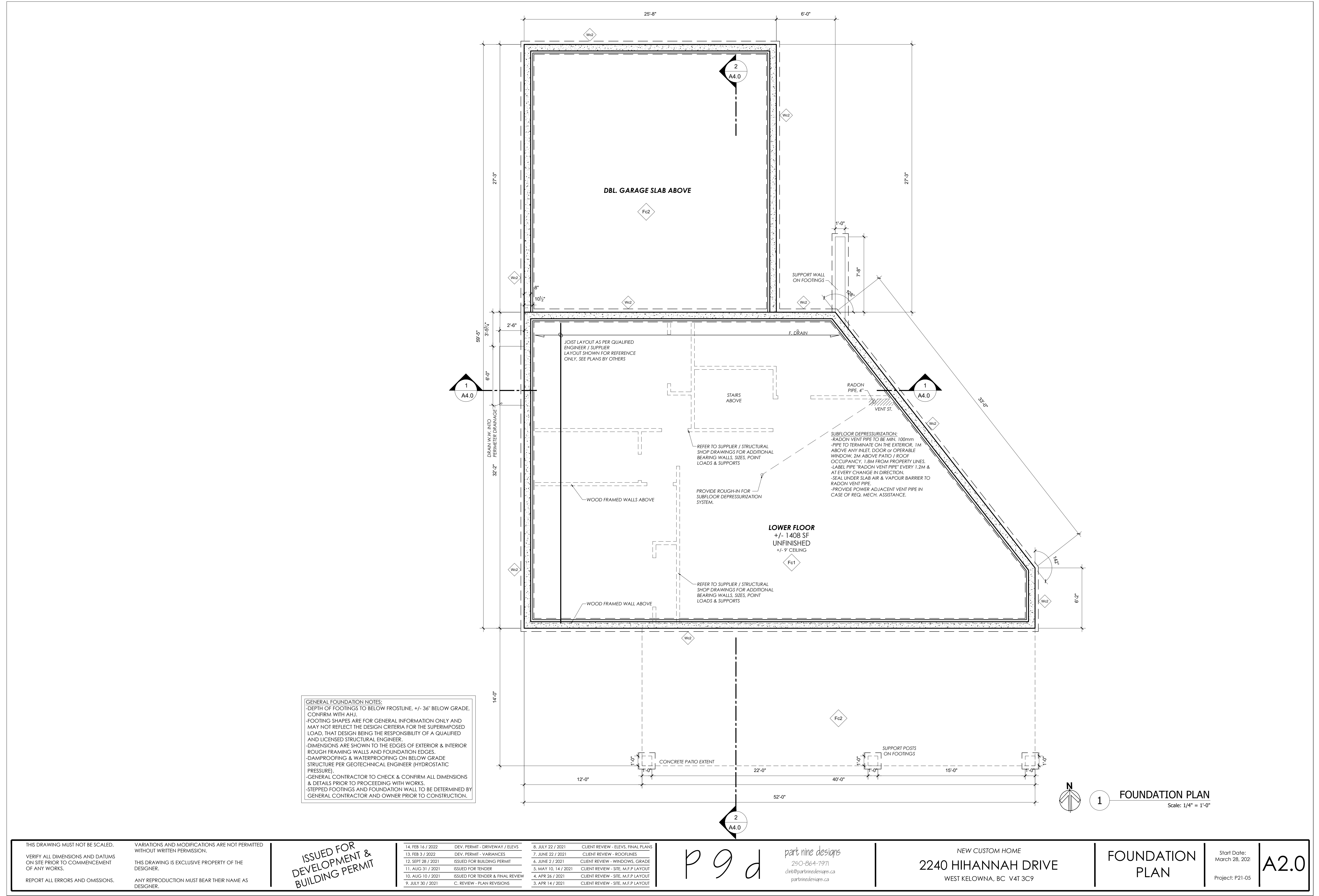
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NEW CUSTOM HOME
2240 HIHAMAN DRIVE
WEST KELOWNA, BC V4T 3C9

SITE
SECTION

Start Date:
March 28, 2021
Project: P21-05

A1.2



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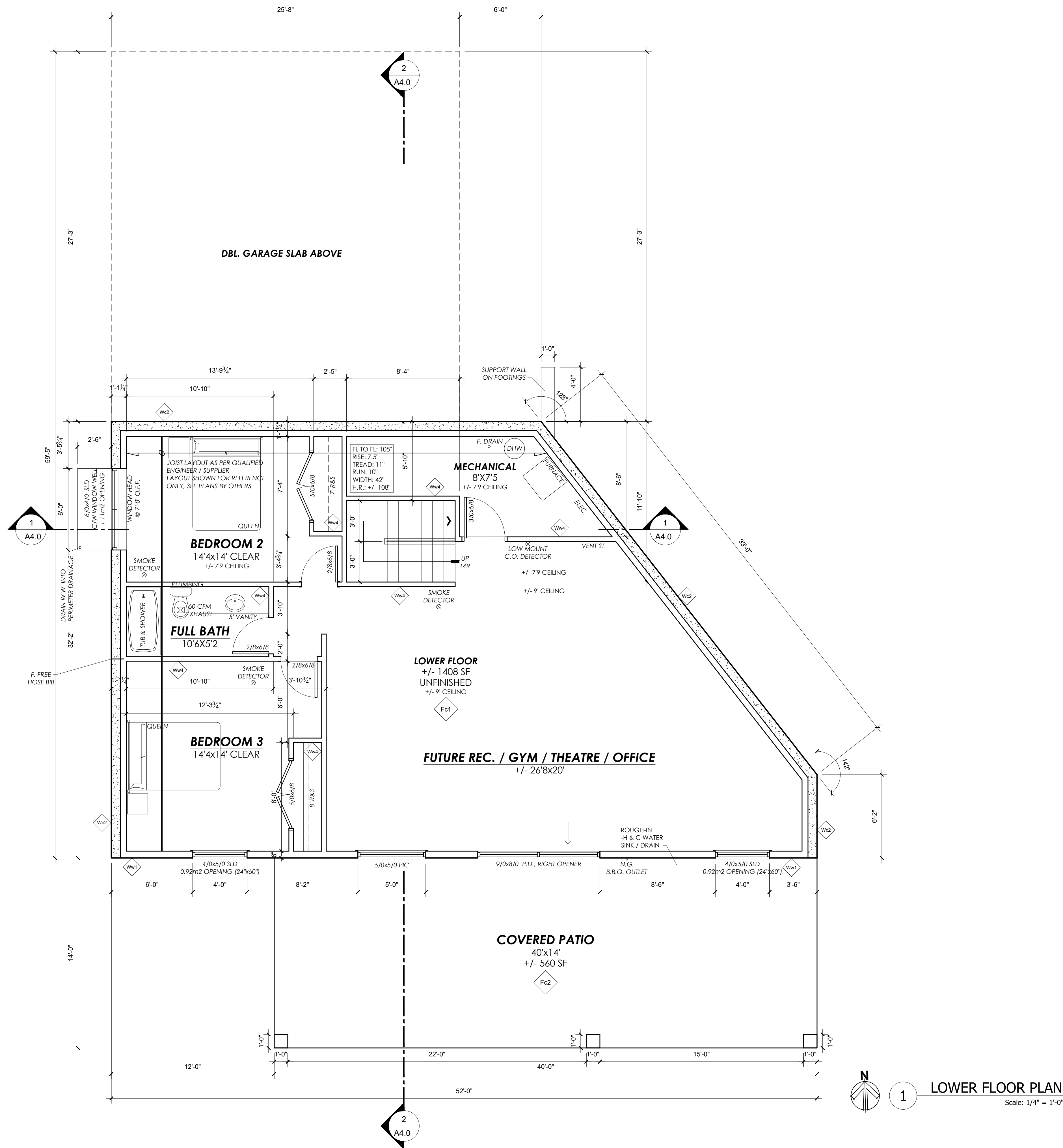
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NEW CUSTOM HOME
2240 HIHANNAH DRIVE
WEST KELOWNA, BC V4T 3C9

FOUNDATION
PLAN

Start Date:
March 28, 2021
Project: P21-05

A2.0



GENERAL NOTES:
-LOWER FLOOR WINDOW HEADS @ 96" O.F.F. BED 2 WINDOW @ 84"
-MAIN FLOOR WINDOW HEADS @ 96" O.F.F.
-DIMENSIONS ARE SHOWN TO THE EDGES OF EXTERIOR & INTERIOR
ROUGH FRAMING WALLS AND FOUNDATION EDGES.
-ALL STRUCTURAL SUPPORT DESIGNED BY OTHERS.
-ENSURE CONTINUOUS AIR & VAPOUR BARRIER THROUGHOUT.
-ENSURE CONTINUOUS INSULATION THROUGHOUT.
-PROVIDE SILL GASKETS BETWEEN ALL WOOD & CONCRETE.
-PROVIDE SOLID BLOCKING FOR ALL FIXTURES.
-GENERAL CONTRACTOR TO CHECK & CONFIRM ALL DIMENSIONS
& DETAILS PRIOR TO PROCEEDING WITH WORKS.

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4. APR 36 / 2021	CLIENT REVIEW - SITE, M.F.P. LAYOUT
3. APR 14 / 2021	CLIENT REVIEW - SITE, M.F.P. LAYOUT

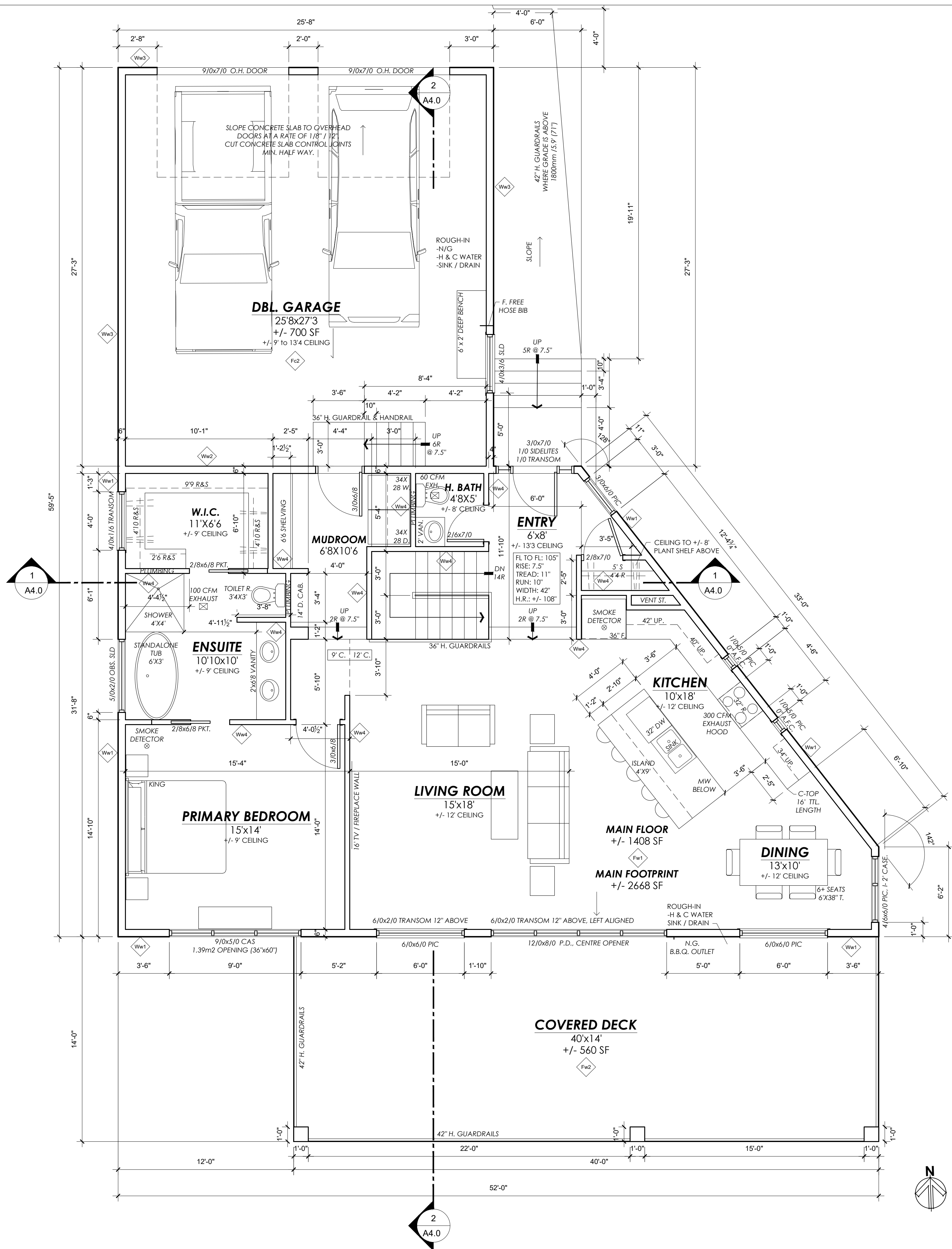
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NEW CUSTOM HOME
2240 HIHANNAH DRIVE
WEST KELOWNA, BC V4T 3C9

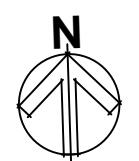
LOWER FLOOR
PLAN

Start Date:
March 28, 2021
Project: P21-05

A2.1



GENERAL NOTES:
-LOWER FLOOR WINDOW HEADS @ 96" O.F.F. BED 2 WINDOW @ 84"
-MAIN FLOOR WINDOW HEADS @ 96" O.F.F.
-DIMENSIONS ARE SHOWN TO THE EDGES OF EXTERIOR & INTERIOR
ROUGH FRAMING WALLS AND FOUNDATION EDGES.
-ALL STRUCTURAL SUPPORT DESIGNED BY OTHERS.
-ENSURE CONTINUOUS AIR & VAPOUR BARRIER THROUGHOUT.
-ENSURE CONTINUOUS INSULATION THROUGHOUT.
-PROVIDE SILL GASKETS BETWEEN ALL WOOD & CONCRETE.
-PROVIDE SOLID BLOCKING FOR ALL FIXTURES.
-GENERAL CONTRACTOR TO CHECK & CONFIRM ALL DIMENSIONS
& DETAILS PRIOR TO PROCEEDING WITH WORKS.



1 MAIN FLOOR PLAN
Scale: 1/4" = 1'-0"

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13. FEB 3 / 2022	DEV. PERMIT - VARIANCES
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10. AUG 10 / 2021	ISSUED FOR TENDER & FINAL REVIEW
9. JULY 30 / 2021	C. REVIEW - PLAN REVISIONS

8. JULY 22 / 2021	CLIENT REVIEW - ELEV. FINAL PLANS
7. JUNE 22 / 2021	CLIENT REVIEW - ROOF LINES
6. JUNE 2 / 2021	CLIENT REVIEW - WINDOWS, GRADE
5. MAY 10, 14 / 2021	CLIENT REVIEW - SITE, M.F.P. LAYOUT
4. APR 26 / 2021	CLIENT REVIEW - SITE, M.F.P. LAYOUT
3. APR 14 / 2021	CLIENT REVIEW - SITE, M.F.P. LAYOUT

P 9 d

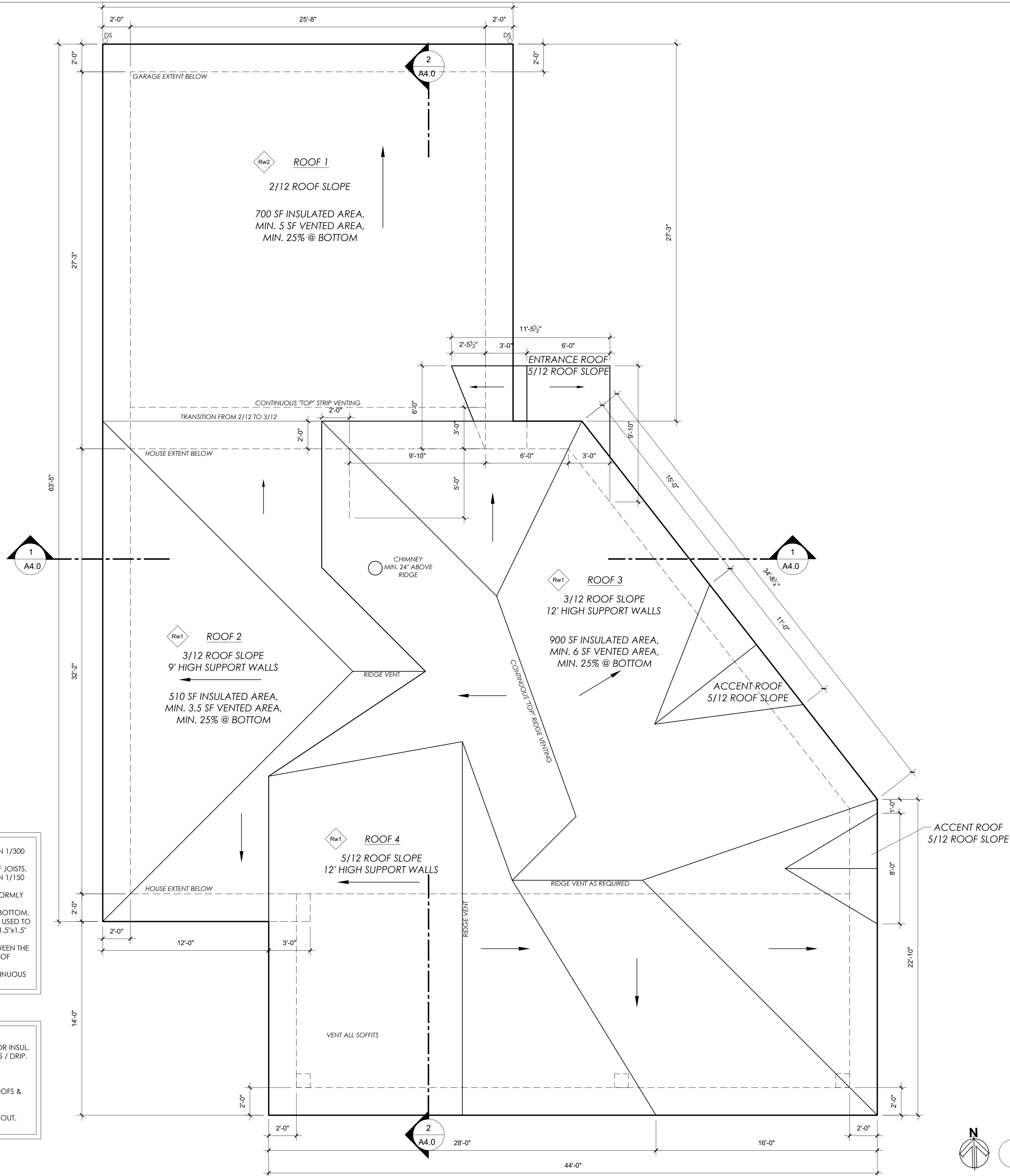
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NEW CUSTOM HOME
2240 HIHANNAH DRIVE
WEST KELOWNA, BC V4T 3C9

MAIN FLOOR
PLAN

Start Date:
March 28, 2021
Project: P21-05

A2.2

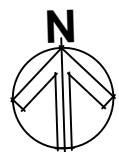


ROOF VENTING NOTES:

- THE UNOBSTRUCTED VENT AREA SHALL BE NOT LESS THAN 1/300 OF THE INSULATED CEILING AREA.
- ROOFS WITH LESS THAN 1 IN 6 SLOPE or BUILT WITH ROOF JOISTS, THE UNOBSTRUCTED VENT AREA SHALL BE NOT LESS THAN 1/150 OF THE INSULATED CEILING AREA.
- ROOF VENT TYPES VARY AND MUST BE DISTRIBUTED UNIFORMLY ON OPPOSITE SIDES OF THE BUILDING / ROOF.
- NOT LESS THAN 25% OF THE REQUIRED VENTING TO THE BOTTOM.
- WHERE SOLID ROOF JOISTS ARE USED, PURLINS SHALL BE USED TO INTERCONNECT EACH CAVITY ON TOP OF JOISTS (MIN. 1.5"x1.5" PURLINS).
- NOT LESS THAN 2.5" OF SPACE SHALL BE PROVIDED BETWEEN THE TOP OF THE INSULATION AND THE UNDERSIDE OF THE ROOF SHEATHING.
- PROVIDE BAFFLES WHERE APPLICABLE TO ENSURE CONTINUOUS AIR FLOW.

GENERAL ROOF NOTES:

- ROOF OVERHANGS VARY, SEE PLAN DIMENSIONS.
- MINIMUM ROOF TRUSS HEEL HEIGHT, 16.25" TO ALLOW FOR INSUL.
- ALL FLAT ROOFS TO SLOPE MIN. 2% (1/4" / 12") TO DRAINS / DRIP.
- ALL ROOFING TO MIN. RCABC & BCBC STANDARDS.
- ALL ROOF VENTING AS PER BCBC.
- ROOF TRUSSES / JOISTS, BY OTHERS.
- DIMENSIONS ARE SHOWN TO THE EDGES OF FINISHED ROOFS & WALLS.
- ALL STRUCTURAL SUPPORT DESIGNED BY OTHERS.
- ENSURE CONTINUOUS AIR & VAPOUR BARRIER THROUGHOUT.
- ENSURE CONTINUOUS INSULATION THROUGHOUT.



