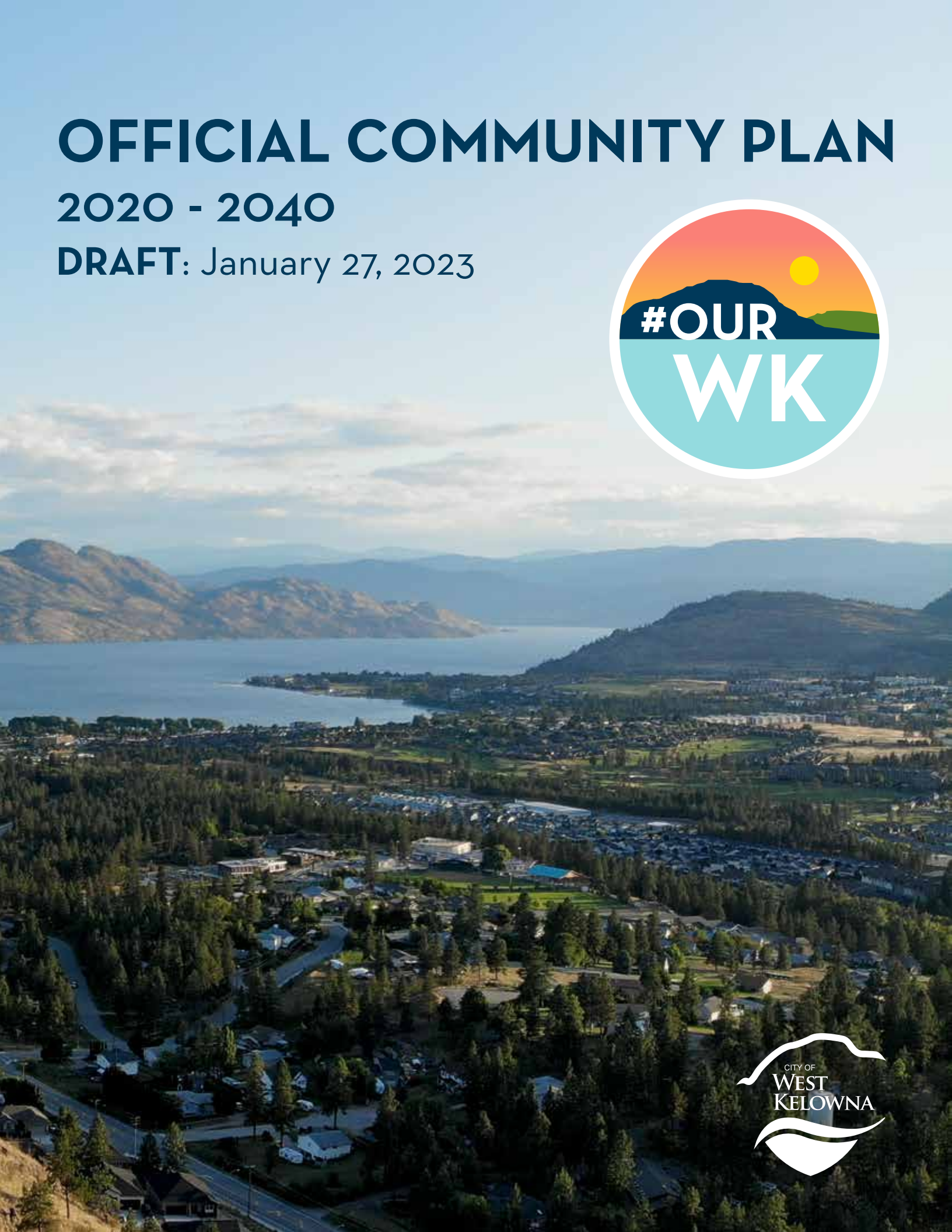


# OFFICIAL COMMUNITY PLAN

2020 - 2040

DRAFT: January 27, 2023







# OVERVIEW

The City of West Kelowna is a growing and vibrant community. Between 2020 and 2040, we anticipate welcoming over 12,000 new residents. The Official Community Plan is the road map that will help us guide how and where we will shape this growth in the future.

This document contains objectives and policies that will guide the decisions of our Council and City staff towards creating a city that is reflective of the #OurWK Community Vision, a separate document that sets the vision for West Kelowna in 2040.







# DOCUMENT OVERVIEW

## **SECTION 1 - INTRODUCTION & COMMUNITY VISION**

Includes background information on the Official Community Plan, provides an overview of West Kelowna today, forecasts our future growth, and sets out a growth strategy.

## **SECTION 2 - LAND USE DESIGNATIONS**

Includes objectives and policies that direct growth within an identified Land Use Plan to positively impact our community.

## **SECTION 3 - POLICIES**

Includes objectives, policies and action items over a variety of topics to guide decisions and set the roadmap to fulfilling the OURWK vision.

## **SECTION 4 - DEVELOPMENT PERMIT GUIDELINES**

Establishes development permit areas and details guidelines to support development consistent with the OURWK vision.

## **SECTION 5 - IMPLEMENTATION AND MONITORING**

Outlines how this plan will be implemented and how it relates to other municipal bylaws and processes.