1 ROOF PLAN
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NEW CUSTOM HOME
2240 HIHANNAH DRIVE
WEST KELOWNA, BC V4T 3C9

ROOF PLAN

Start Date:
March 28, 2021
Project: P21-05

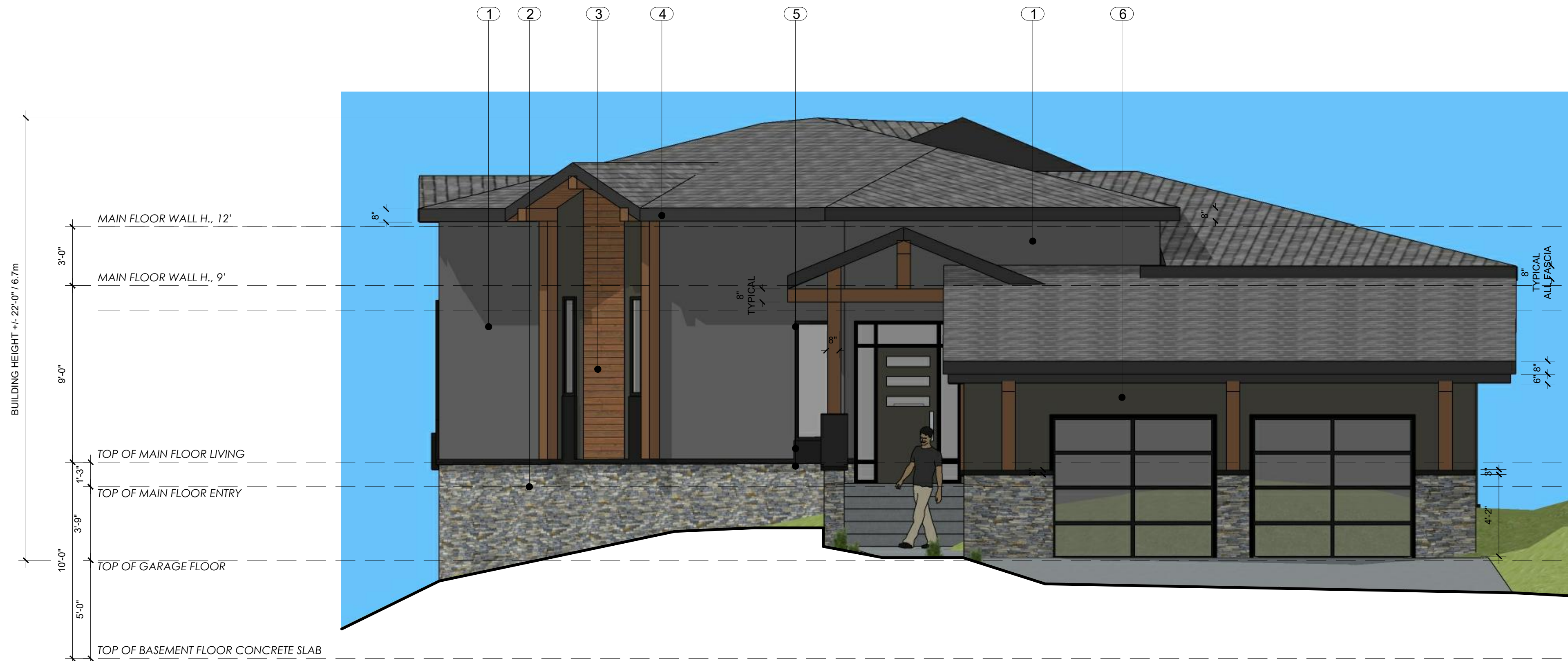
A2.3



2 EAST ELEVATION
Scale: 1/4" = 1'-0"

9.10.15. SPATIAL SEPARATION BETWEEN HOUSES:
9.10.15.3. - 4 MINUTE RESPONSE TIME, W.K.F.R.S. 31
TABLE 9.10.15.4.
- SOUTH FACADE, 6m L.D., <100m2 (1034 SF), 34% PERMITTED, 34% PROPOSED (350 SF)
- NORTH FACADE, 8m+ L.D., >40m2 (360 SF), 100% PERMITTED.
- WEST FACADE, 1.5m L.D., >50m2 (498 SF), 8% PERMITTED, 3% PROPOSED (16 SF)
- EAST FACADE, 12m+ L.D., >100m2 (589 SF), 100% PERMITTED

MATERIAL & COLORS LEGEND:
1. MATERIAL 1 (STUCCO or COMPOSITE PANELS)- "LAKSTONE GRAY", RED 99, GREEN 99, BLUE 101
2. STONE VENEER - "SPALTED OAK LEDGESTONE"
3. CEDAR BOARD, 4" HORIZONTAL - DARK STAIN BY OWNER
4. FASCIA - "DARK GREY", RED 58, GREEN 58, BLUE 58
5. WINDOW & DOOR FRAMES, ACCENTS, PATIO RAILINGS - "BLACK", RED 30, GREEN 30, BLUE 30
6. MATERIAL 2 (STUCCO or COMPOSITE PANELS)- "THORNY BRANCH", RED 79, GREEN 76, BLUE 68



1 NORTH ELEVATION
Scale: 1/4" = 1'-0"

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3. APR 14 / 2021 CLIENT REVIEW - SITE, M.F.P. LAYOUT

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NEW CUSTOM HOME
2240 HIHANNAH DRIVE
WEST KELOWNA, BC V4T 3C9

ELEVATIONS
& MATERIALS

Start Date:
March 28, 2021
Project: P21-05

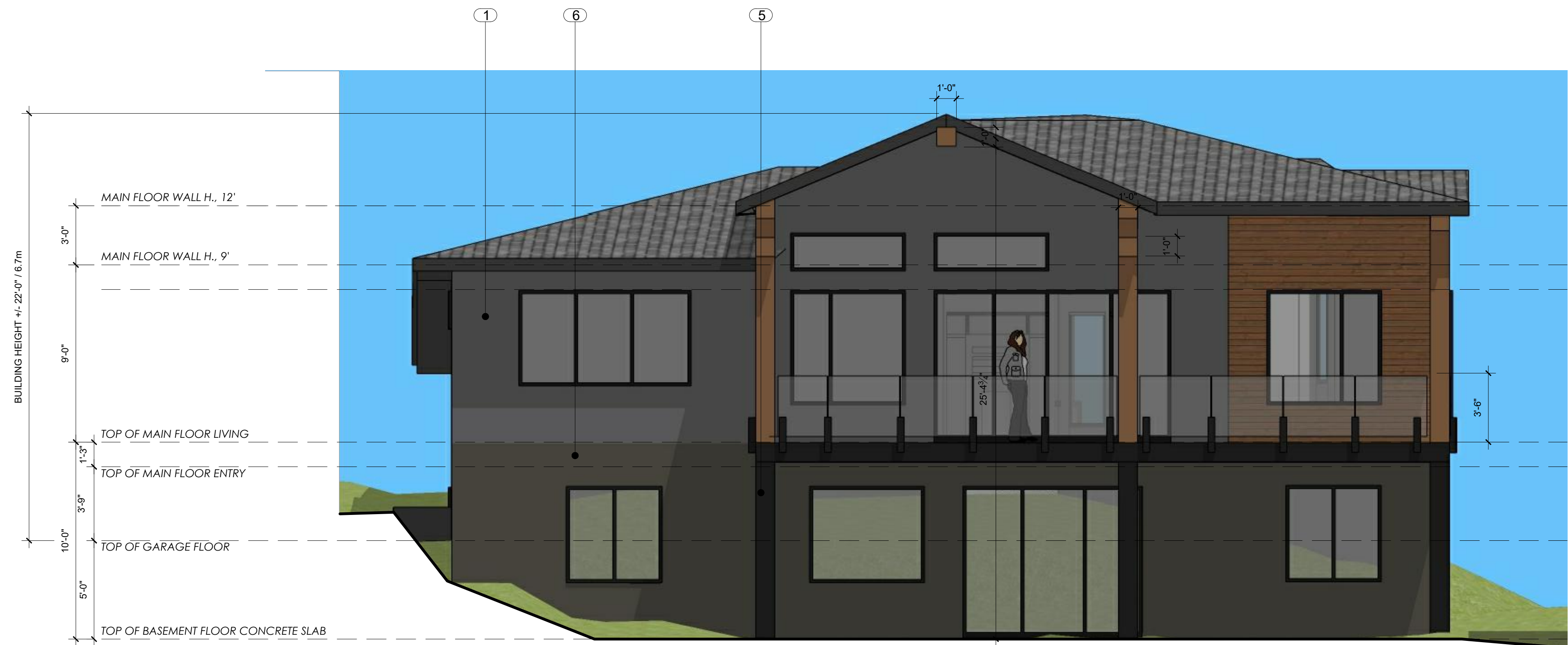
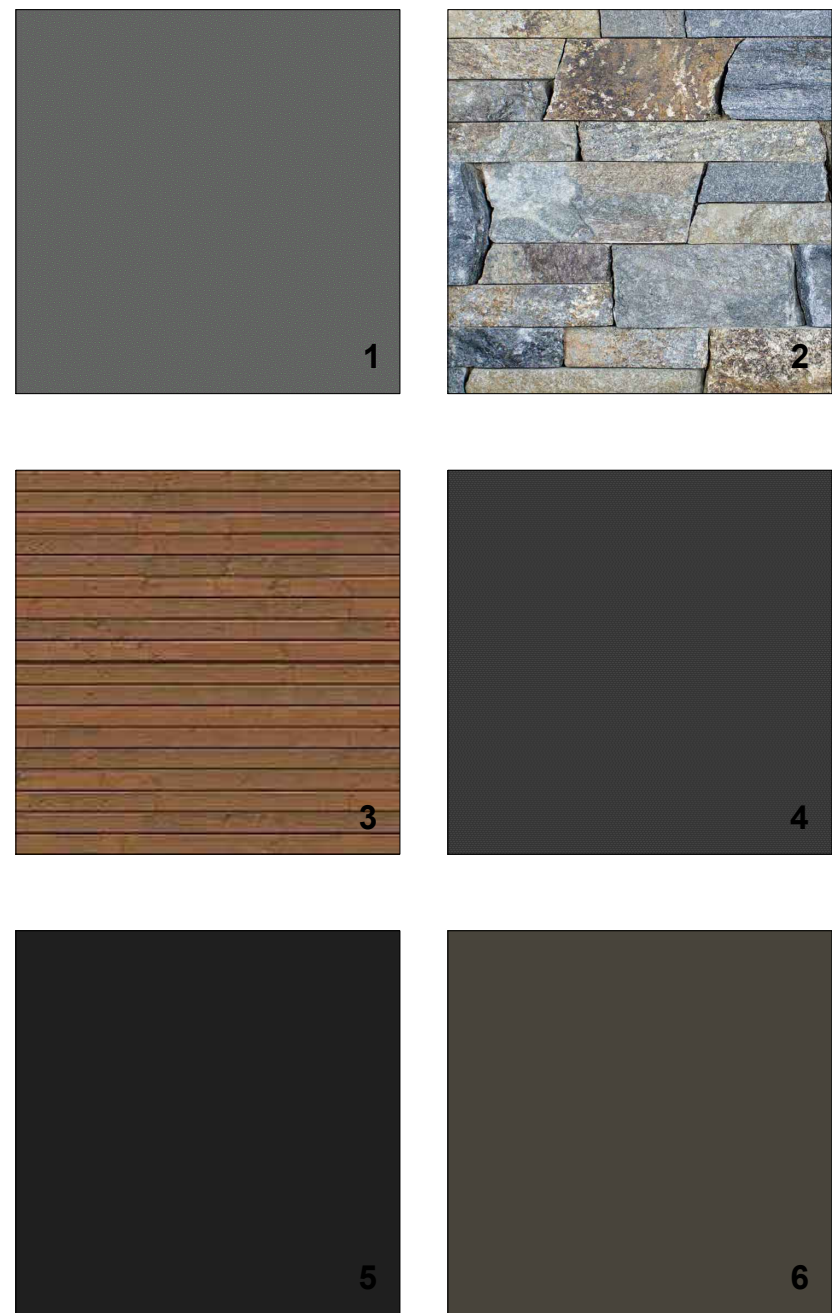
A3.0



2 WEST ELEVATION
Scale: 1/4" = 1'-0"

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9.10.15.3. - 4 MINUTE RESPONSE TIME, W.K.F.R.S. 31
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- WEST FACADE, 1.5m L.D., >50m2 (498 SF), 8% PERMITTED, 3% PROPOSED (116 SF)
- EAST FACADE, 12m+ L.D., >100m2 (589 SF), 100% PERMITTED

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4. FASCIA - "DARK GREY", RED 58, GREEN 58, BLUE 58
5. WINDOW & DOOR FRAMES, ACCENTS, PATIO RAILINGS - "BLACK", RED 30, GREEN 30, BLUE 30
6. MATERIAL 2 (STUCCO or COMPOSITE PANELS)- "THORNY BRANCH", RED 79, GREEN 76, BLUE 68



1 SOUTH ELEVATION
Scale: 1/4" = 1'-0"

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NEW CUSTOM HOME
2240 HIHANNAH DRIVE
WEST KELOWNA, BC V4T 3C9

ELEVATIONS
& MATERIALS

Start Date:
March 28, 2021
Project: P21-05

A3.1



4 REAR / S.W. ELEVATION
Scale: N.T.S.



2 FRONT / EAST ELEVATION
Scale: N.T.S.



3 REAR / SOUTH ELEVATION
Scale: N.T.S.



1 FRONT / N.E. ELEVATION
Scale: N.T.S.

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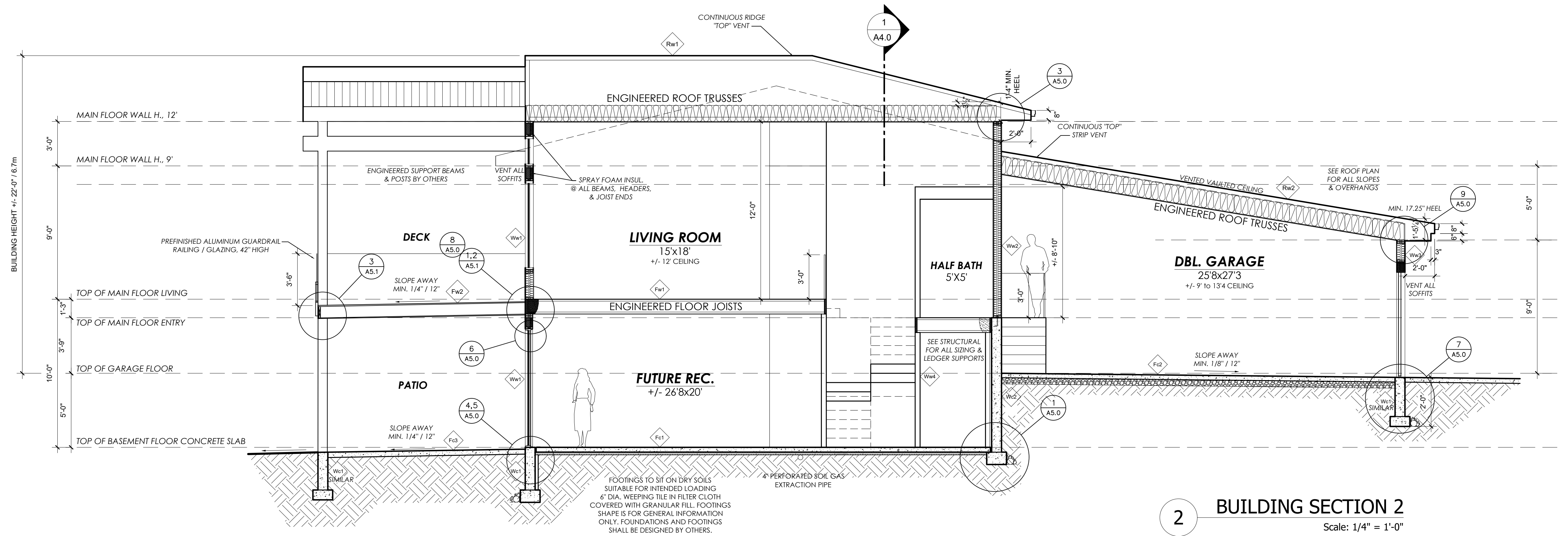
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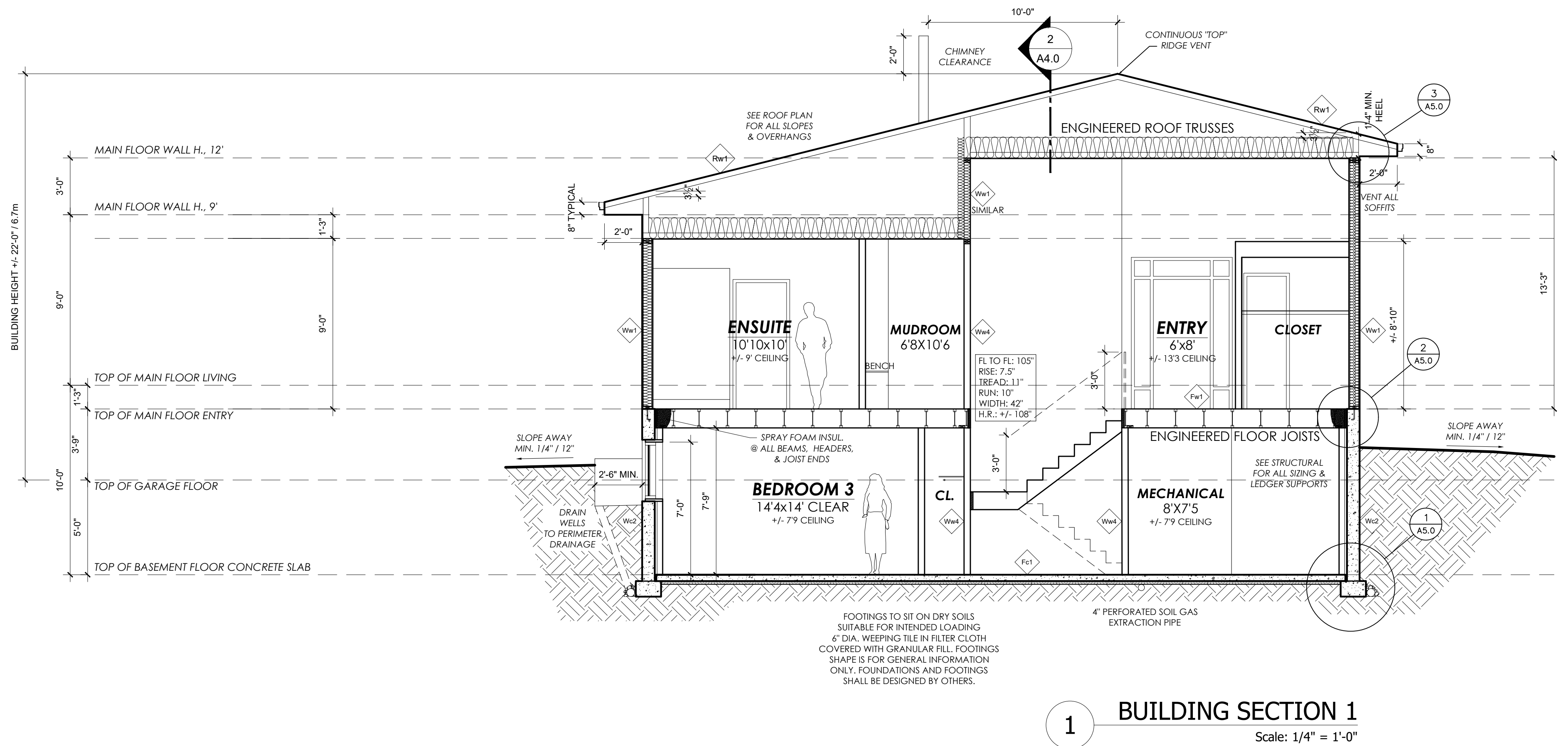
ISOMETRIC
ELEVATIONS

Start Date:
March 28, 2021
Project: P21-05

A3.2



2 BUILDING SECTION 2
Scale: 1/4" = 1'-0"



1 BUILDING SECTION 1
Scale: 1/4" = 1'-0"

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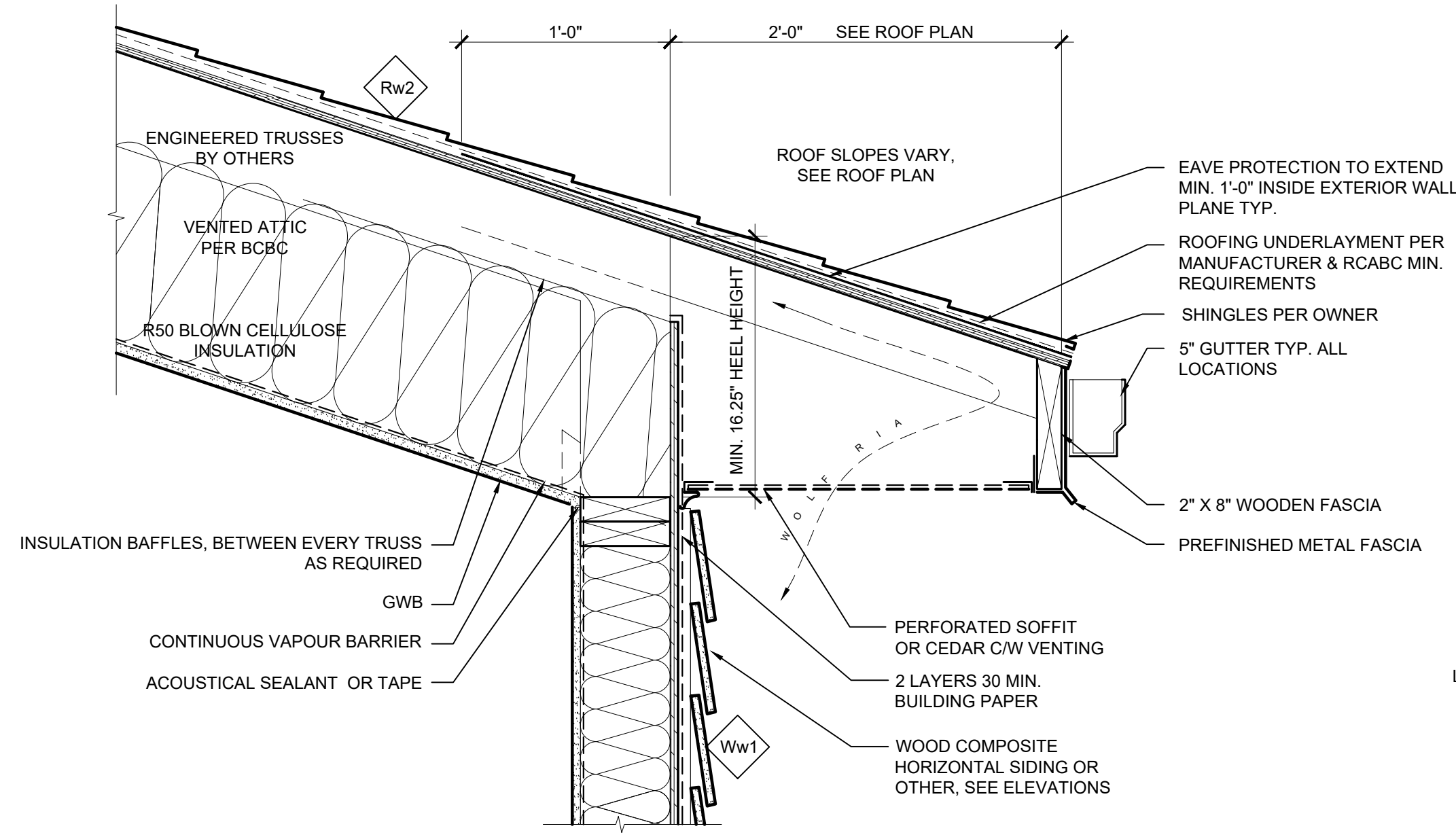
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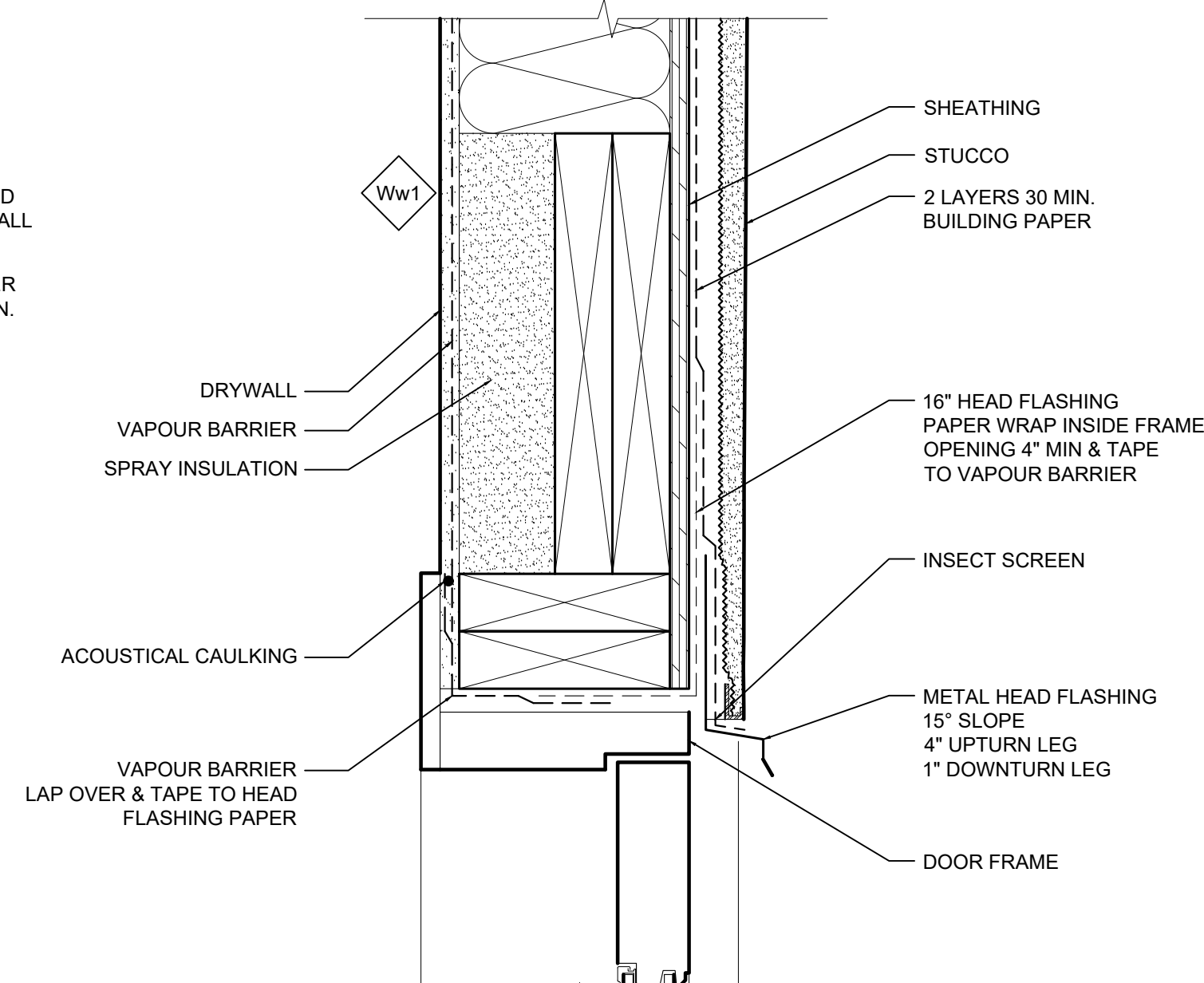
BUILDING
SECTIONS

Start Date:
March 28, 2021
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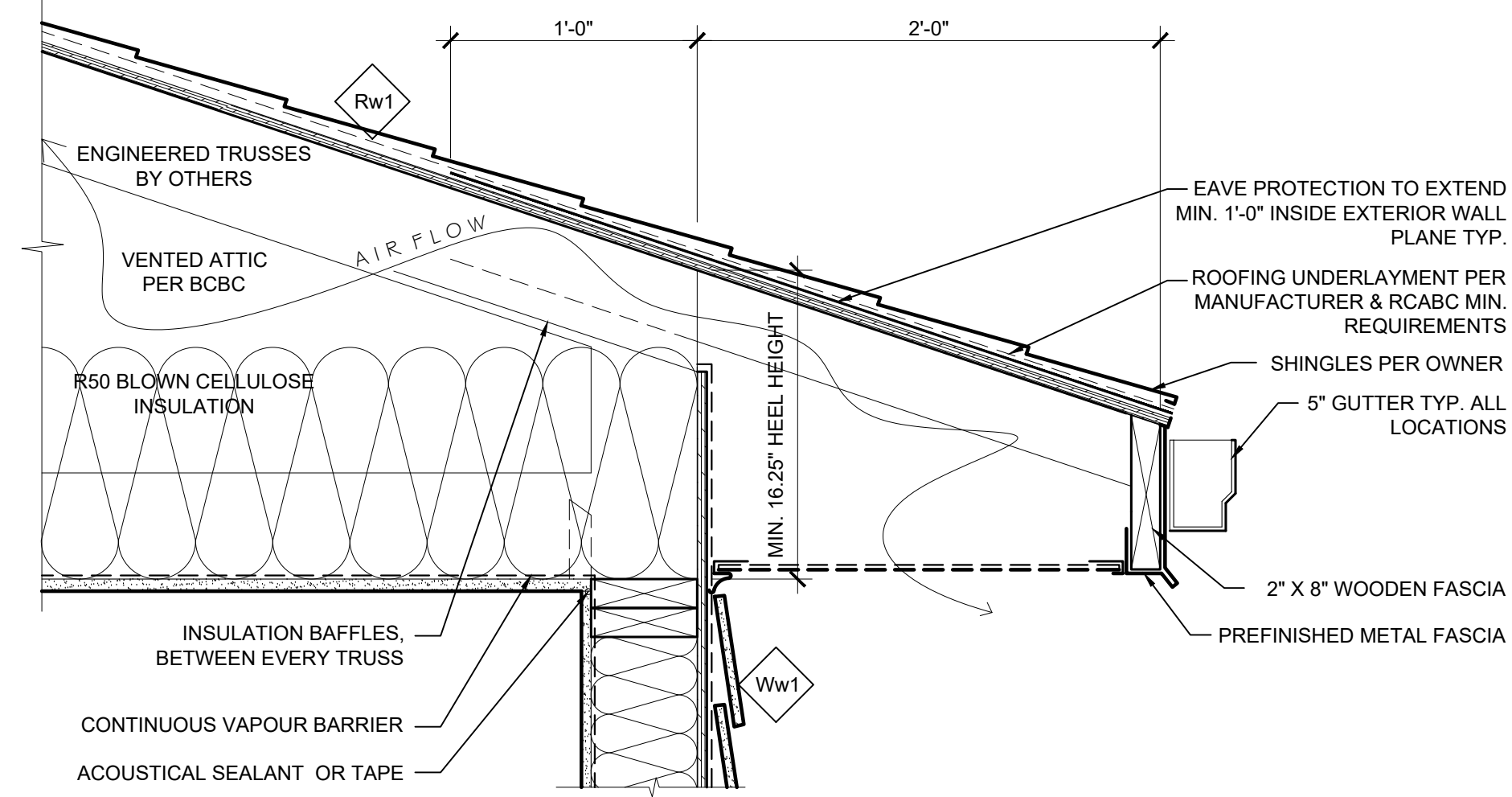
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9 TYPICAL SOFFIT @ CATHEDRAL CEILING
Scale: 1 1/2" = 1'-0"

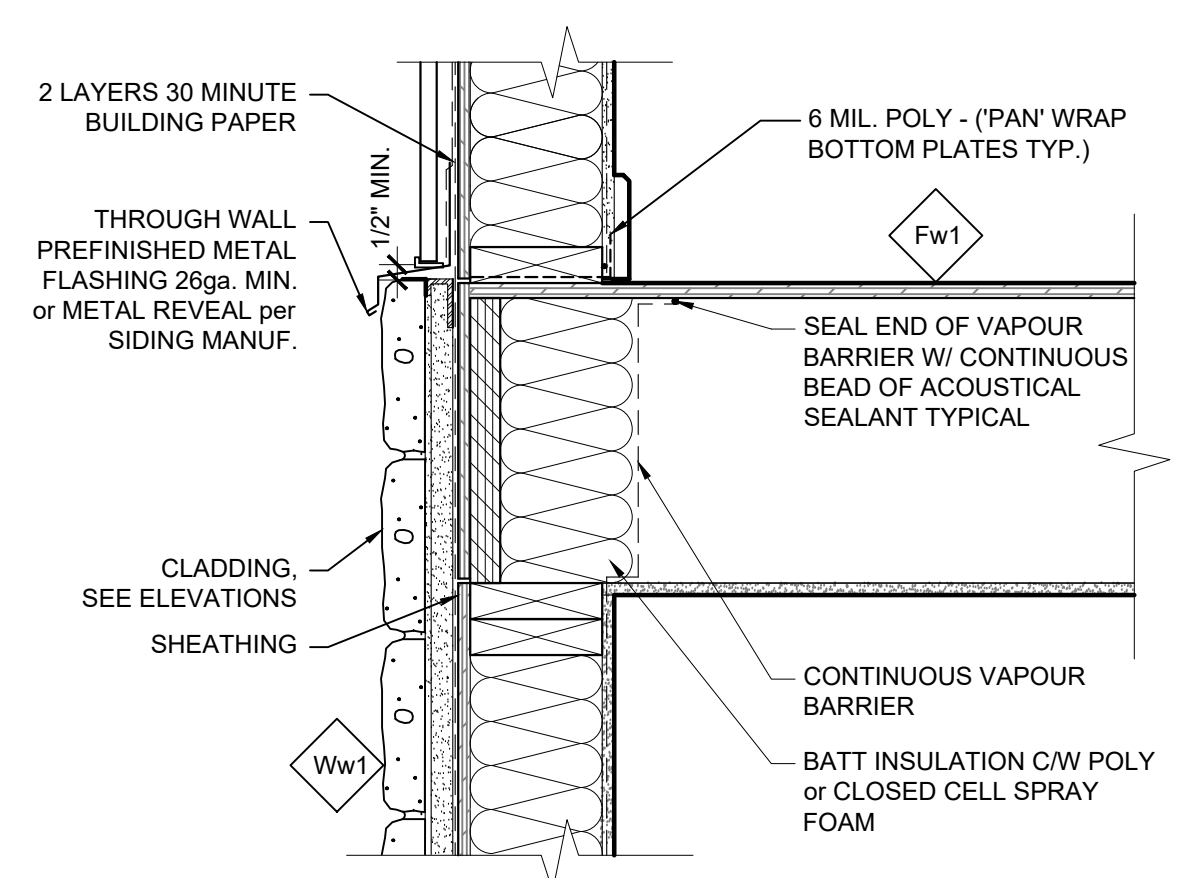


6 EXT. WALL @ DOOR HEAD
Scale: 3" = 1'-0"

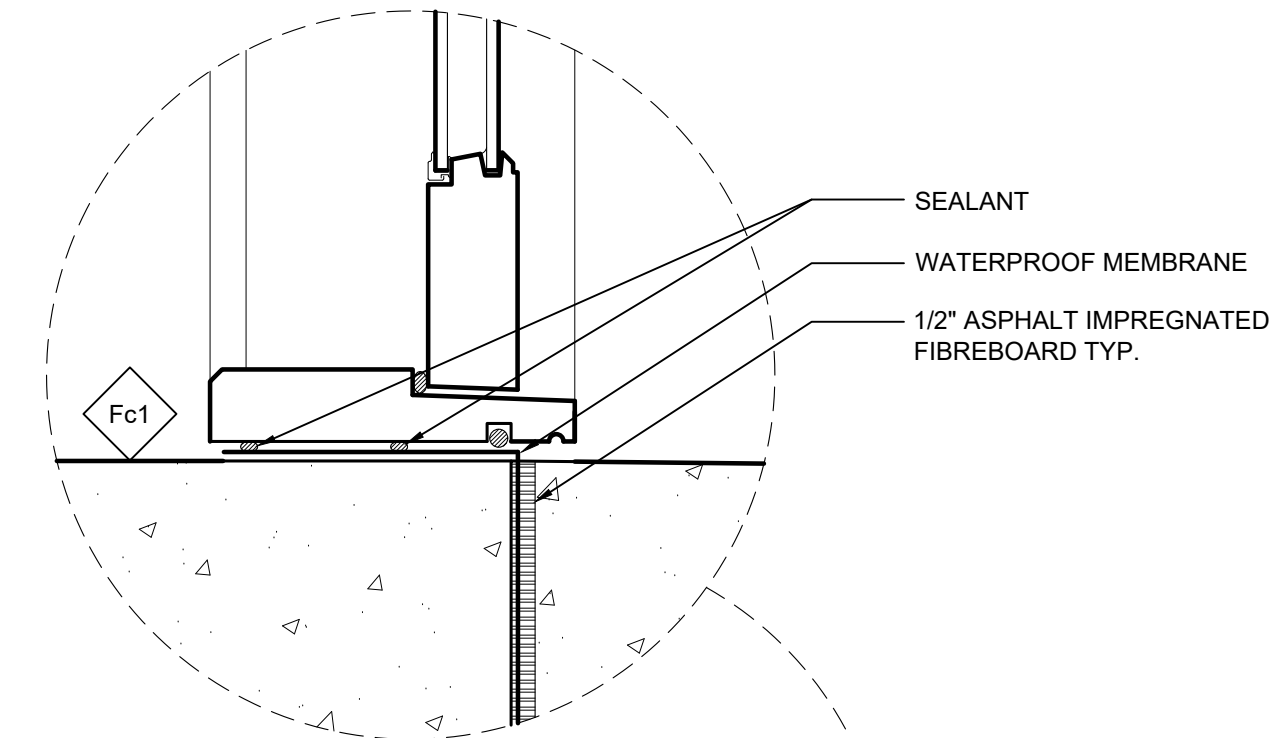


3 TYPICAL SOFFIT @ FLAT CEILING
Scale: 1 1/2" = 1'-0"

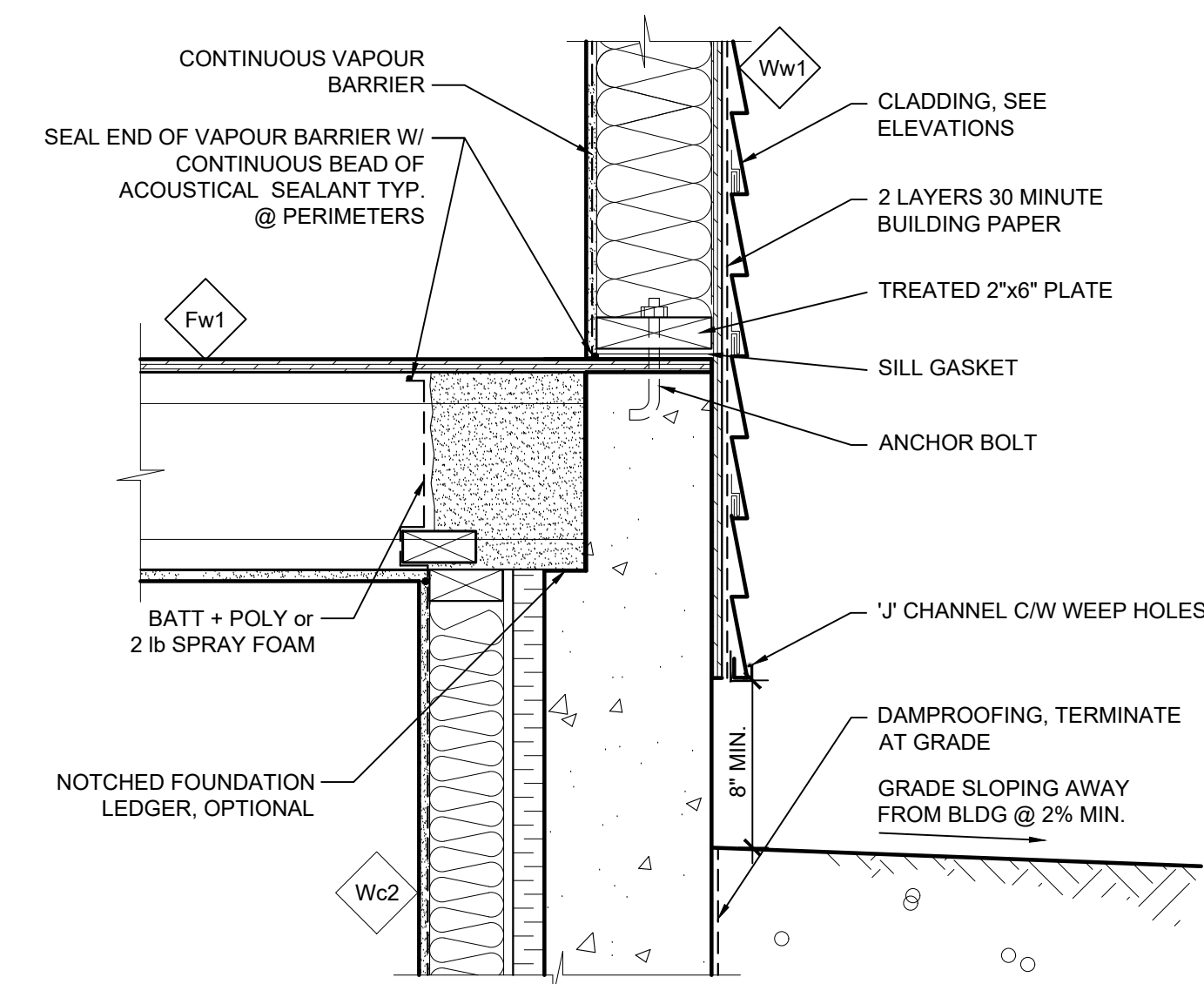
- GENERAL DETAIL NOTES:
- EXTERIOR WALL CLADDING MATERIAL MAY VARY FROM WHAT IS SHOWN ON DETAILS. REFER TO ELEVATIONS FOR SPECIFIC FINISHES.
 - STRUCTURAL MEMBERS & CONDITIONS MAY DIFFER FROM WHAT IS DEPICTED IN DETAILS. REFER TO STRUCTURAL FOR ALL STRUCTURAL INFORMATION.
 - DETAILS MAY NOT REFLECT EXACT CONDITIONS.
 - SEAL ALL HOLES & THREADS W/ CAULKING WHEN PENETRATING ANY TYPE OF WATERPROOFING MEMBRANE.
 - ENSURE PROPER AIR FLOW THROUGH ALL ROOFS AS REQUIRED PER ROOFING TYPE.