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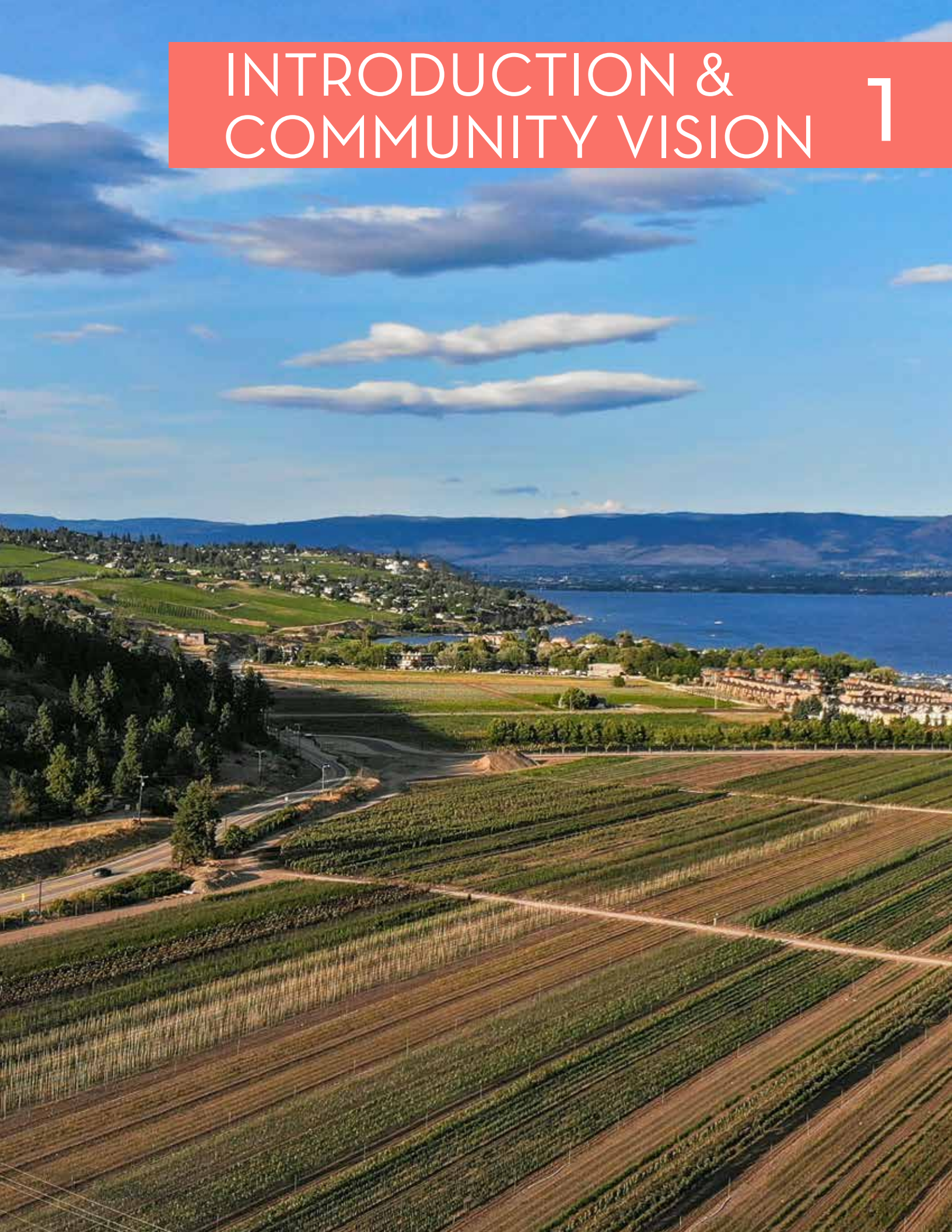
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# INTRODUCTION & COMMUNITY VISION

1





## 1.1 PURPOSE OF THE OCP

Today, West Kelowna is home to 36,078 residents, and by 2040, our population is expected to be more than 48,000. This growth will bring both opportunities and challenges, and strategic planning is essential to ensure West Kelowna can continue to grow in ways that reflect the vision for the community.

To accommodate our growth over the next 20 years, we need to create and implement plans and policies that clearly identify where development will be prioritized and supported with infrastructure and amenities. The City's Official Community Plan (OCP) is one way that we can help direct growth to positively impact our community.

OCP's are documents that describe the long-term vision for a municipality and have objectives and policies that will guide its decisions for the long term. The Local Government Act (LGA) provides the legal authority for local governments, like The City of West Kelowna, to adopt an OCP. The LGA lists content that must be included in a municipality's OCP, as well as optional content that a municipality can include.

Once approved, this OCP will be the key guide for West Kelowna City Council and Staff for decision making on community planning and land management issues. This OCP is also an important document for residents of West Kelowna, as it will guide how the community changes and operates as we approach 2040.



## 1.2 FREQUENTLY ASKED QUESTIONS

### Why Is The OCP Important?

The OCP ensures that the many interests such as sustainability, land use, and investment in a community are directed towards a common vision and that change is managed and coordinated. The OCP provides certainty for residents, landowners, developers and the City about the future.

Without an OCP, individuals pursuing their own interests could make separate and uncoordinated decisions which may generate undesirable consequences. For example, if a fast food restaurant with a 24 hour drive-through were to locate in the middle of a quiet residential neighbourhood, it could generate complaints that the City would be asked to solve. With an OCP, these situations can be avoided.

### Who Uses An OCP?

Residents, property owners, community groups, developers and investors use the OCP to learn about where and how future growth may occur and then make decisions and prepare development proposals that conform to it.

Council and staff are also guided by the OCP when making decisions about zoning, development and servicing.

### How Does the OCP Function?

#### Preparation and Adoption

- Council authorizes the preparation of an OCP. It is adopted after study, analysis, public consultation and a Public Hearing.