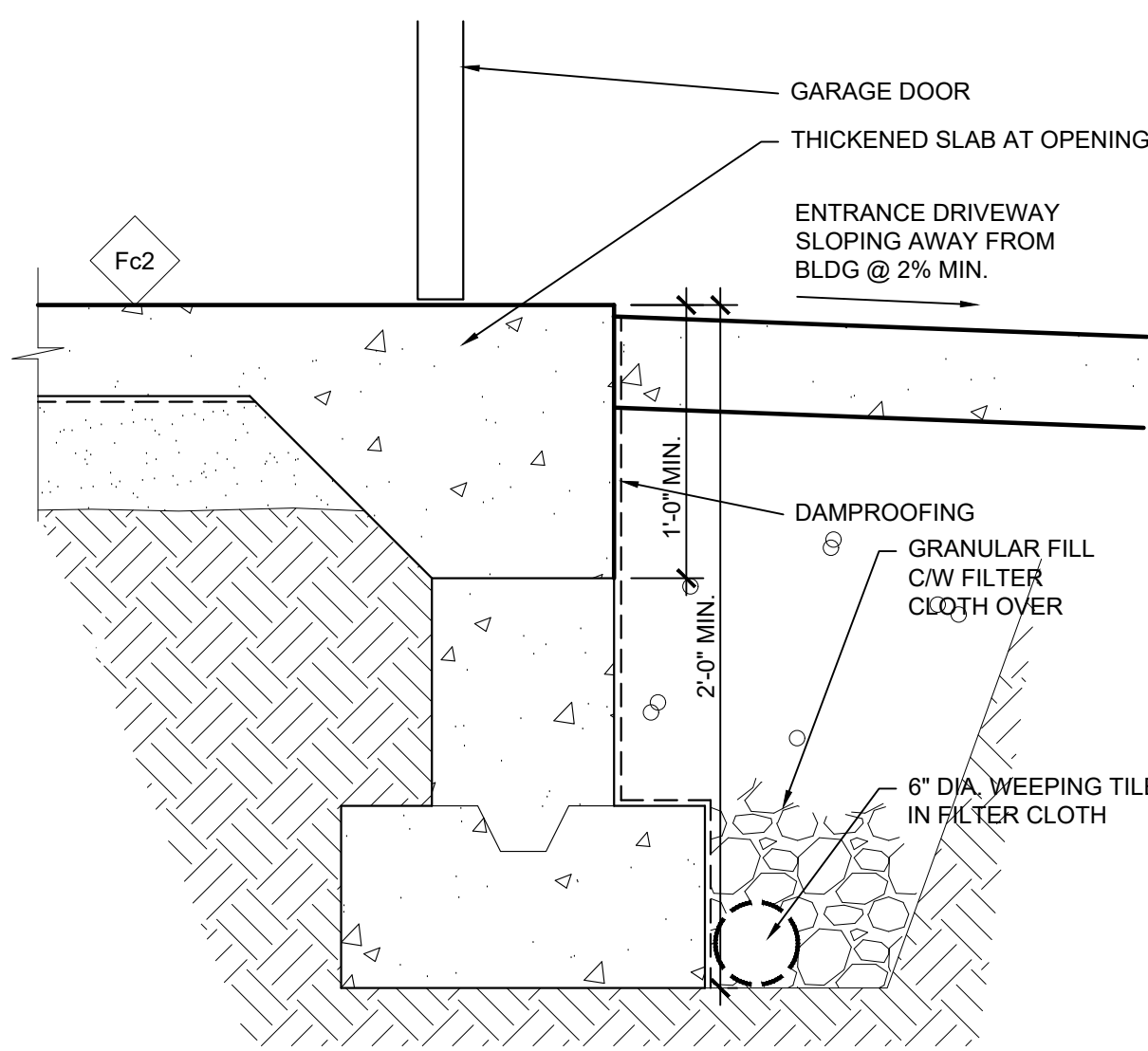
8 EXTERIOR WOOD WALLS @ FLOORS
Scale: 1 1/2" = 1'-0"



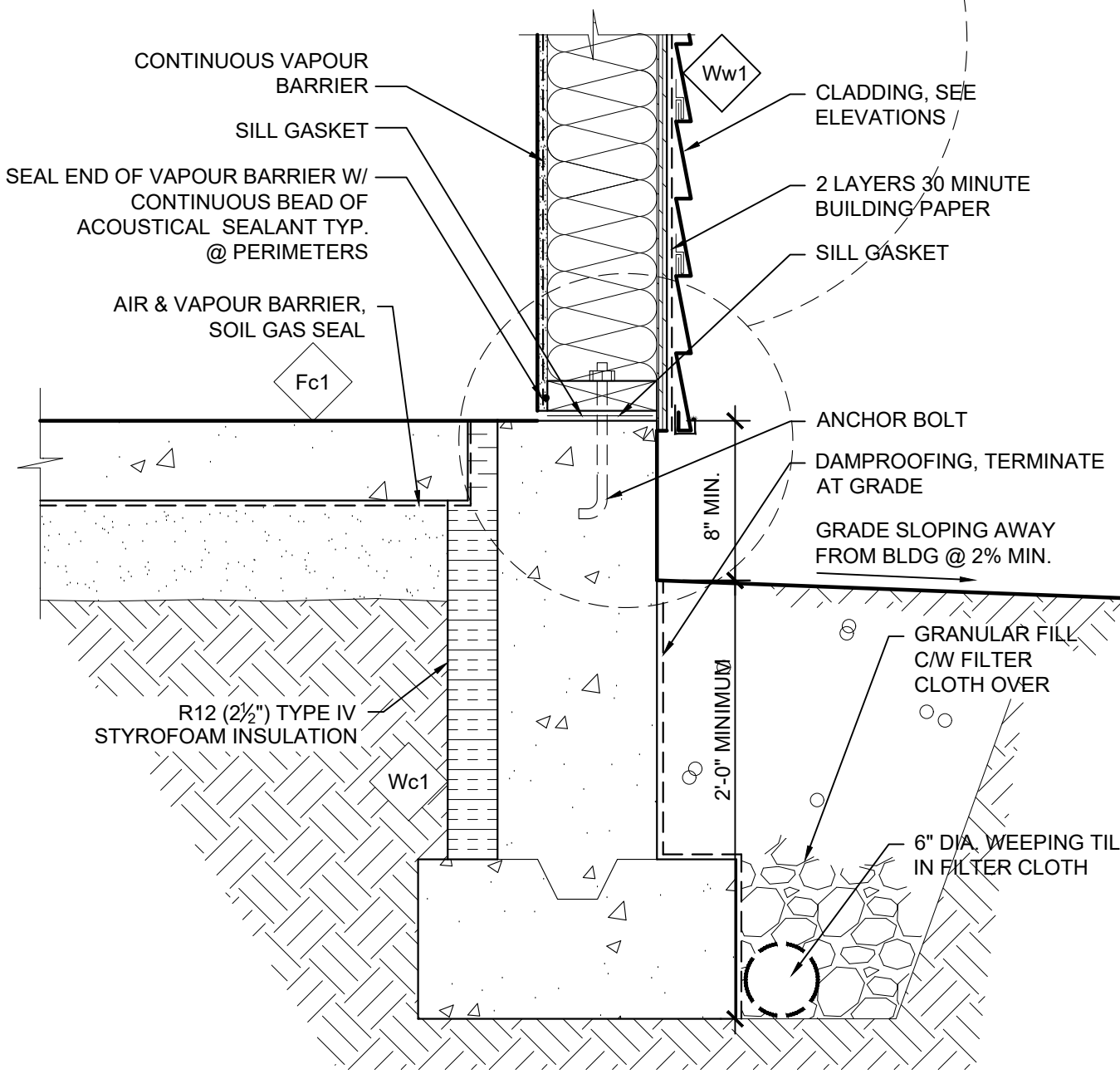
5 BASEMENT SLAB @ DOOR SILL
Scale: N.T.S.



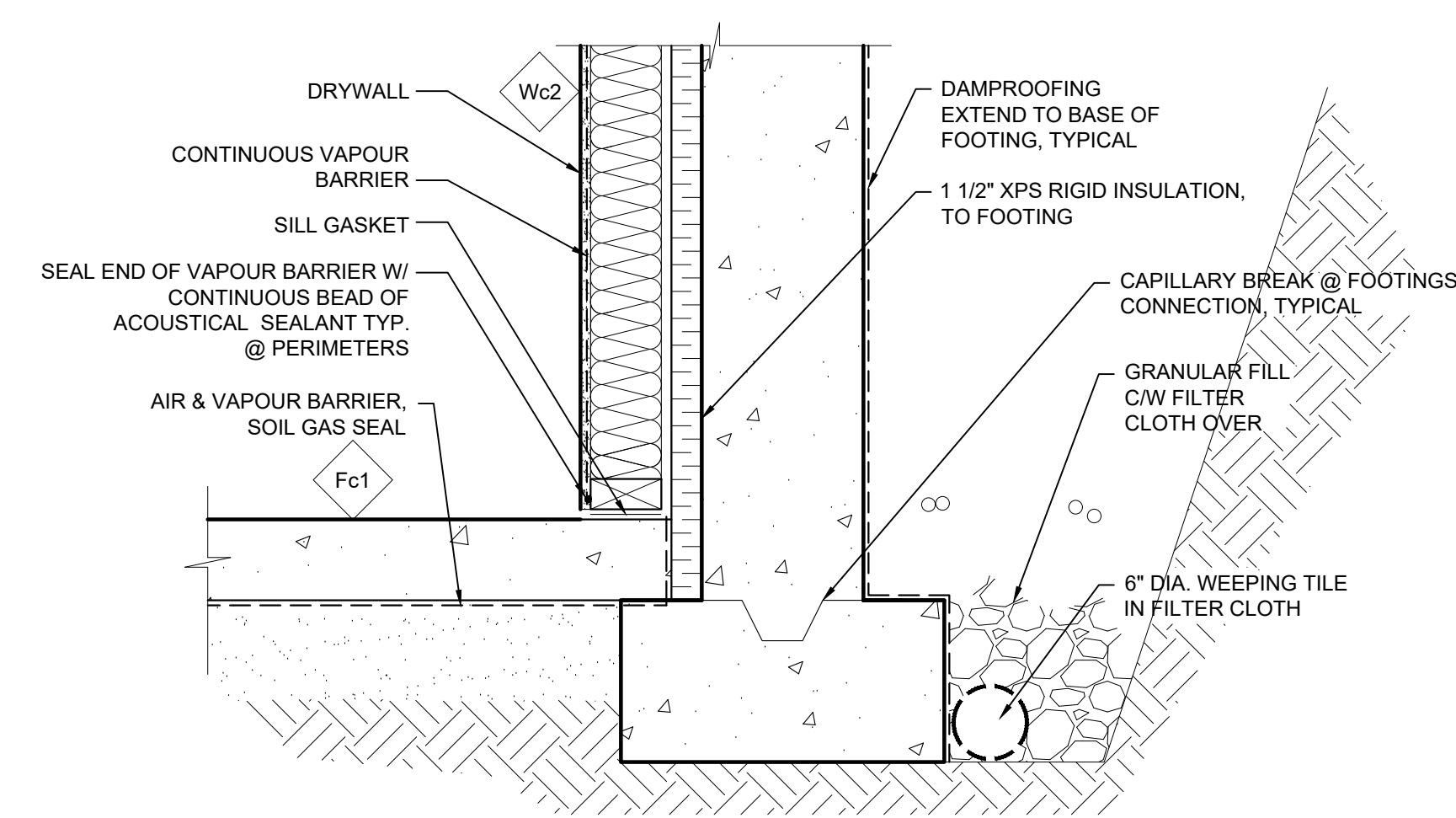
2 EXTERIOR CONCRETE WALL @ WOOD FLOOR
Scale: 1 1/2" = 1'-0"



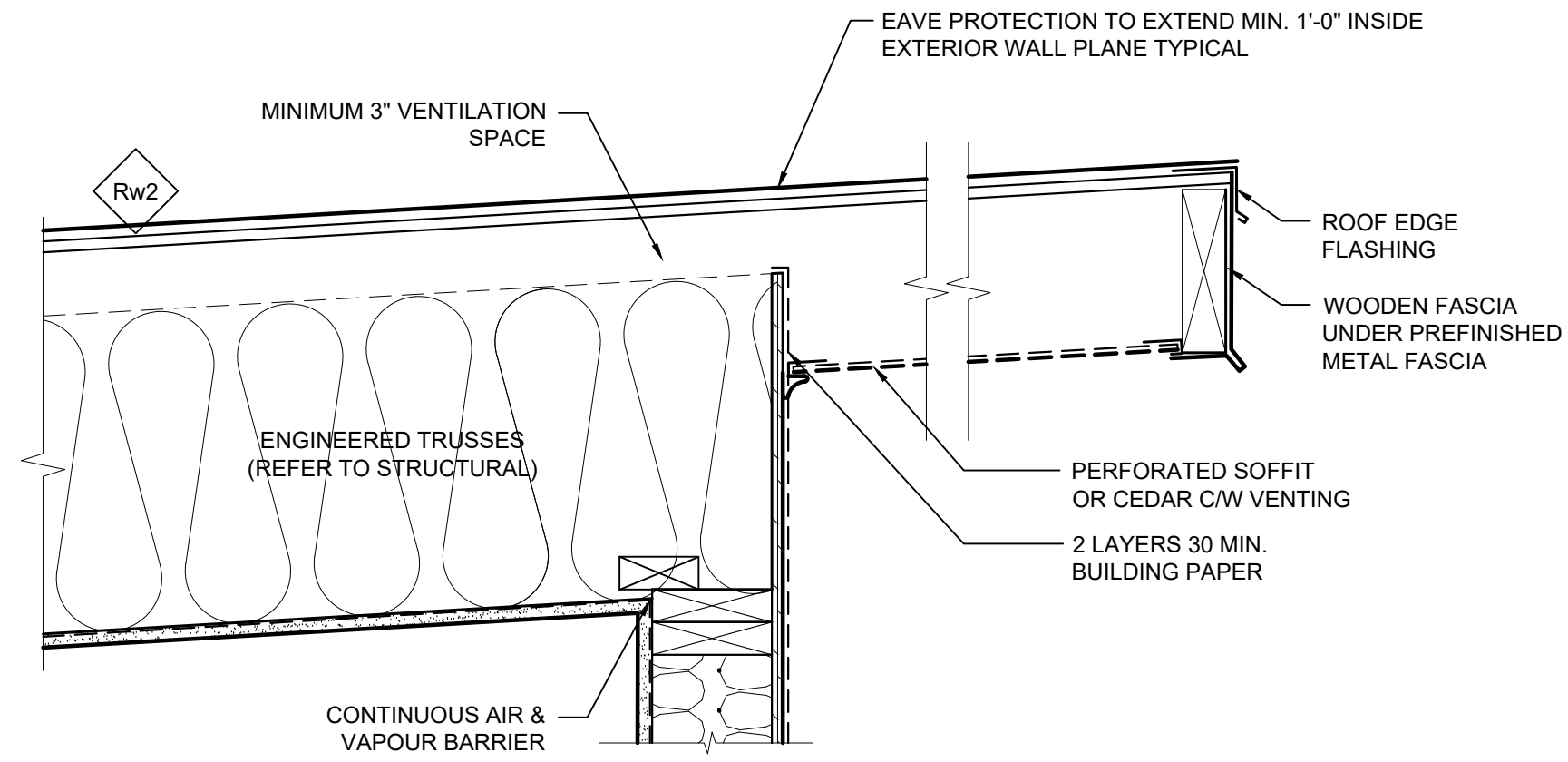
7 GARAGE ENTRY @ SLAB
Scale: 1 1/2" = 1'-0"



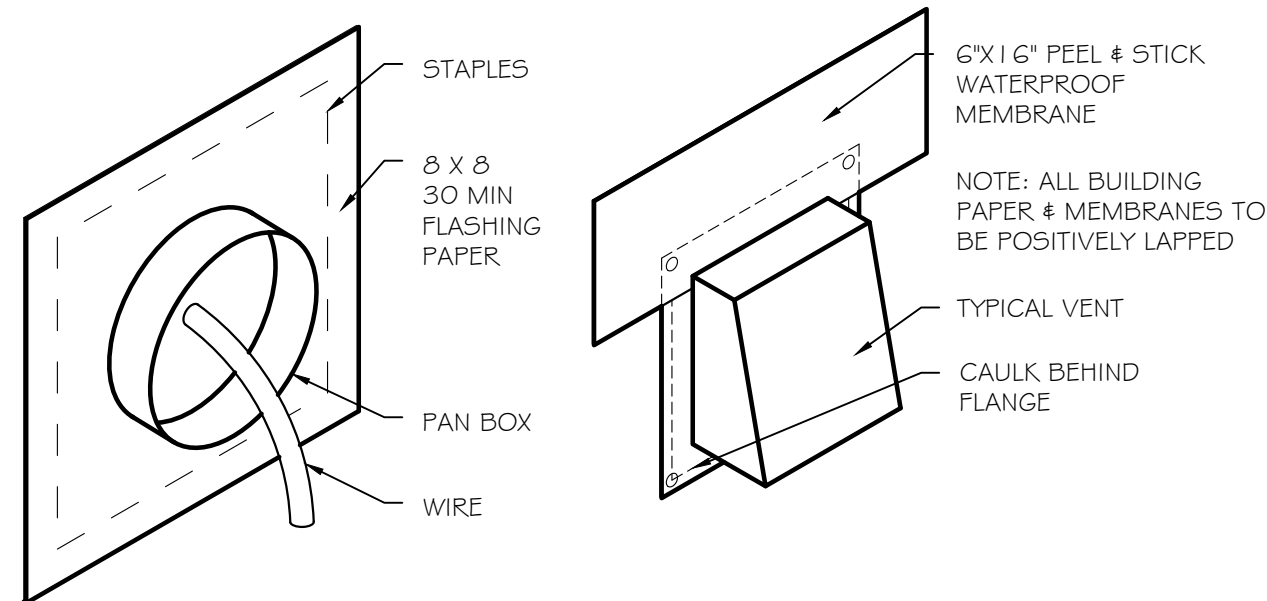
4 EXTERIOR CONCRETE WALL @ FOOTING
Scale: 1 1/2" = 1'-0"



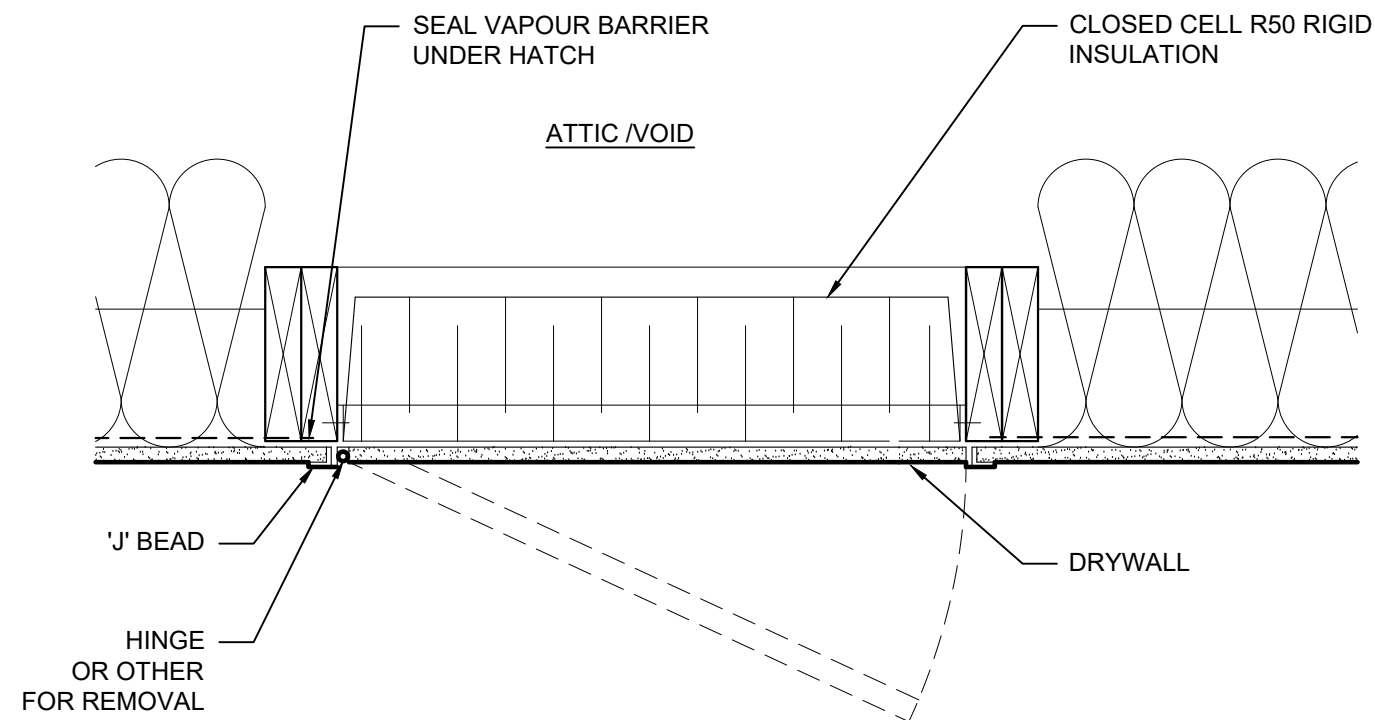
1 EXTERIOR CONCRETE WALL @ FOOTING
Scale: 1 1/2" = 1'-0"