#### Implementation

- The OCP is implemented as lands within the City develop and redevelop.
- Residents, property owners, community groups, developers and investors prepare proposals that are to conform to the OCP, if they are to be approved.
- Council's actions, future bylaws and works are to be consistent with the OCP; however, the OCP bylaw does not commit Council to proceed with specific projects identified in the OCP.

#### Amending, Reviewing and Updating The OCP

- Amending: An OCP may be amended at any time. Council usually amends it periodically over the life of the document to keep it relevant and effective in light of changing social, environmental and economic needs, public and Council preferences and legislation.
- Reviewing: An OCP must be reviewed every 5 years.

### What Is The Difference Between The OCP and The Zoning Bylaw?

The implementation of the OCP occurs partially through the City's Zoning Bylaw. The Zoning Bylaw includes specific requirements that development must comply with (e.g. permitted density, site coverage and setbacks, land use and parking). The OCP establishes policies, guidelines and designates lands for specific uses that are supported by Council and the community. This includes Development Permit Areas and related design guidelines which provide additional direction and guidance for development.

In addition to the City's Zoning Bylaw, the OCP is supported by other City plans, policies and bylaws such as the City's Annual Budget, 10 Year Capital Plan, Works and Services Bylaw, Development Cost Charges Bylaw, Building Bylaw, and more.



## 1.3 PLAN CREATION PROCESS

In the (date TBD), City Council adopted the OCP, which replaces the former OCP adopted in 2011. The process reaffirmed strategies contained in the previous OCP, provided new strategies for managing growth and reflects West Kelowna's community values.

The update process began in 2020 with the formation of the #OurWK Community Vision, a document that outlines our community aspirations for what West Kelowna will be like in 2040. Following the foundational Community Vision, in 2021 and 2022 a detailed review process began with the goal of taking the community's vision and making it a reality.

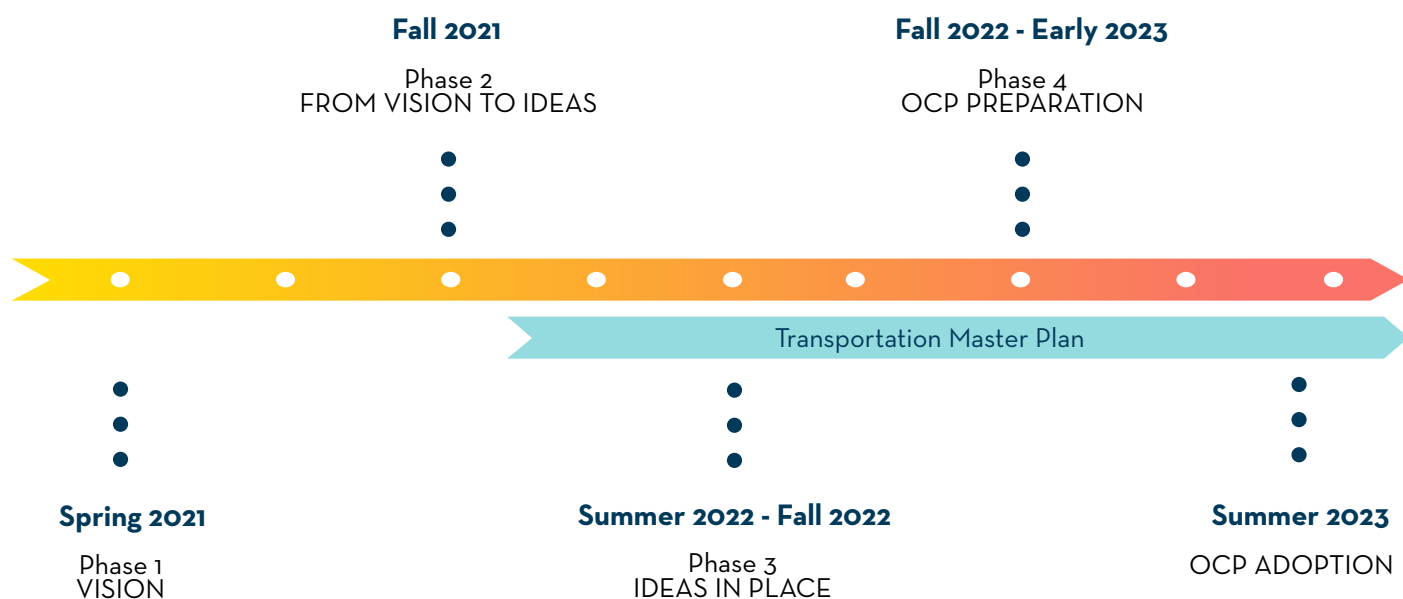


Figure 1. Plan Creation Process

**Phase 1 – VISION:** To provide an overall direction to guide the development of West Kelowna's OCP, a visioning document, titled #OurWK Community Vision, was created. This document sets out what West Kelowna wishes to be by the year 2040, and is based on five foundations and 23 key directions to provide a balanced grounding to support the vision.

**Phase 2 – FROM VISION TO IDEAS:** With a clear vision set, we engaged residents and stakeholders to discuss how the #OurWK vision looks like when implemented. We forecasted how and by how much West Kelowna will grow by 2040, and looked at how that growth can reflect the #OurWK vision.

**Phase 3 – IDEAS IN PLACE:** In Phase 3 we began to draft and refine the contents of the OCP, continuing to engage with the public and other stakeholders.

**Phase 4 – PLAN ADOPTION:** In Phase 4 we created the implementation plan and mapping for the OCP, before approaching City Council for approval.