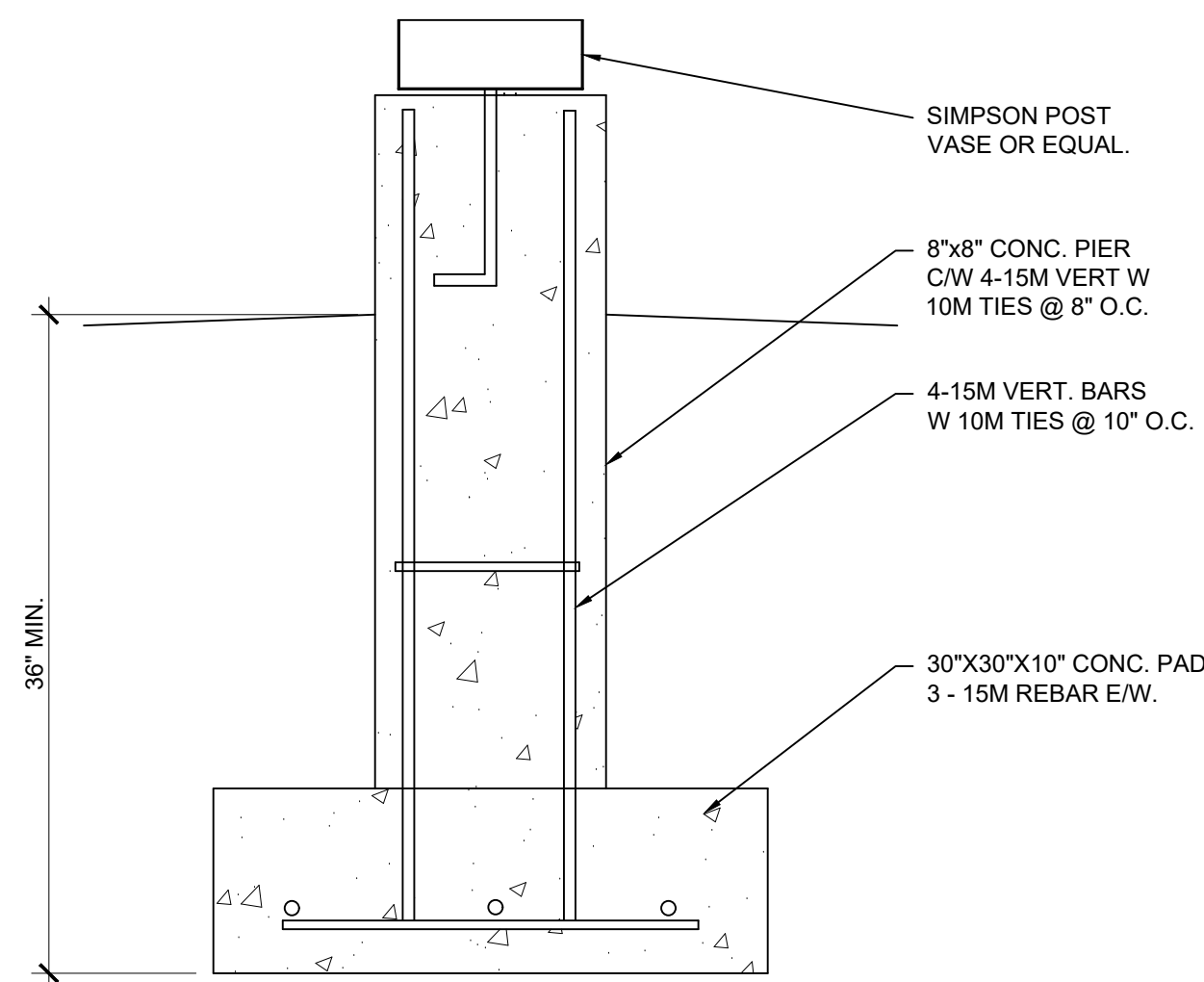
9 TYPICAL SOFFIT @ ROOF OVERHANGS
Scale: 1-1/2" = 1'-0"



8 EXTERIOR WALL PENETRATIONS
Scale: 1-1/2" = 1'-0"



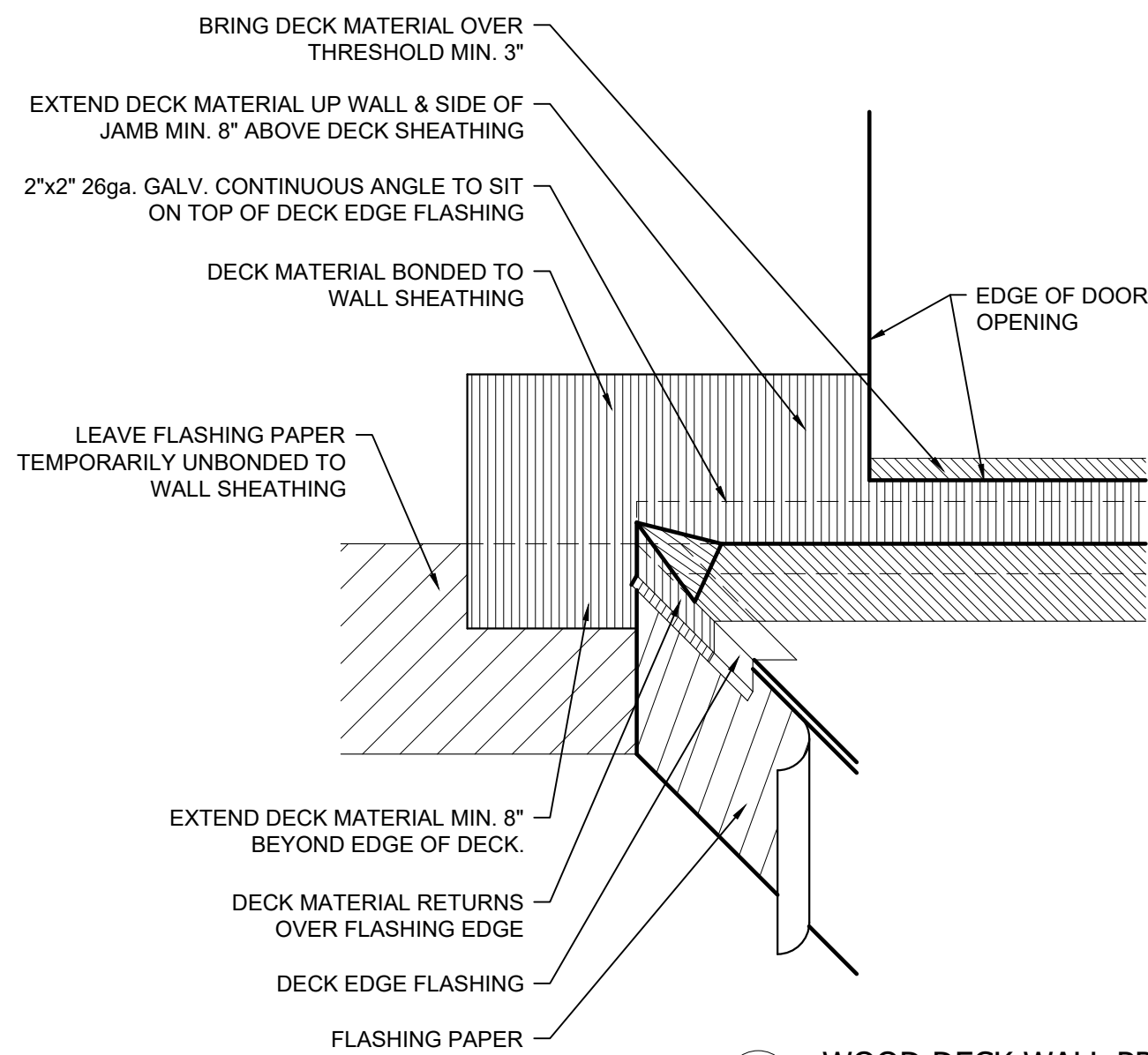
4 ATTIC ACCESS HATCH
Scale: 1-1/2" = 1'-0"



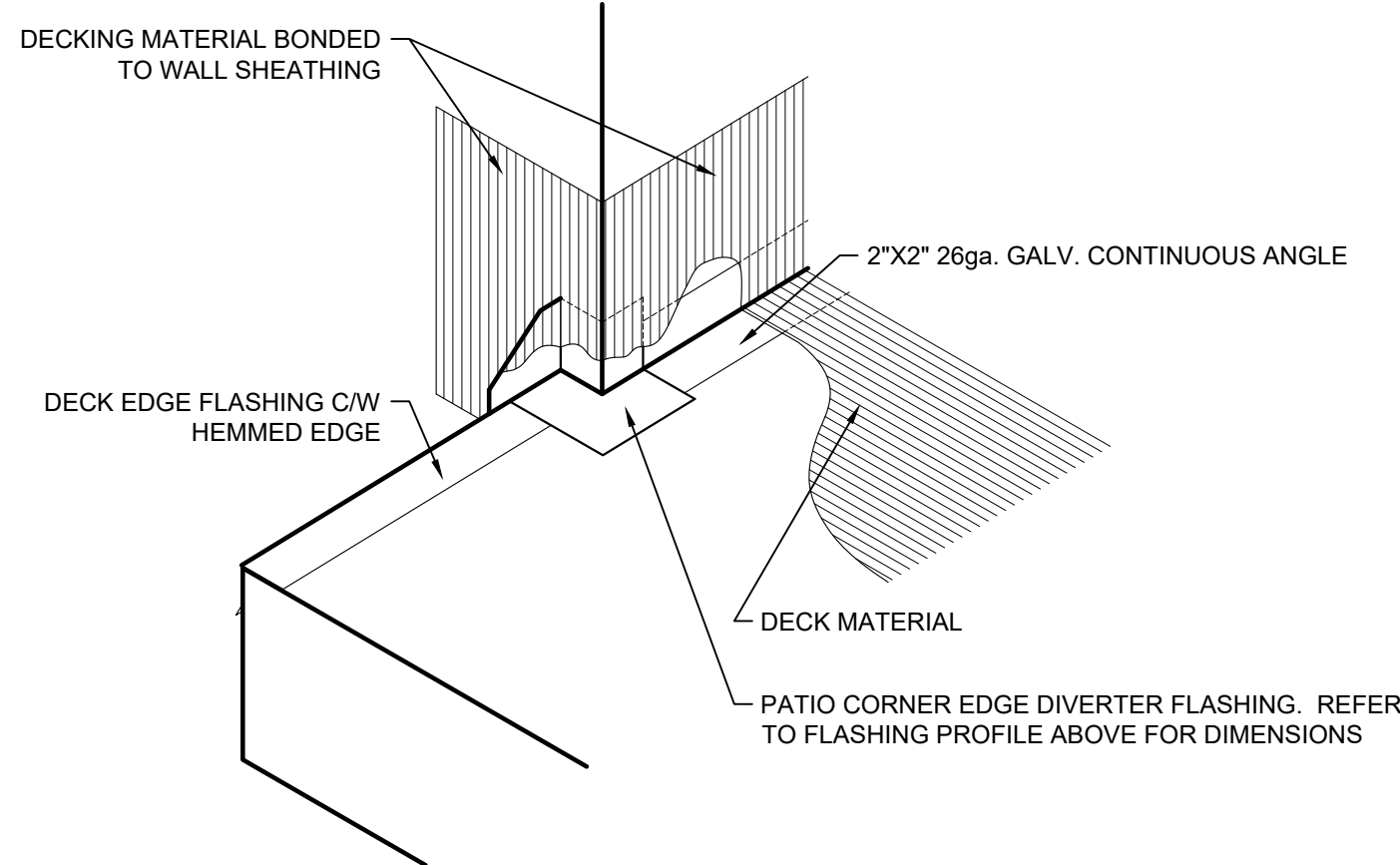
7 EXTERIOR PIER & FOOTING
Scale: 1-1/2" = 1'-0"

GENERAL DETAIL NOTES:

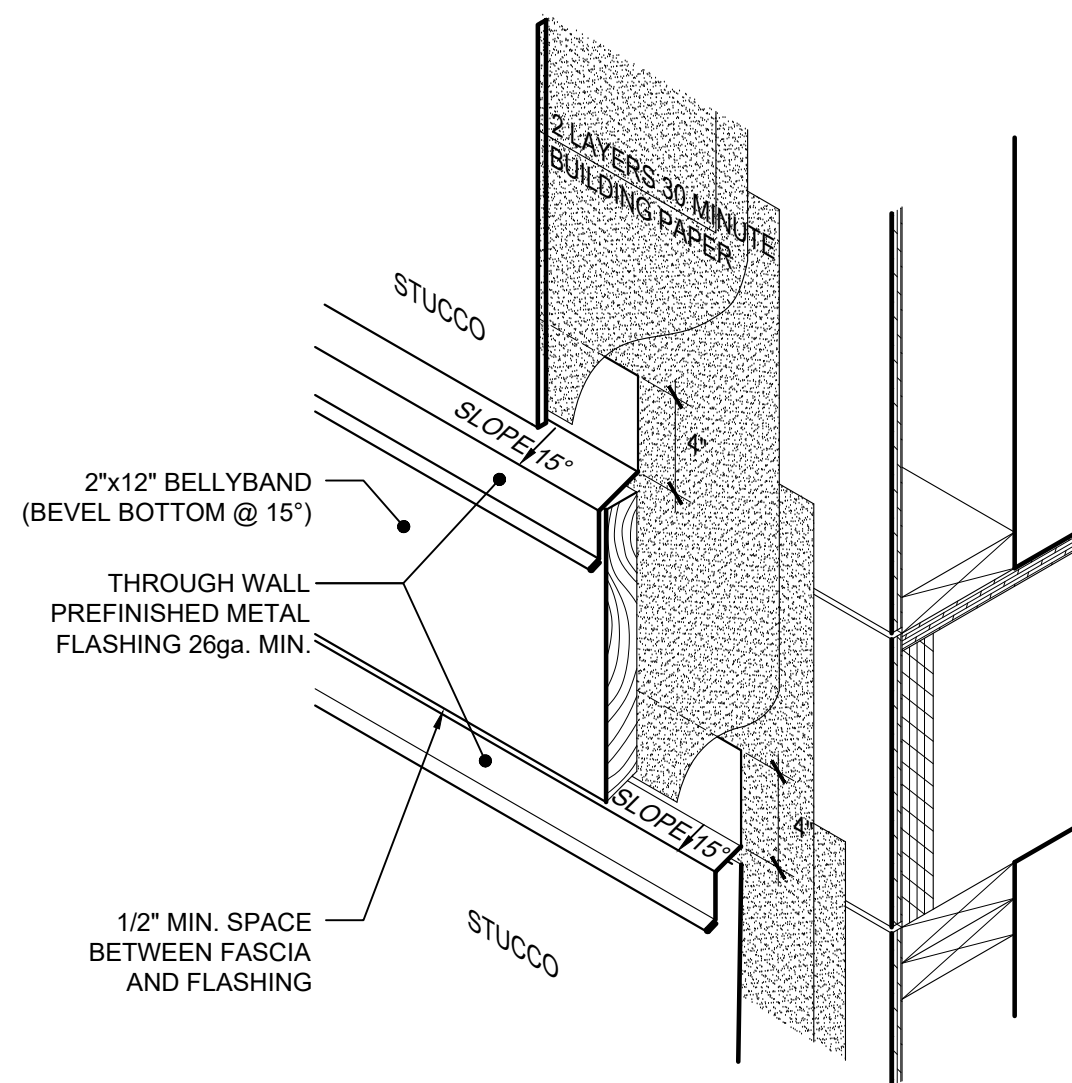
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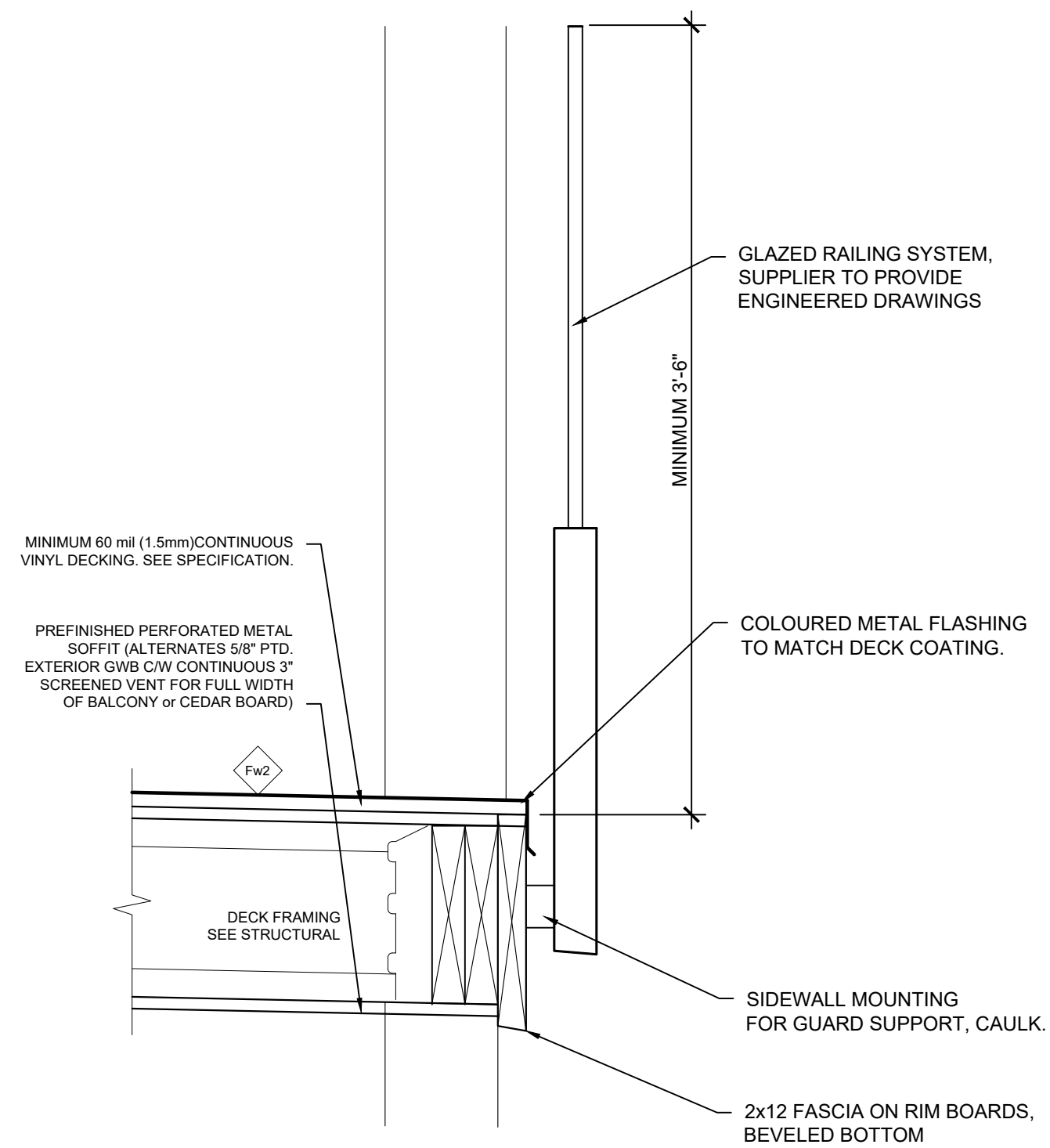
6 WOOD DECK WALL PROTECTION
Scale: 1-1/2" = 1'-0"



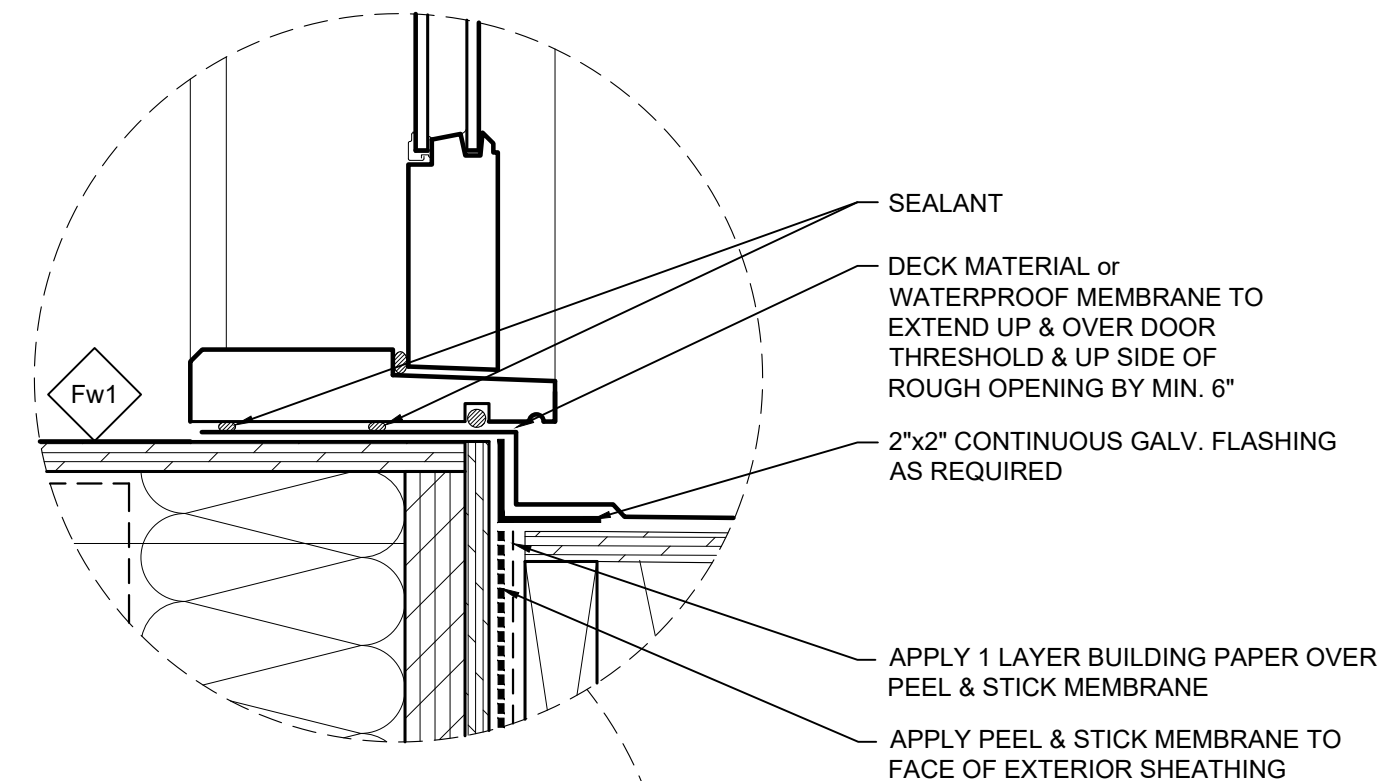
5 WOOD PATIO DIVERTER FLASHING
Scale: 1-1/2" = 1'-0"



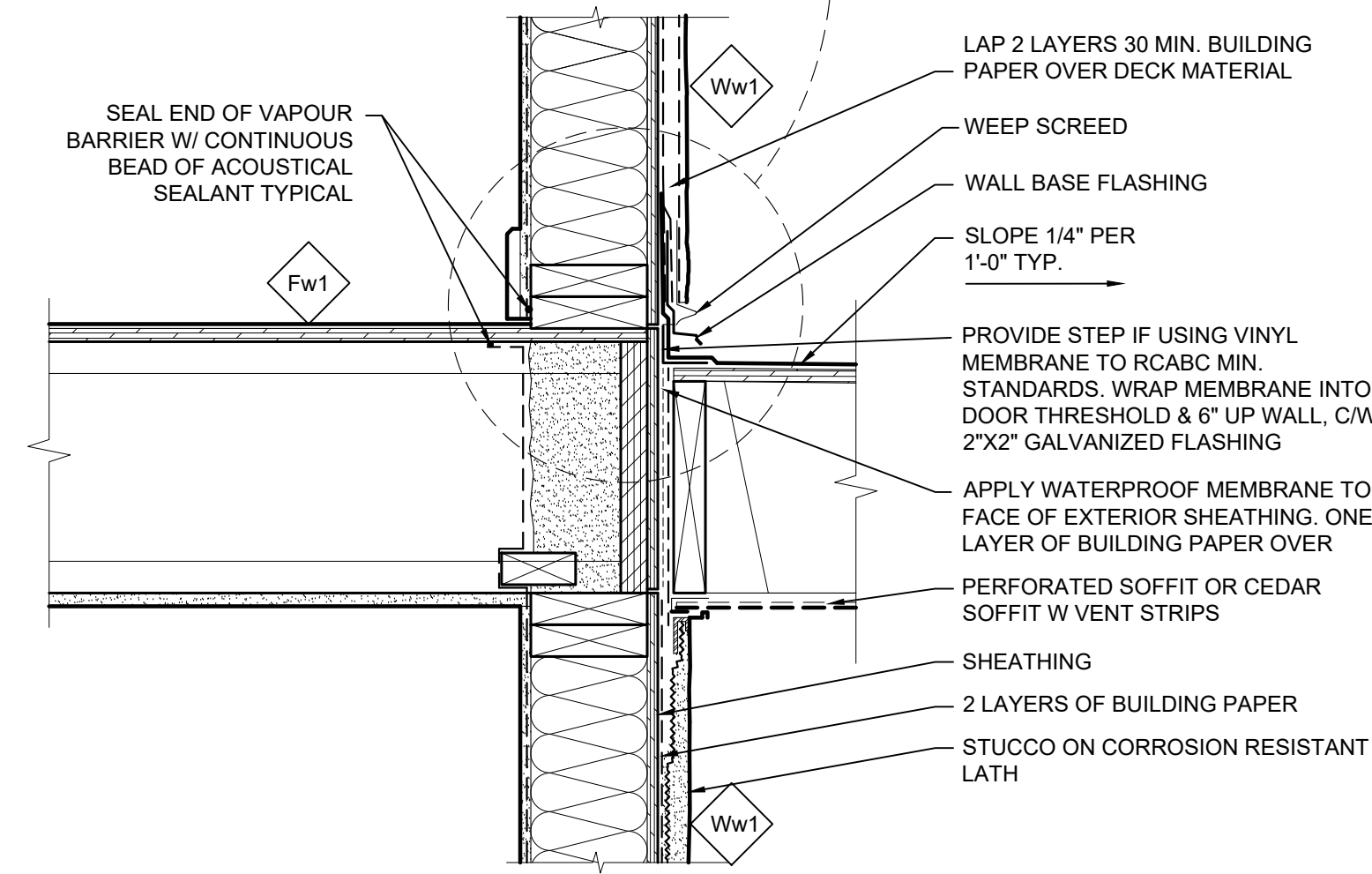
4 EXTERIOR WALL TRIM / CLADDING TRANSITION
Scale: 1-1/2" = 1'-0"



3 PRE-ENGINEERED PATIO RAILING
Scale: 3" = 1'-0"



2 EXT. WALL @ DOOR SILL
Scale: 3" = 1'-0"



1 WOOD PATIO @ MAIN FLOOR
Scale: 1-1/2" = 1'-0"

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2. APR 8 / 2021 CLIENT REVIEW - SITE, M.F.P. LAYOUT
1. MAR 31 / 2021 CLIENT REVIEW - SITE, M.F.P. LAYOUT

P 9 d

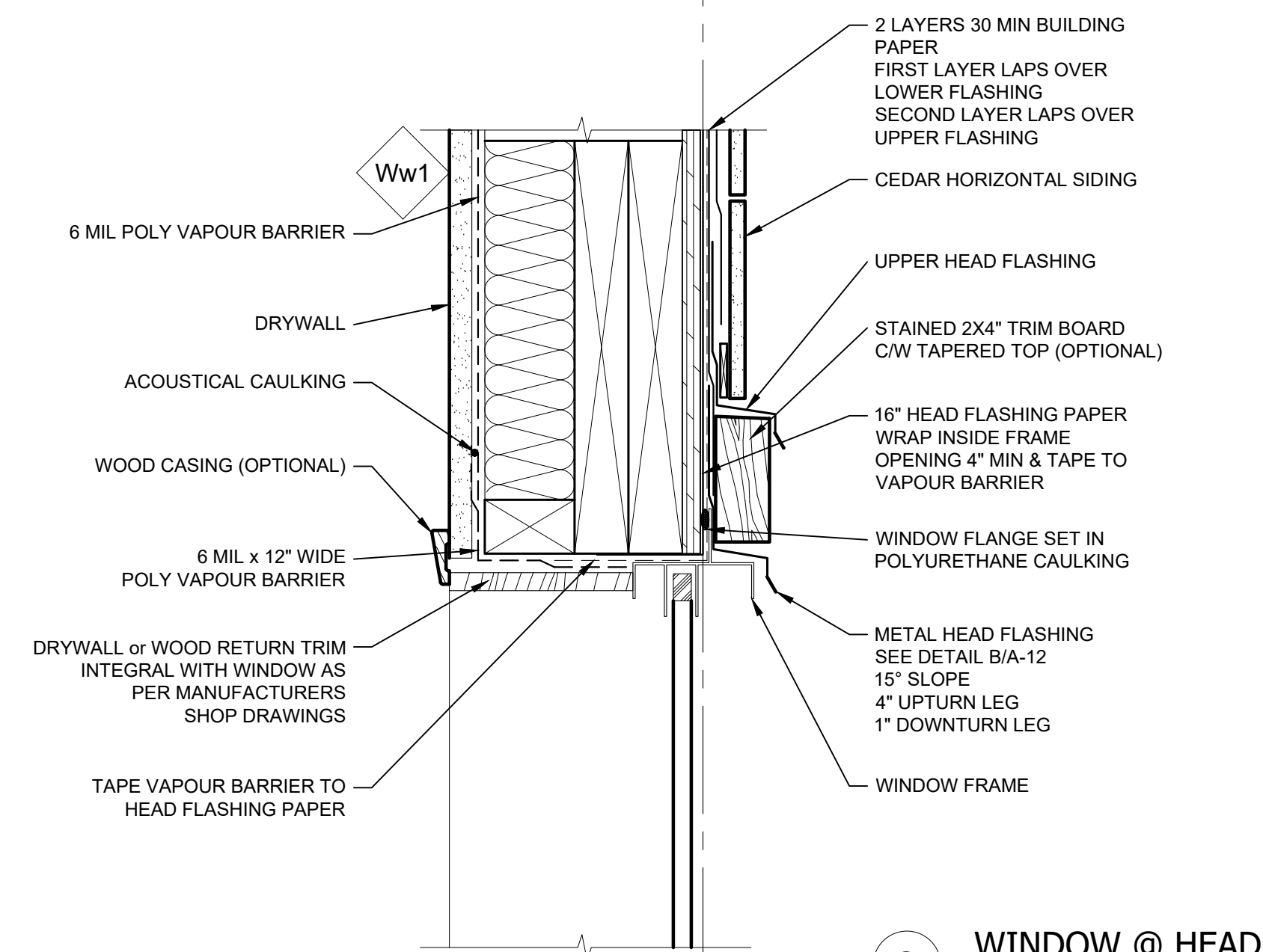
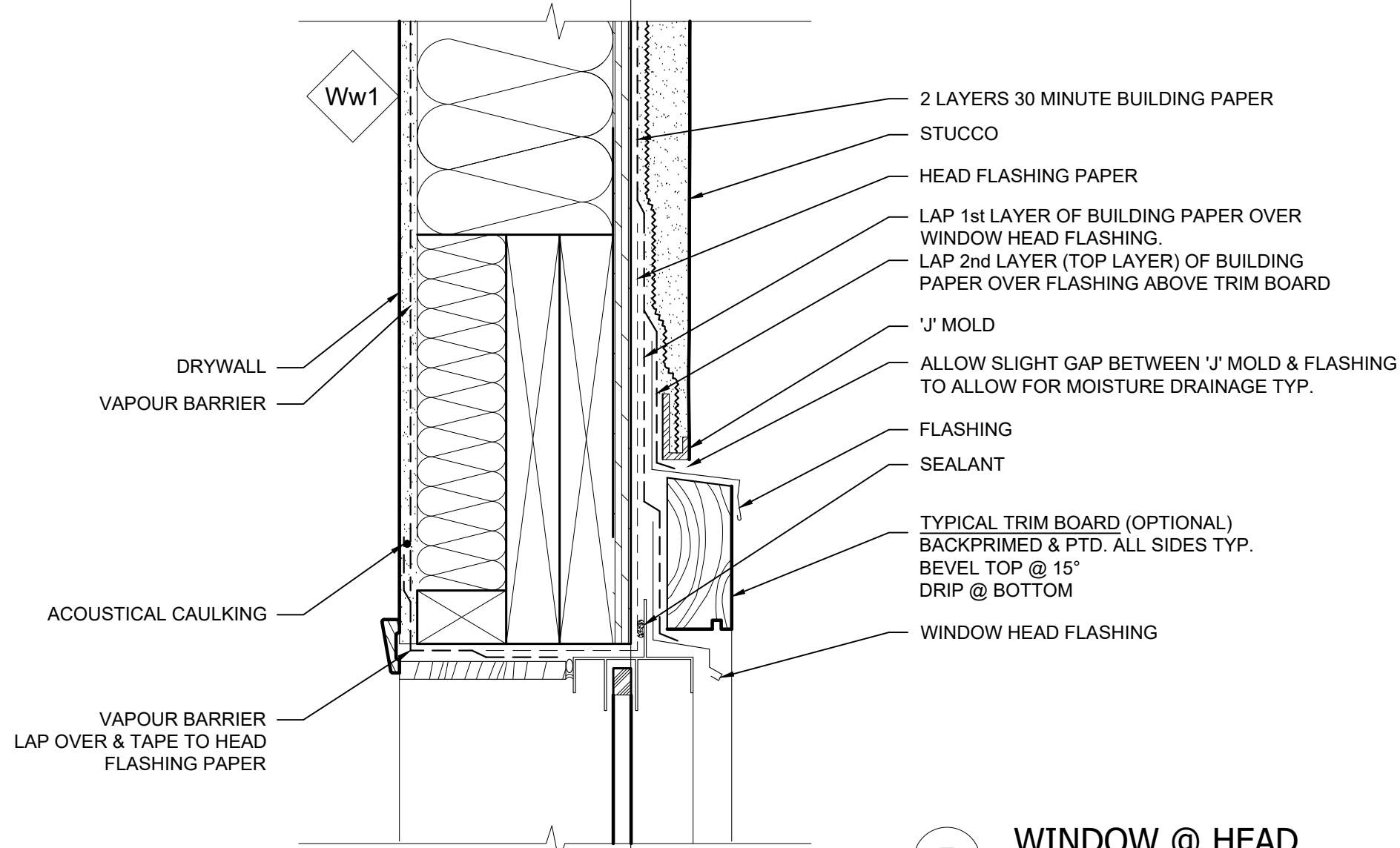
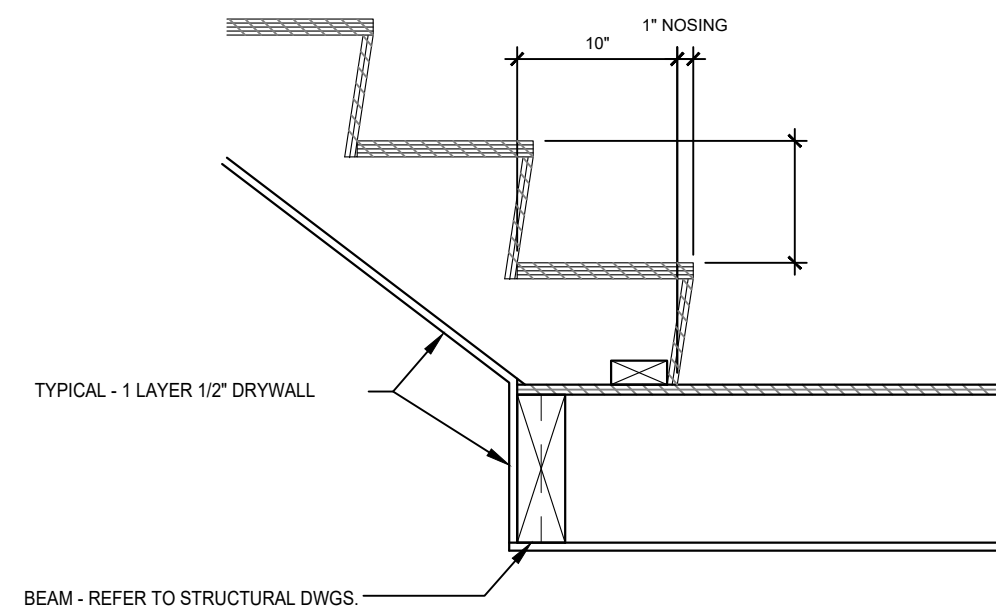
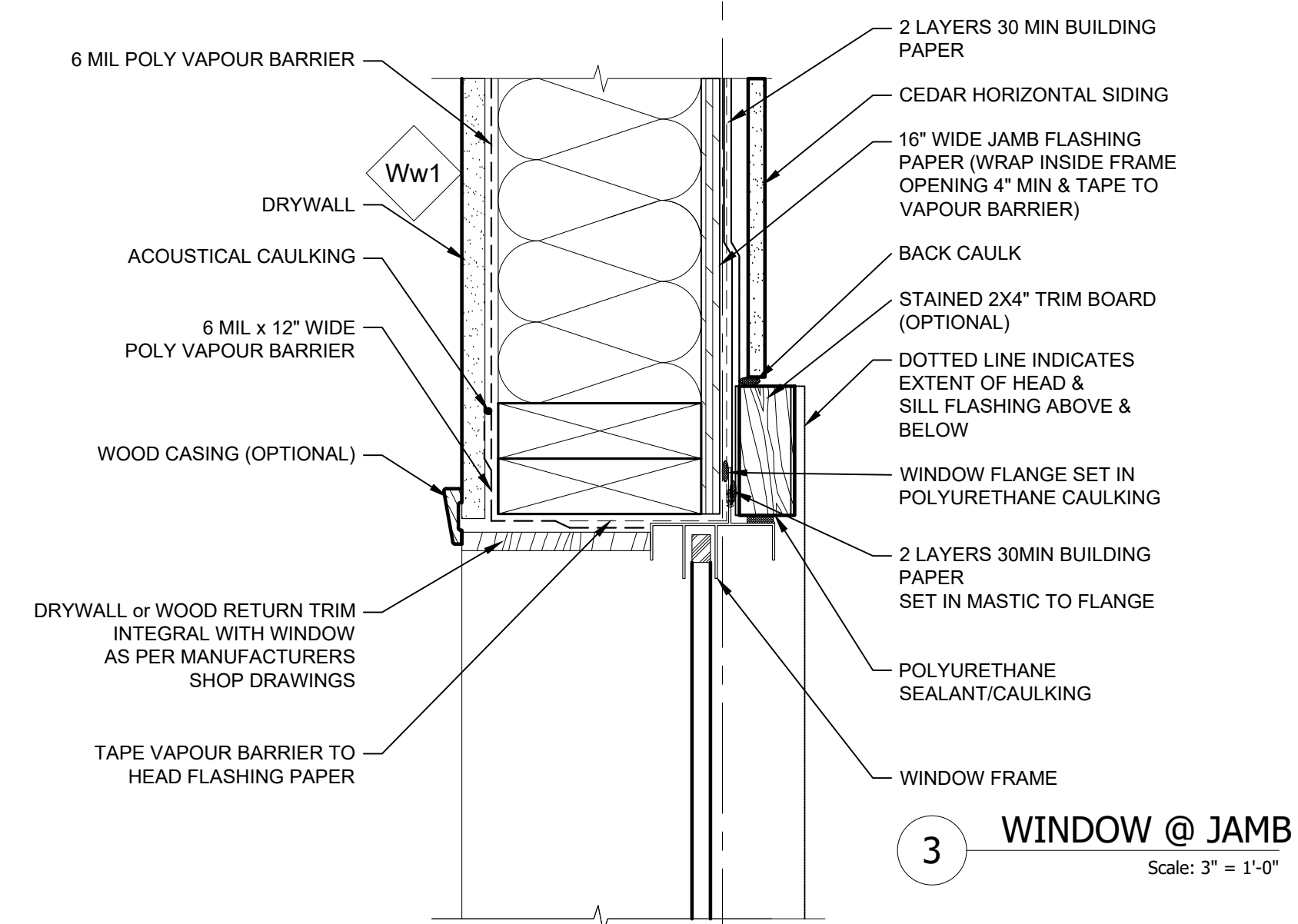
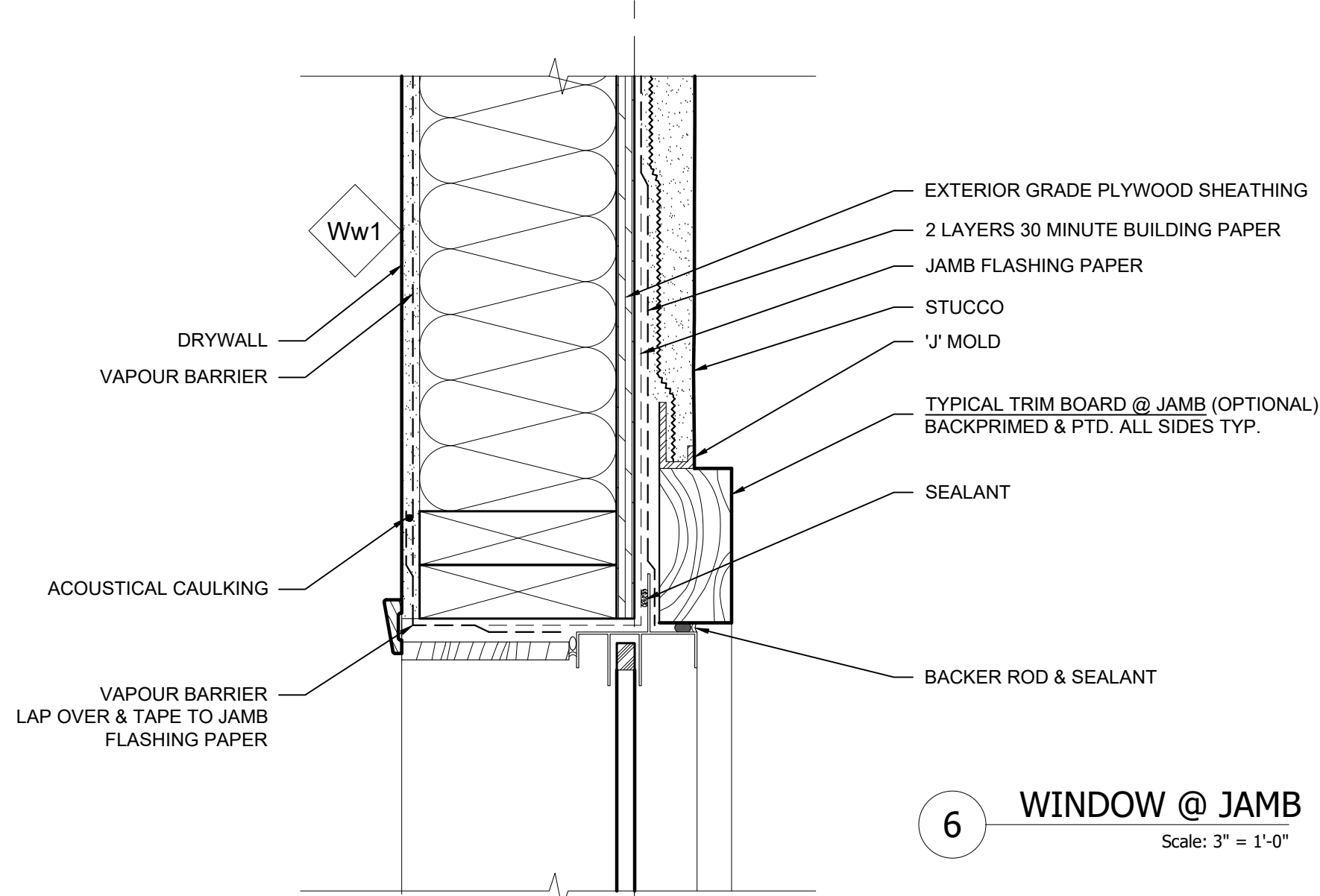
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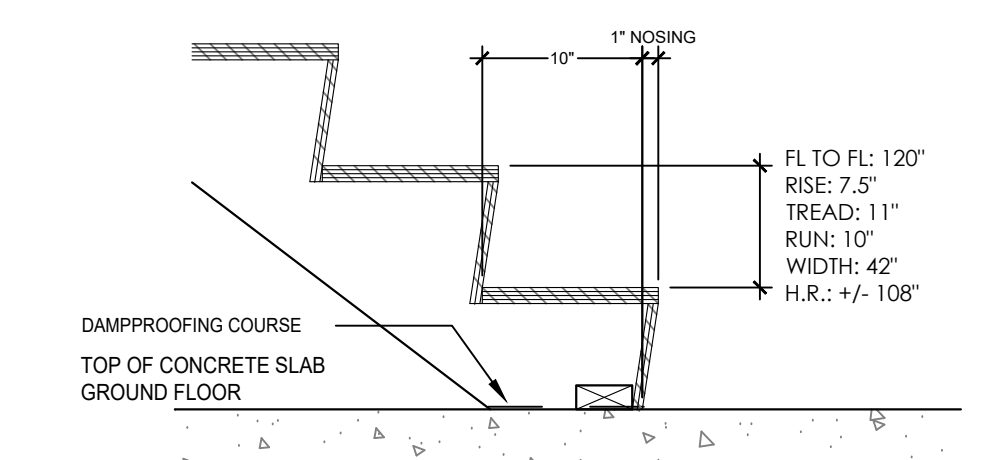
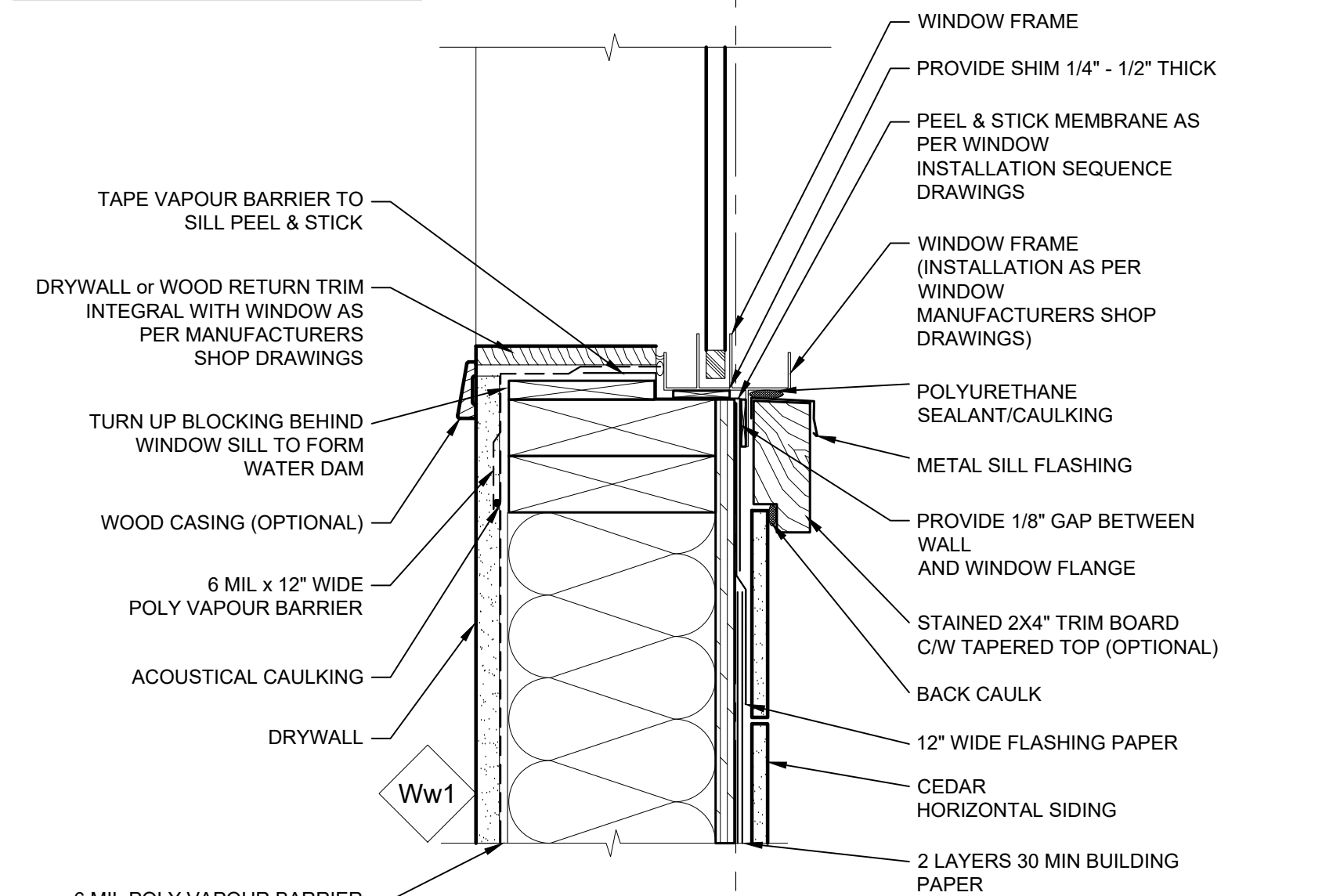
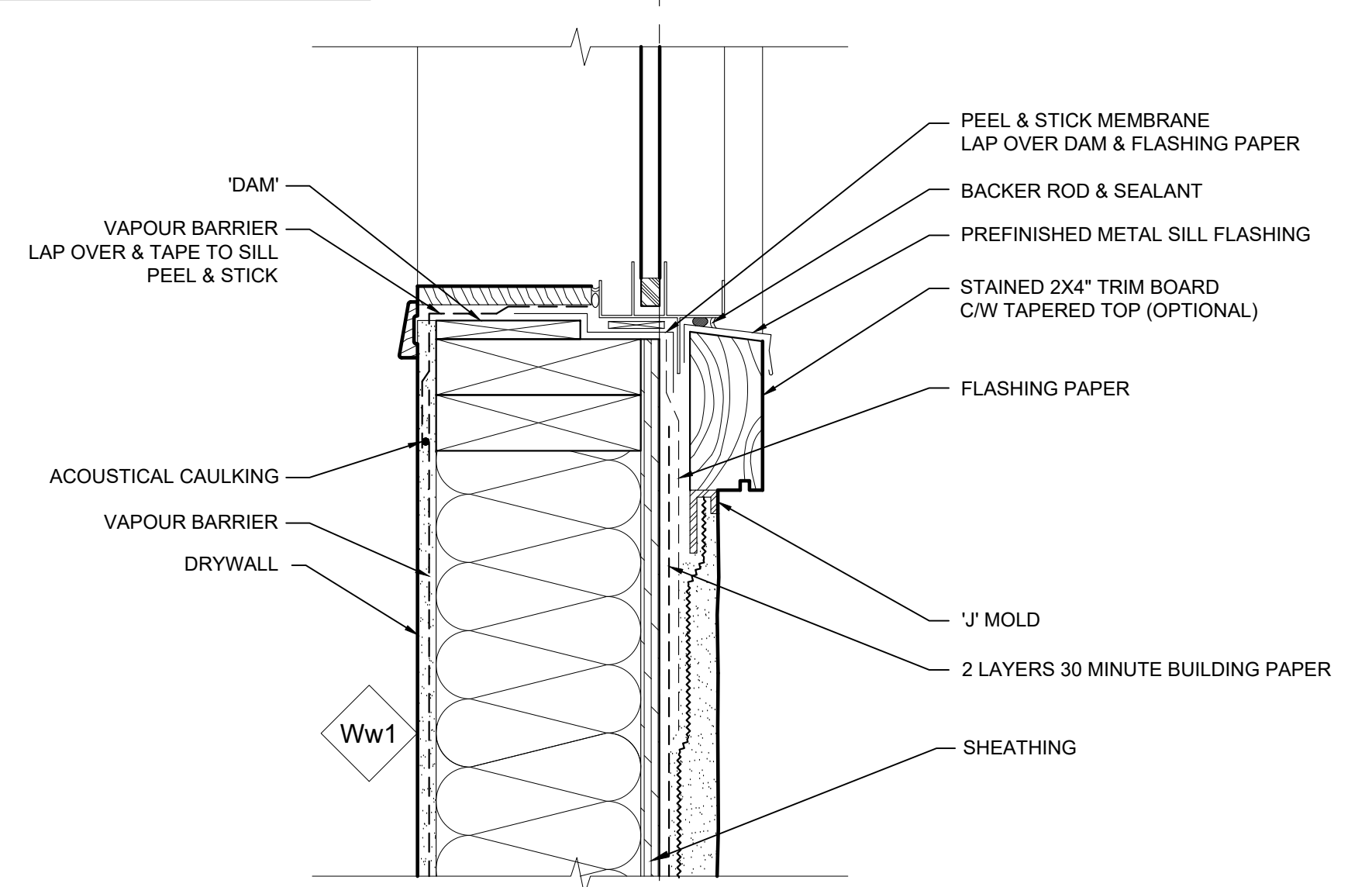
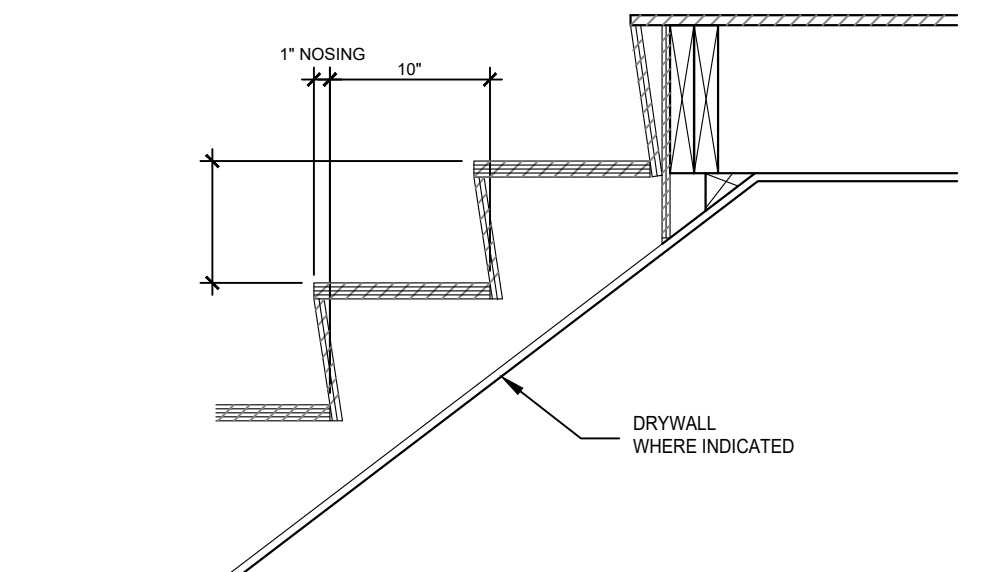
Start Date:
March 28, 2021
Project: P21-05