On \_\_\_\_, \_\_\_\_, City Council passed first reading of the 2040 Official Community Plan (OCP), and on \_\_\_\_, O\_\_\_\_ it passed second and third readings. The Plan then went to the Province for approval, and it was adopted by Council on \_\_\_\_, 2022.

## 1.4 #OURWK COMMUNITY VISION

The #OurWK Community Vision is the document that speaks to our goals and aspirations as a City for the year 2040. This OCP has objectives and policies that put this vision to work in our community. The #OurWK Community Vision is broken into five Foundations, which are described below:

### #OURWK VISION OVERVIEW

In West Kelowna...

- We live in harmony with these lands and waters, with one another, and with our neighbours.
- We maintain a deep connection with our agricultural roots and we celebrate the one-of-a-kind character of our community.
- We prepare for and welcome change through innovation and collaboration.
- We are inclusive and supportive of one another, and we are ready to create our future together.

### OUR PEOPLE

OUR PEOPLE is about creating a community for all of us. West Kelowna wishes to be a place where you say hello to your neighbours, where you raise your children, where you can find a home that fits your unique needs and stage of life, and where you live a healthy, fulfilling lifetime surrounded by friends and family. Our West Kelowna is a city that is inclusive and welcoming to all.

### OUR CONNECTIVITY

OUR CONNECTIVITY is how we experience our community. Our physical connections make it easy and enjoyable to move around and our social and spiritual connections link us with one another, with our neighbours, and with the region.

### OUR ADAPTABILITY

OUR ADAPTABILITY is how we work together to help our city be successful. This is where we commit to collaboration and making the best possible choices that will keep West Kelowna healthy, green, safe, and resilient for years to come.

### OUR PROSPERITY

OUR PROSPERITY starts with taking care of the lands and waters that support us. It is also about supporting businesses that will provide good jobs and places to shop, keeping our city thriving. It involves defining West Kelowna's unique **sense of place** and sharing it proudly with the world.

### OUR PLACES

OUR PLACES are the neighbourhoods and destinations we love. This is where we commit to maintaining what's great and catalyzing improvements that will make places like Westbank Centre, our waterfronts, and our neighbourhoods even better, augmenting community pride.

Each of these five Foundations encompasses more specific Key Directions, as shown in the following figure.





Figure 2. #OurWK Key Directions

## 1.5 OUR WEST KELOWNA TODAY AND TOMORROW

The City of West Kelowna is located on the western shore of Okanagan Lake, on the traditional territory of the Syilx Okanagan people. The City of West Kelowna has an area totaling approximately 12,353 hectares (123.53 square kilometers) and spans from Highway 97C in the south to Rose Valley and Bear Creek Road in the north. This OCP encompasses the entirety of the City.

Our City has many neighbours, who we seek to collaborate with in implementing our vision:

- *North: Westbank First Nation Community Forest, the Regional District of Central Okanagan, including rural Crown land and large private land holdings.*
- *East: Okanagan Lake, The City of Kelowna*
- *South: The District Municipality of Peachland*
- *West: Regional District of Central Okanagan*

Our closest neighbours are the Westbank First Nation, who govern two adjacent reserves: one in central West Kelowna, and another on the City's eastern boundary. These areas, established in 1860 and overseen by the Westbank First Nation since 1963 are known as Tsinstikeptum Indian Reserves 9 and 10, respectively (referred to as IR#9 and IR#10 in this document), and comprise a total of approximately 980 hectares (2,420 acres). Westbank First Nation has been self-governing since 2005 and their administration operates independently.

West Kelowna values these neighbours as collaborative partners. As more people move to establish a career, develop connections with their neighbours and invest in the future of their community in the Okanagan Valley, our collaboration with neighbours to manage this growth is essential in fostering healthy, sustainable, and thriving communities while protecting our natural areas. A coordinated, collaborative planning approach, founded upon a shared vision, will enable West Kelowna to direct growth and manage change for the long-term health of the community, and the Okanagan Valley.

### OUR PEOPLE

The City of West Kelowna is a vibrant and growing community. Our People is a foundation of the #OurWK vision as it reflects the people of West Kelowna's contributions to creating a more welcoming, equitable and sustainable community. The following section explores West Kelowna's anticipated population trends, as a baseline for the policies in the OCP.