A5.1



NOTE: IMPORTANT:
ALL DETAILS ON A5.2 TO BE READ IN
CONJUNCTION WITH WINDOW
SEQUENCE DRAWING A5.3

NOTE: IMPORTANT:
ALL DETAILS ON A5.2 TO BE READ IN
CONJUNCTION WITH WINDOW
SEQUENCE DRAWING A5.3



STUCCO SIDING DETAILS

WOOD SIDING / PANEL DETAILS

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P 9 d

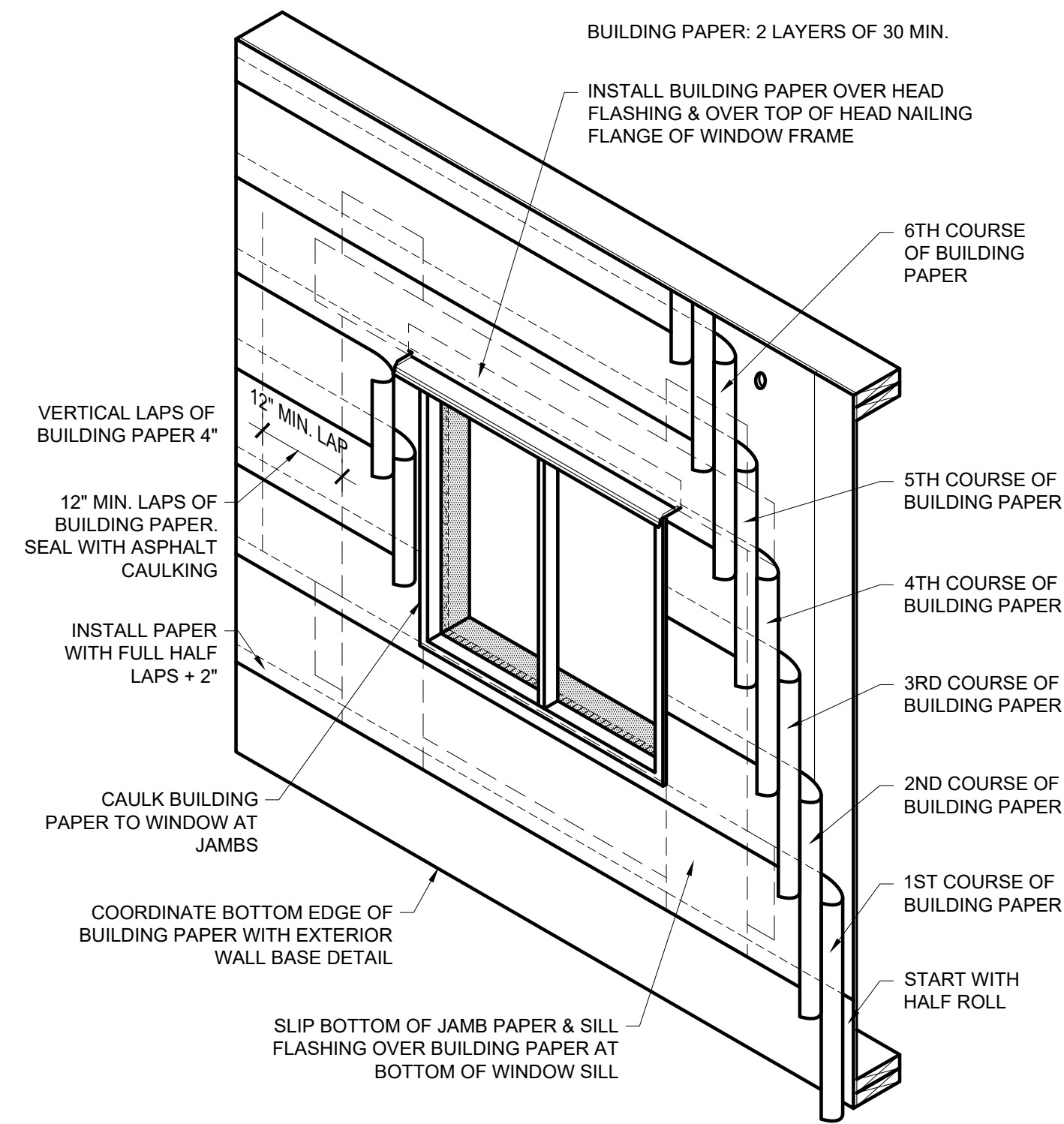
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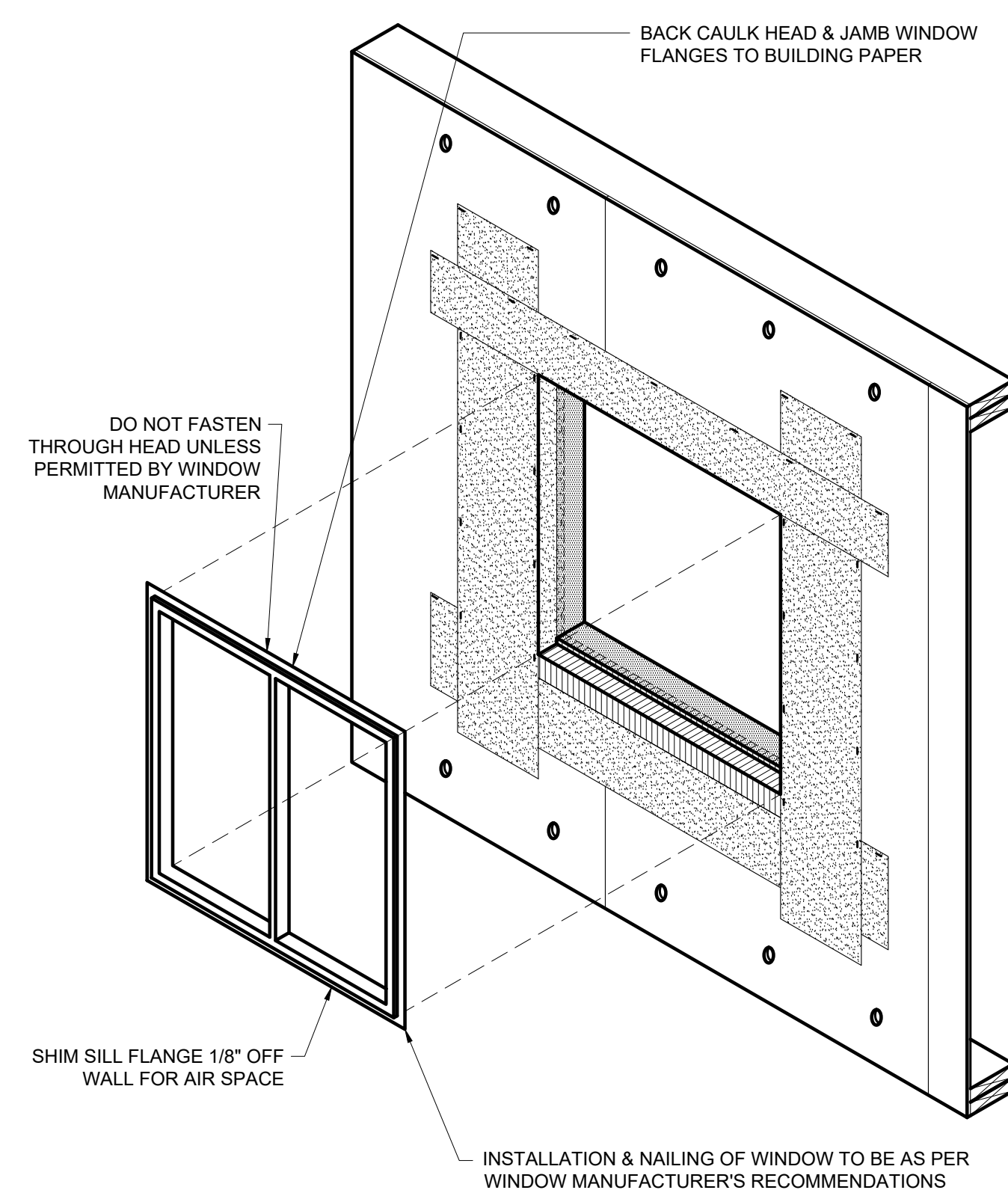
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DETAILS

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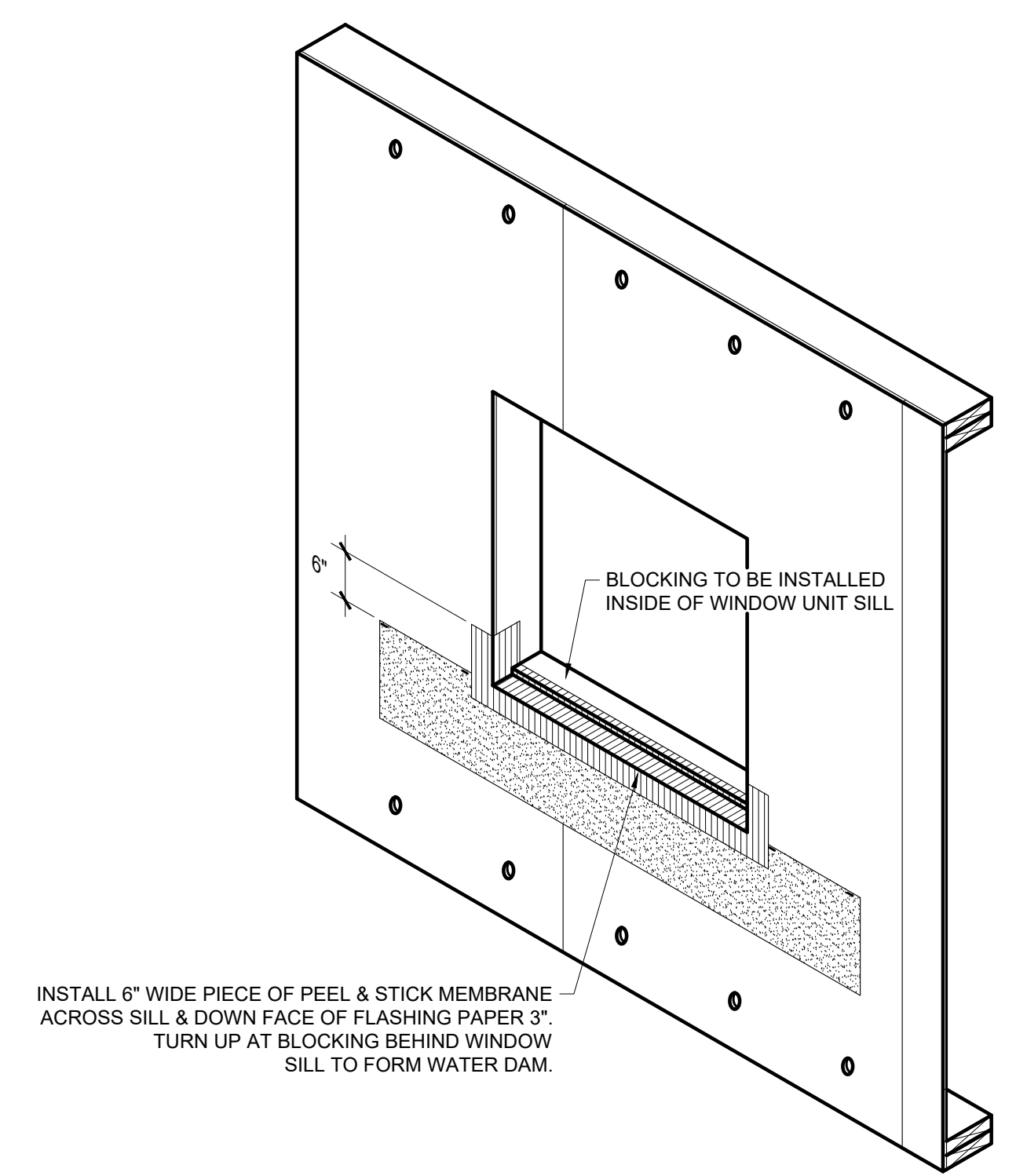
A5.2



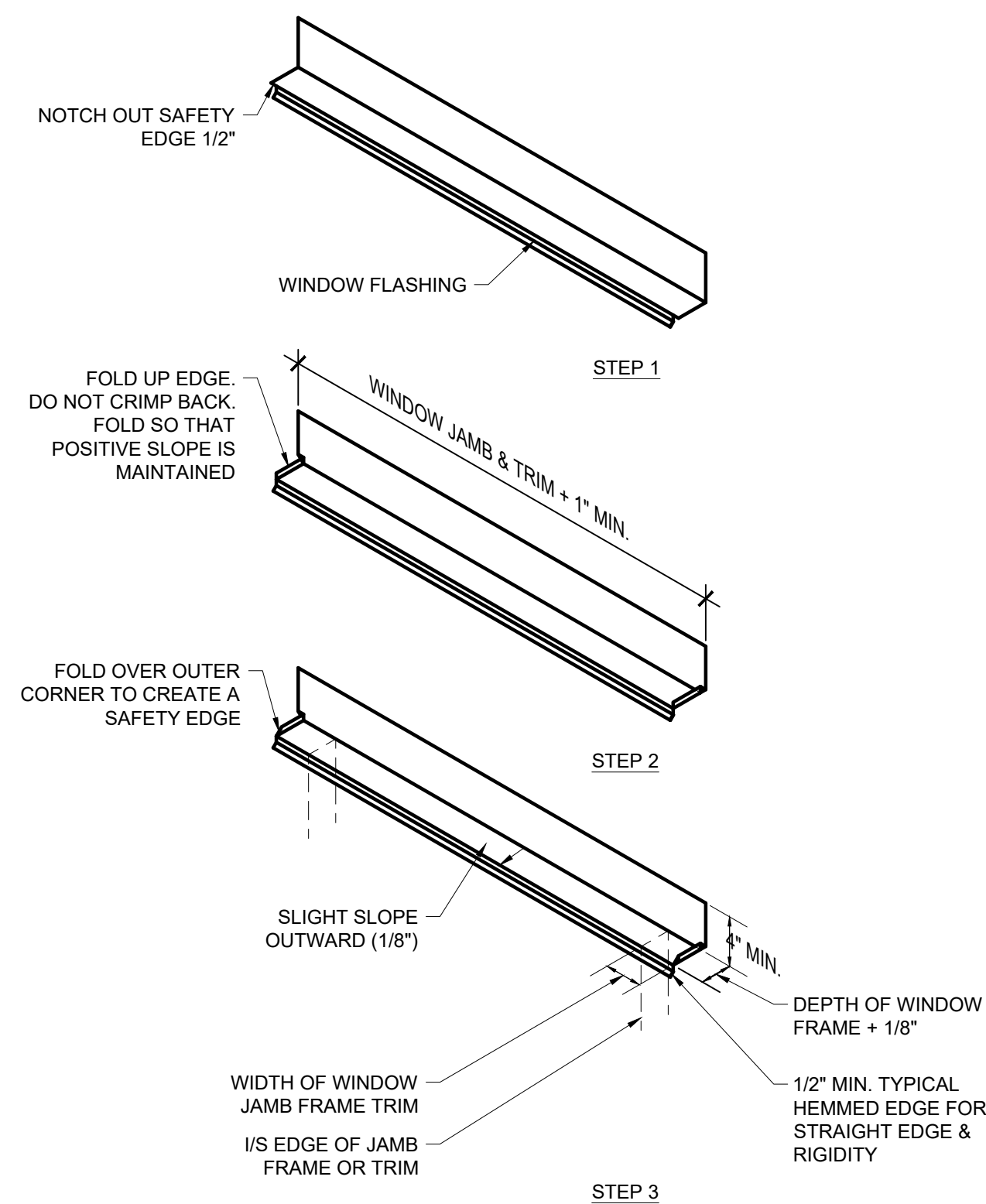
6 WINDOW SEQUENCE 6
N.T.S.



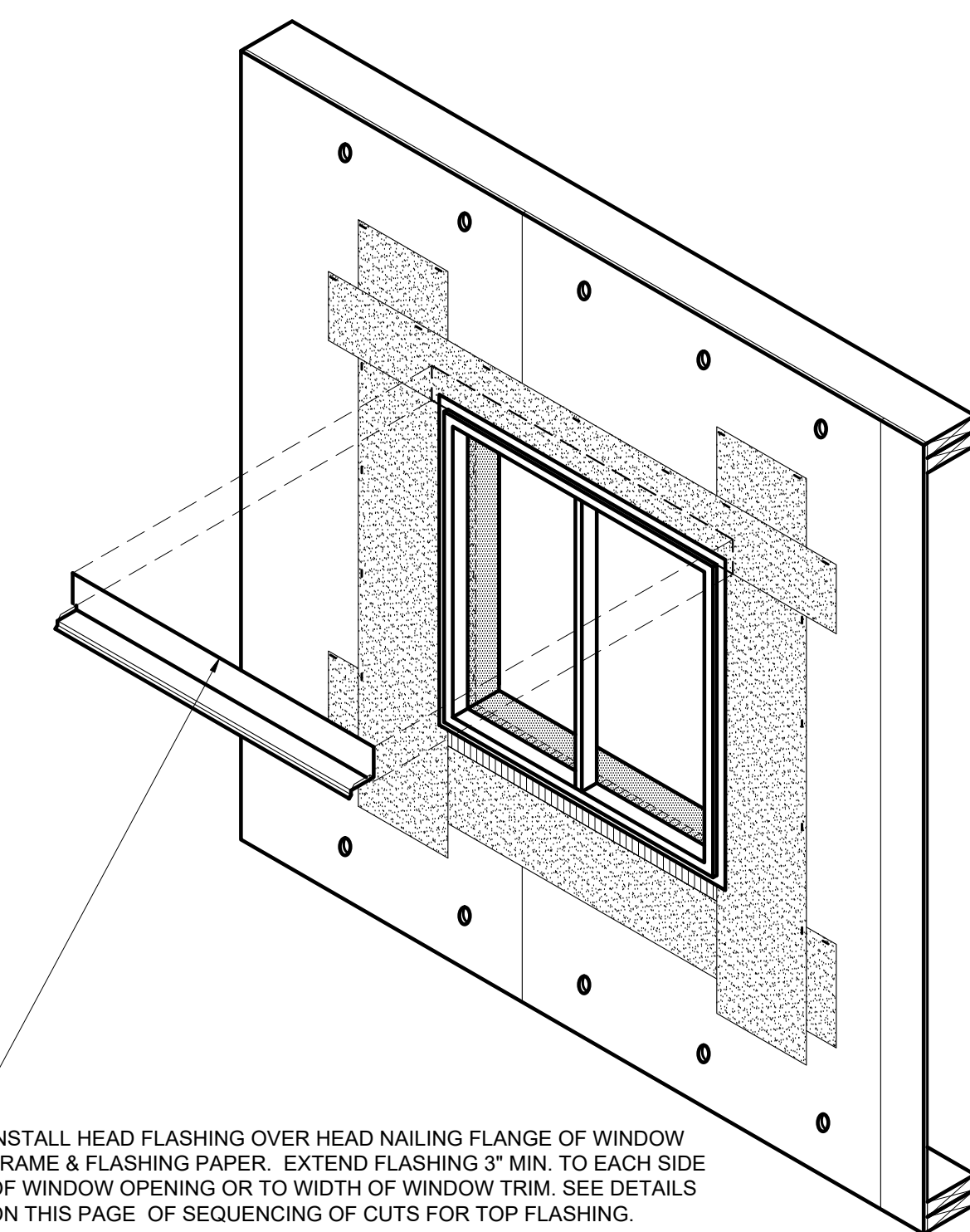
4 WINDOW SEQUENCE 4
N.T.S.



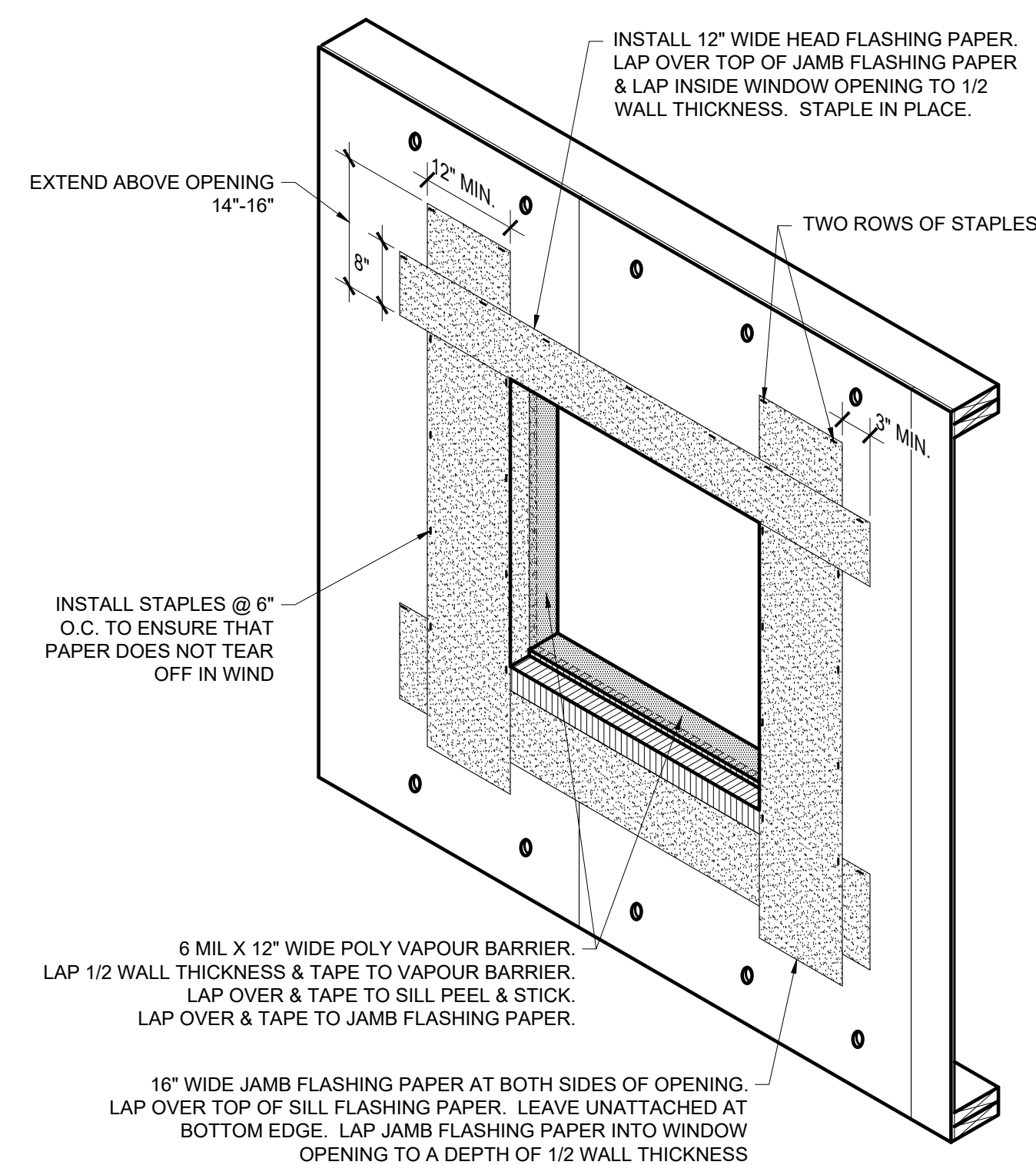
2 WINDOW SEQUENCE 2
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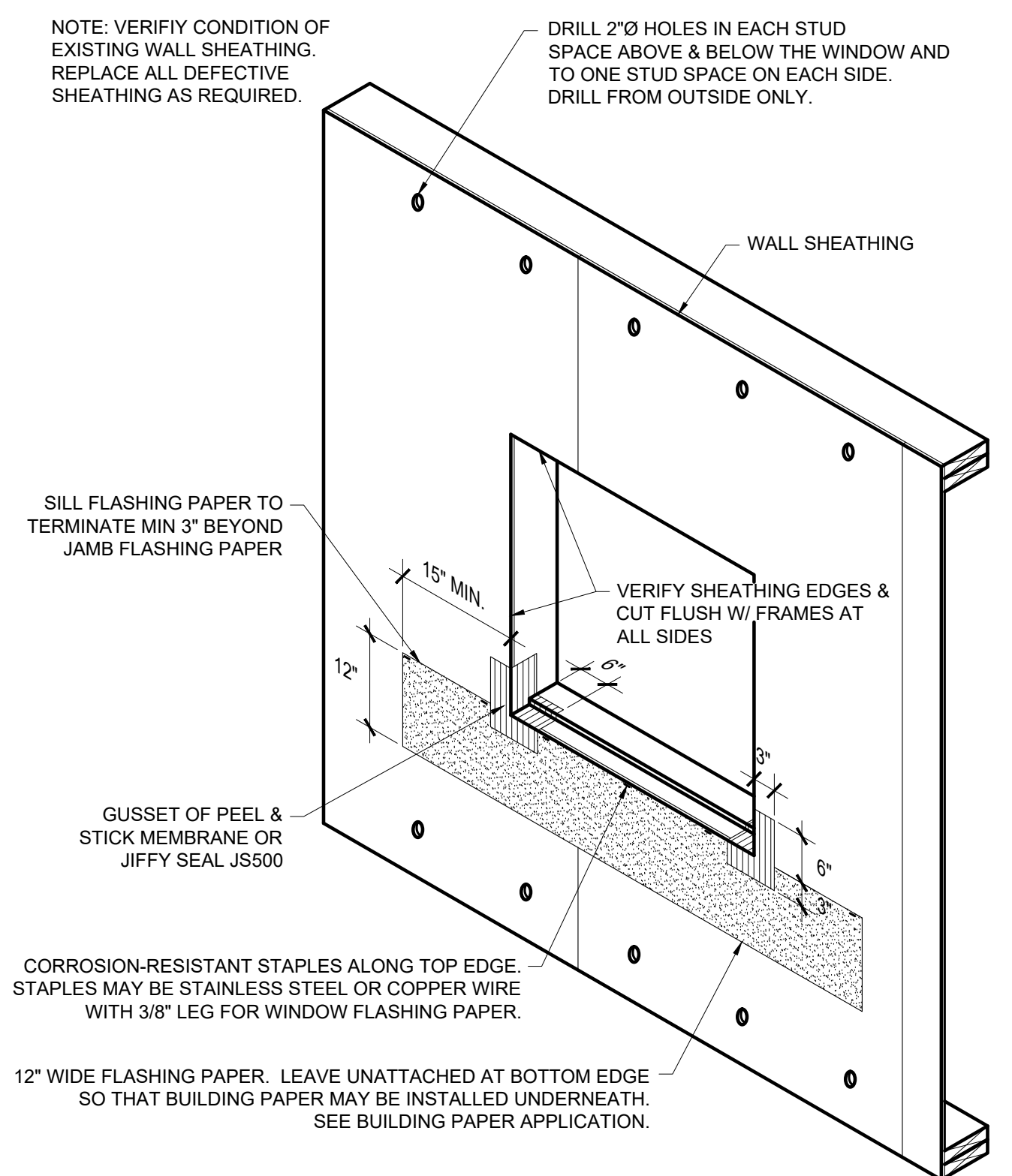
7 WINDOW FLASHING
SCALE: 1" = 1'-0"



5 WINDOW SEQUENCE 5
N.T.S.



3 WINDOW SEQUENCE 3
N.T.S.



1 WINDOW SEQUENCE 1
N.T.S.

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A5.3

LEGEND

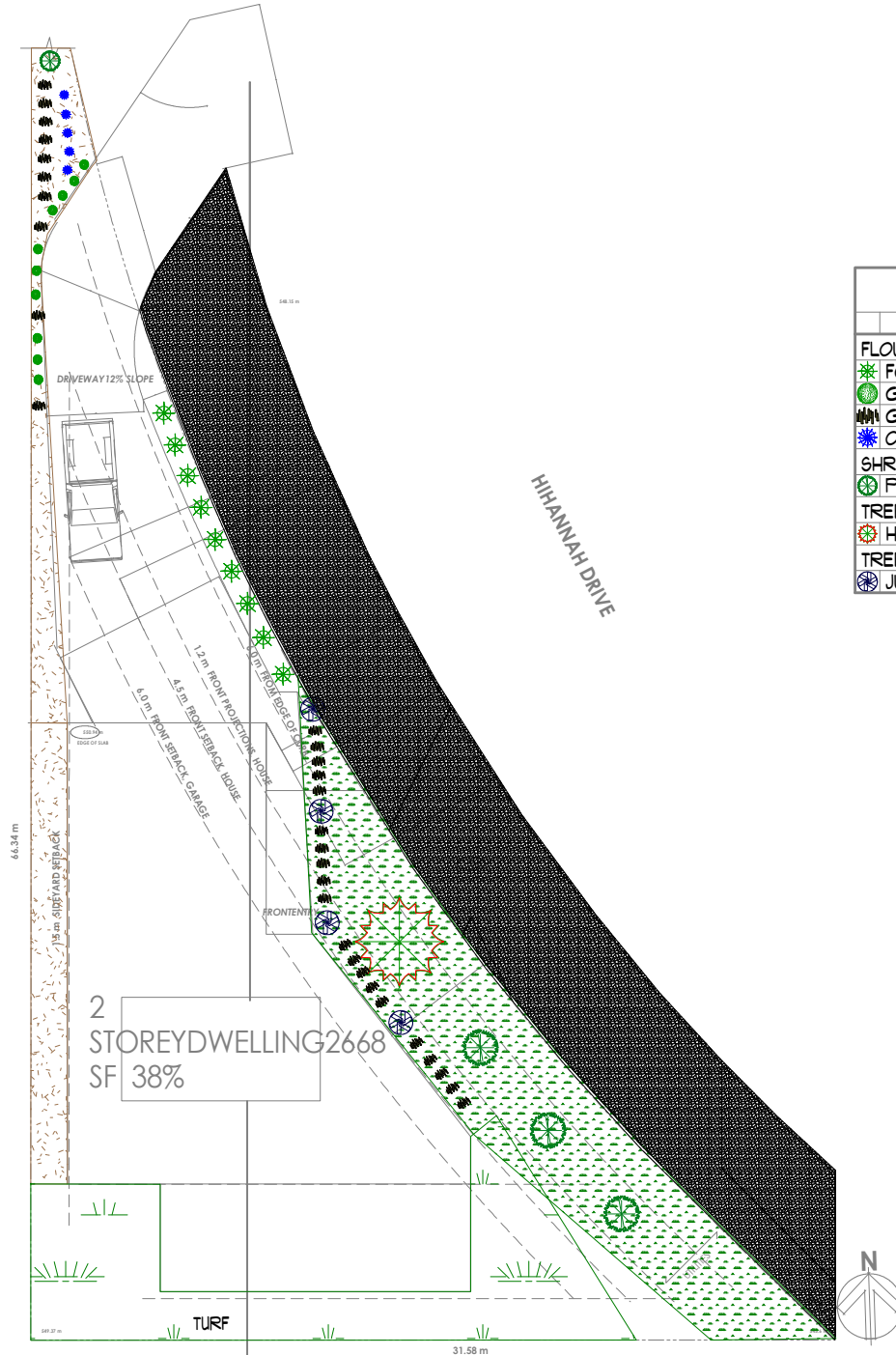
COMMON NAME	BOTANICAL NAME	QTY	SIZE
FLOWER, GRASS			
* FOUNTAIN GRASS	PENNISETUM	9	1 GAL
* GRASS, JAPANESE BLOOD RED BARON	IMPERATA CYLINDRICA 'RED BARON'	10	1 GAL
* GRASS, 'KARL FOERSTER'	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	30	1 GAL
* OAT GRASS, BLUE	AVENA SEMPERVIRENS	5	1 GAL
SHRUB, EVERGREEN CONIFER			
* PINE, MUGO, DWARF	PINUS MUGO VAR. PUMILIO	4	5 GAL.
TREE, DECIDUOUS			
* HAWTHORN, ENGLISH, PAUL'S SCARLE	CRATAEGUS LAEVIGATA 'PAUL'S SCARLE'	1	10'-12'
TREE, EVERGREEN			
* JUNIPER, ROCKY MOUNTAIN	JUNIPERUS SCOPULORUM	4	10 GAL.

LANDSCAPE NOTES

- ALL PLANTINGS TO BE PROVIDED WITH DRIP IRRIGATION.
- THREE ZONES OF SPRAY IRRIGATION FOR TURF.
- ALL PLANTINGS TO BE PROVIDED WITH ADEQUATE SOIL DEPTH; MIN 6" FOR TURF AND 24" FOR SHRUBS, ORNAMENTAL GRASSES AND PERENNIALS.

GROUND TREATMENT LEGEND

- 6mm CRUSHER CHIPS
- LANDSCAPE FABRIC AND 2" CRUSHED ROCK IN COLOUR TO COMPLIMENT HOUSE
- HYDRAULICALLY APPLIED EROSION CONTROL MULCH



Revision #:

Date: 2022-03-28

Scale:

1" = 30'

Landscape Plan:

2240 Hihanna Dr, West Kelowna

Landscape Design by: Andre Alcantara

Living Green Elements Ltd.