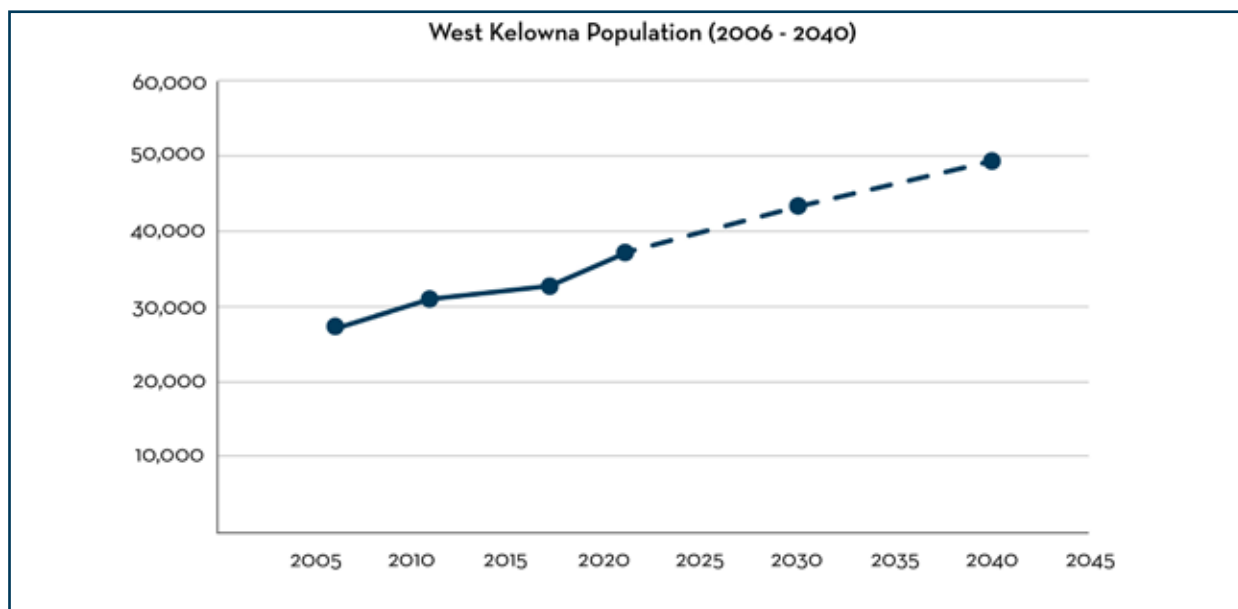
#### Population Statistics

West Kelowna's growth has been a continuous story. According to the 2021 Statistics Canada Census, the population of West Kelowna is 36,078, which represents an increase of just over 10% from the 2016 Statistics Canada Census population of 32,655, and 32.3% from the 2008 population of 27,261.

Looking ahead, it is estimated that the population of West Kelowna will grow an average of 1.5% every year until 2050. This translates into an estimated future population of 41,961 in 2030, 48,223 in 2040, and 54,147 in 2050. These projections represent a slight increase from those made in the last version of the OCP. A growing population means that as we continue to grow as a community, we will need to create places to live, work, and play for existing residents and the approximately 12,000 additional people we anticipate welcoming by 2040.

West Kelowna, like many cities in Canada, has an aging population. In 2021, the median age of West Kelowna was 44, a slight decrease from the 2016 median age of 45.2. Further to this trend, 21.4% of residents are over the age of 65, with an additional 15% aged 55 to 64. This is slightly higher than the provincial average. By 2050, these percentages are expected to increase.





**Figure 3. West Kelowna Population Projections**

In 2040, those aged 65 and over will make up 27% of the population and additional 12% will make up those aged 55 to 64. Those aged 35 to 54, which are typically at the peak of their career and are also the highest income earners will make up 26% of the total population, this is expected to decrease to 23% by 2050. In consideration of the unique housing needs and interests of our community, a range of housing types and tenures must be provided. The considerable number of people over 55 requires special attention when planning housing, infrastructure, transportation and recreational uses we build and operate.

City of West Kelowna Population Projects by Age Cohort (2016 - 2050)					
Age	2016	2021	2030	2040	2050
Under 15	5,472	5,880	6,423	6,730	6,959
	16%	16%	15%	14%	13%
15 - 24	3,683	3,655	4,387	5,160	5,896
	11%	10%	10%	11%	11%
25 - 34	3,725	4,105	4,417	4,917	4,987
	11%	11%	11%	10%	9%
35 - 44	4,082	4,770	5,361	5,572	5,640
	12%	13%	13%	12%	10%
45 - 54	4,874	4,575	5,273	6,632	7,204
	14%	13%	13%	14%	13%
55 - 64	5,158	5,395	5,737	5,979	6,003
	15%	15%	1%	12%	11%
65+	6,758	7,705	10,363	13,233	17,458
	20%	21%	25%	27%	32%
<b>Total</b>	<b>33,752</b>	<b>36,085</b>	<b>41,961</b>	<b>48,223</b>	<b>54,147</b>

**Table 1. Population Projection by Cohort\***

\* Projections developed with information from the 2021 Colliers Real Estate Inventory and Growth Projections report and updated with the known 2021 Federal Census data.

### Housing Projections

In order to accommodate a growing population, more housing is needed in West Kelowna. To better inform how West Kelowna grows and what housing typologies are most appropriate, research on trends in the housing market was completed in conjunction with the population projections.\*

Current Housing Typology Mix

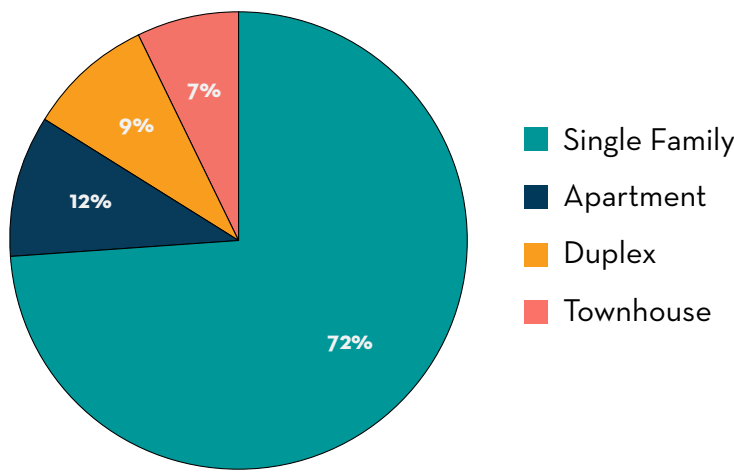


Figure 4. Current Housing Proportion by Typology

### West Kelowna Housing Now

There are approximately 14,146 housing units in West Kelowna based on the 2021 Federal Census and housing completions since 2016. West Kelowna’s housing, broken down by tenure and type, is displayed below.

Current Housing Tenure

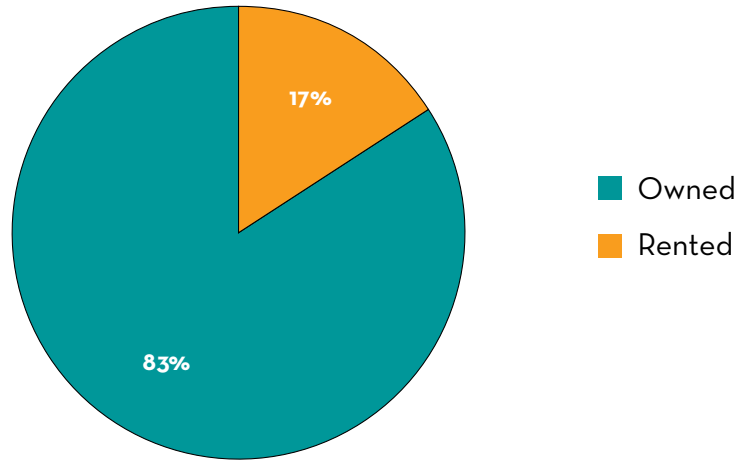


Figure 5. Current Housing Tenure

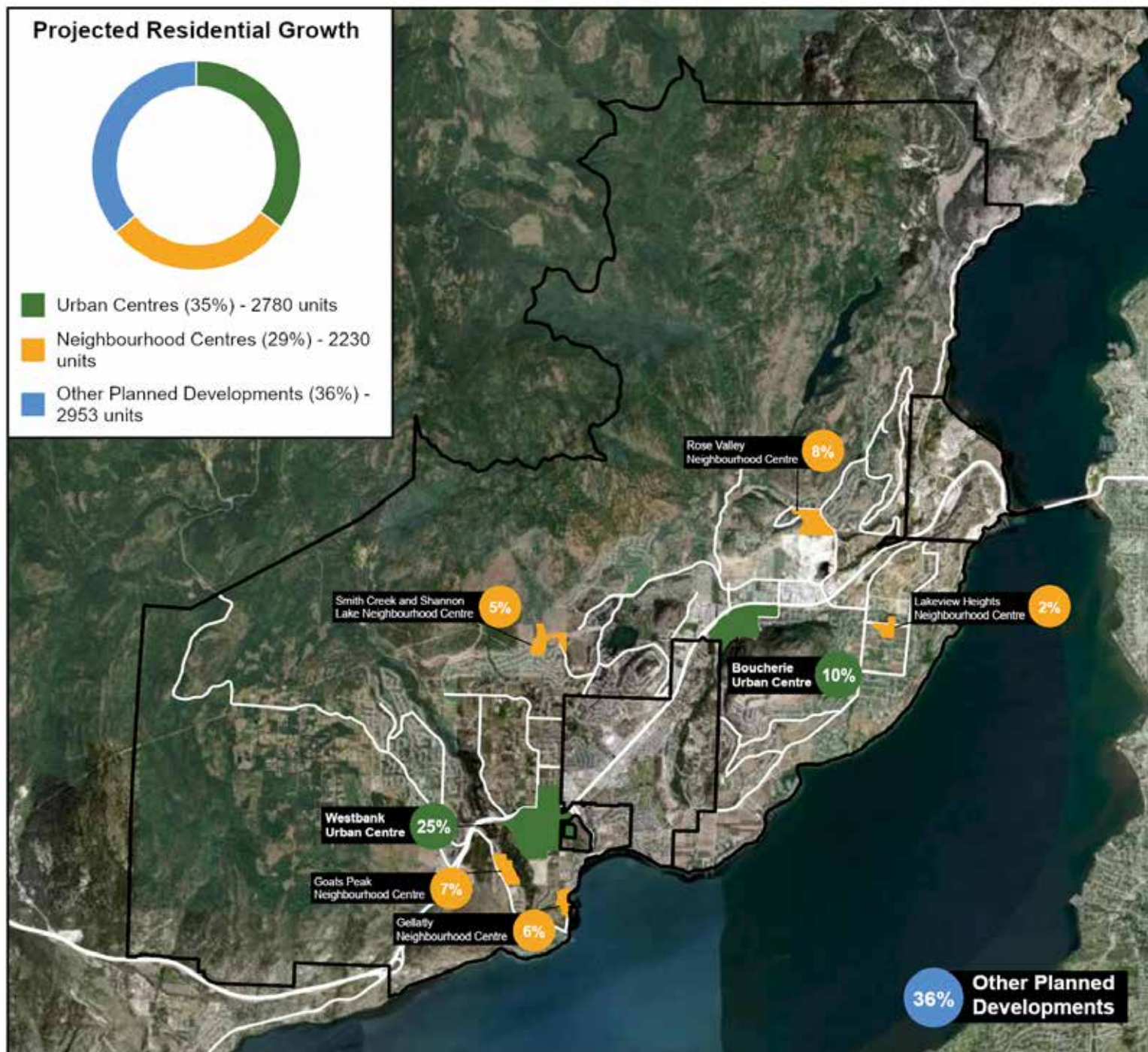
### West Kelowna Housing in the Future

West Kelowna is projected to meet at least 16% of Central Okanagan’s housing needs by 2036. Between 2021 and 2040, West Kelowna is projected to experience demand for approximately 5,383 additional dwelling units, or 299 new units per year. In 2021, there were 2,902 residential units in various stages of development in West Kelowna; accordingly, to meet projected demand at least 2,481 additional units should be provided.

If built on undeveloped land, approximately 56 to 81 hectares of land would be required to accommodate those 2,481 units, assuming a split of 54.6% single family homes, 31.6% apartments, and 13.8% duplexes, townhomes, and other attached housing types. Characterized by its hillsides, **steep slopes**, agricultural lands, and its proximity to Okanagan Lake, West Kelowna has many topographical and geographical constraints that makes development in the community limited. Accordingly, opportunities for redevelopment and **infill** can be used to satisfy growing housing demand in a variety of housing types and tenures. Furthermore, by focusing development in existing neighbourhoods, the cost of development and service demand can be more easily managed through focused areas of development. It is anticipated that while not a focal point for future development opportunity in the future, redevelopment and **infill** will play a critical role in satisfying the need for future projected population growth.

\* All housing data collected from the 2021 Colliers Real Estate Inventory and Growth Projections, and City of West Kelowna Housing Needs Assessment. Where available, data was updated to reflect the 2021 Federal Census using the methodology from Colliers reporting.





Map 1. Projected Residential Growth

## 20 Year Housing Distribution (Based on Growth Concept)

There are an estimated 13,975 households in West Kelowna, of which the average household size is 2.6 people, which is slightly higher than the provincial average of 2.4 people. Notably, 41% of total units are two-person households and 21% are single-person households. The majority of families are two persons, 56%, with only 19% of families being 3 person and 25% of 4 persons or more. This indicates that the majority of future homes should be built to accommodate families of 3 or less persons in order to meet demand.

Over the next 20 years West Kelowna is expected to provide an additional 5383 additional dwelling units by 2040. In determining the future housing demands and anticipated population growth in the future, a moderate growth model was used, which assumed a 2.6 person household size was used for new build or redevelopment. This household size is consistent with West Kelowna's Housing Needs Assessment. The model was used in conjunction with the land use plan to identify potential areas of growth, which include Westbank Urban Centre, Boucherie Urban Centre, and the five neighbourhood centres. Of all the anticipated future growth, 35% is expected to be in urban centres, 28% will be distributed through five neighbourhood centres, and the remaining development will be located in the Smith Creek and Goats Peak comprehensive development areas and through other planned development projects. The number of dwelling units that are planned for total 2,953, which is made up of a combination of single detached dwellings, low-rise apartments, townhomes, and duplex homes. Should these be completed, the City will require an additional 2,481 dwelling units. To achieve this growth, the land use map and a model were created to identify the required growth to meet anticipated housing and population demand in the future.

The model provided considers a moderate growth rate of 1.5% per year, which is over the projected 1.5% growth rate and the anticipated population projections from 2021 to 2050. While the growth rate used aligns with West Kelowna's Housing Needs Assessment, a more aggressive growth model could be used to achieve a population growth rate of 2.1%. In both instances the models (moderate or aggressive) do not account for possible **infill** and redevelopment growth, which may permit a range of low density residential options, including single detached, carriage house, secondary suite, and duplex dwellings. By overplanning anticipated growth, the City may be better positioned for future housing demand and may improve housing diversity and attainability for residents in the future. It is difficult to determine how much **infill** may be completed, but based on ongoing community interest, there is reason to believe that this will continue in years ahead. The 2040 OCP does not introduce any new suburban neighbourhoods to ensure future growth is concentrated in areas that are already serviceable, and integrated within established or planned neighbourhoods.

Projected Future Housing Typology Mix

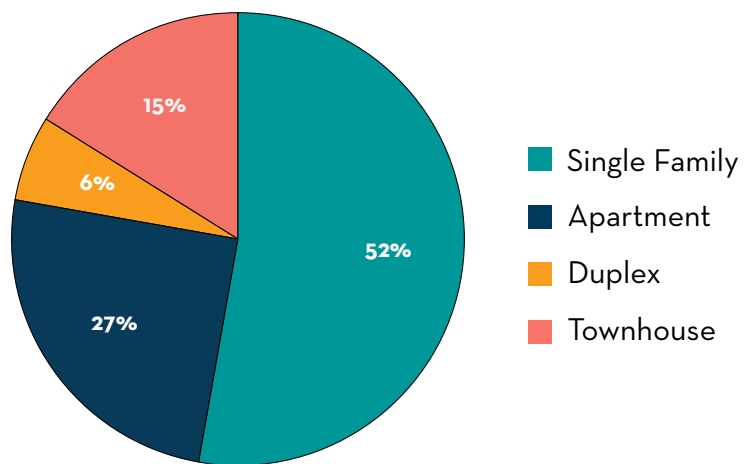


Figure 6. Anticipated Housing Mix Proportion by Typology (based on Growth Concept)







Overall, the land use, servicing and financial plans reflect a distribution of projected housing units to 2040 based on the growth concept identified in Phase 3 of the project. The anticipated housing distribution below were used to establish long-term servicing requirements as well as key projects for the City’s Transportation Master Plan. These targets have also informed the land use designations and policies to ensure alignment with planning policy in the OCP. The unit targets, provided in Table 2, will need to be monitored to inform key decisions as some areas will achieve their growth targets sooner than others.

Anticipated Housing Distribution		
Location	Number of Dwellings	Number of People
Urban Centres	2780	8266
Westbank Urban Centre	1989	5172
Mixed Use Corridor	447	1161
Commercial Core	353	917
Residential Shoulder	1190	3094
Boucherie Urban Centre	791	2057
Neighbourhood Centres	2230	5797
Goats Peak	530	1377
Gellatly	499	1298
Smith Creek / Shannon Lake	415	1080
Rose Valley	606	1576
Lakeview Heights	179*	466
Future Planned Development	2953	7678
<b>Total</b>	<b>7962</b>	<b>20703</b>

Table 2. Anticipated Housing Distribution

\* Does not include the approximately 300 units already planned in Lakeview Heights.

## West Kelowna Housing Trends

**Affordability:** Like many areas of BC, the housing prices in the Central Okanagan area are increasing rapidly. Between 2013 and 2021, the price of housing increased by 56% for single-family homes, 61% for townhouses, and 49% for apartments. However, the 2021 Census states that 21.6% of West Kelowna's population spent over 30% of its income on shelter costs, which is less than the British Columbia proportion of 25.4%.

Maintaining adequate housing supply in the face of West Kelowna's growing population is a key component of housing attainability and affordability, as supply shortfalls can result in upward pressure on housing costs.

**Smaller Units:** In recent years, supply and demand of new units have increasingly favoured apartments, townhomes, duplexes and units smaller than single-detached houses. Since 2017, the proportion of new unit construction that are apartments has been increasing. In 2018 new apartment unit construction outnumbered new single-detached home construction for the first time. Demand for apartments is expected to continue to rise leading up to 2040, and the demand for single-detached units is anticipated to fall. However, it is anticipated that single-detached homes will still be the most desired housing type in 2040.

**Secondary Dwellings:** The West Kelowna Housing Needs Assessment identified an issue in the supply of secondary suites. While there has been an increase in supply of such units, some are used for short-term rentals (e.g., vacation rentals), and other units aid the long-term rental market. With a significant portion of the renter population living in secondary suites and the secondary rental market (suites and carriage houses), short term rental units may remove housing from the general rental housing stock and reduce overall supply of available rental housing in the city. In 2022, building permit data indicated that single-detached homes with suites were on track to outnumber stand alone single-detached homes. Suites and carriage homes will continue to be an important element in supporting a variety of housing options in West Kelowna.

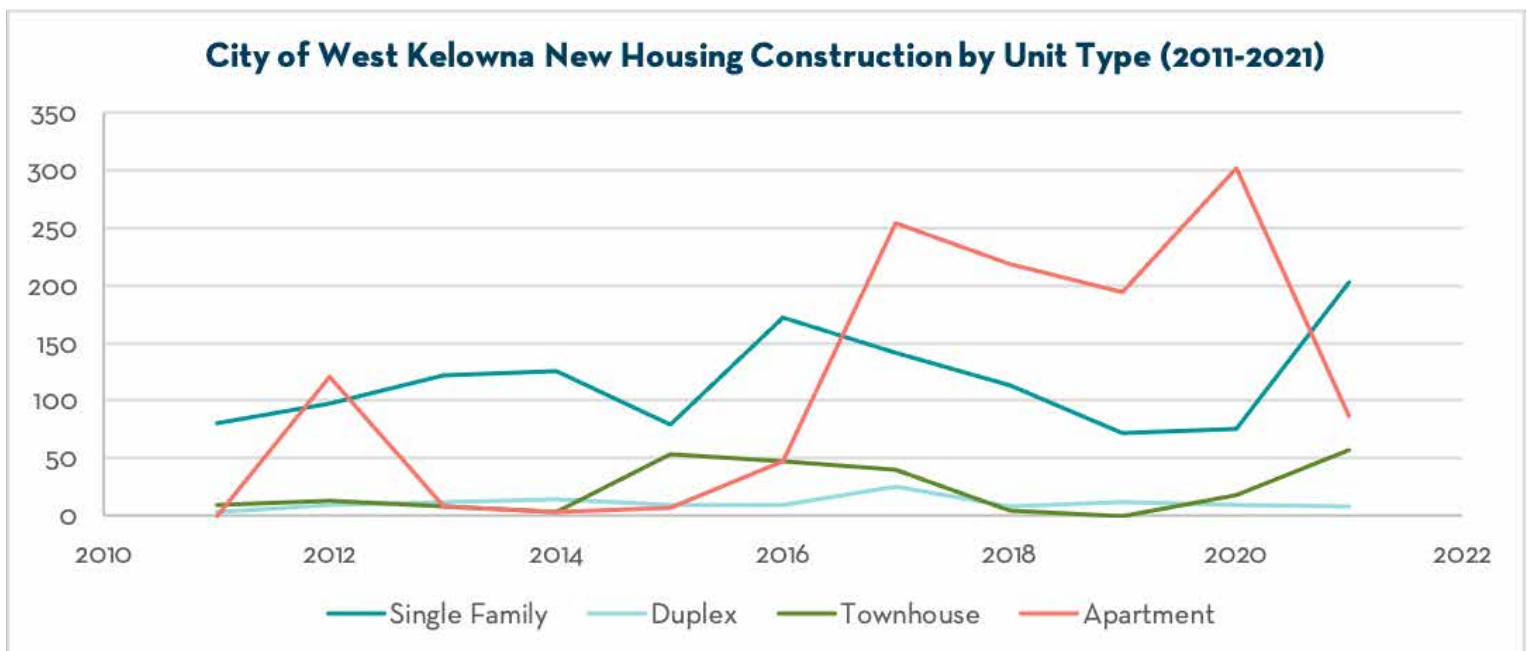


Figure 7. New Housing Construction by Unit Type (2011-2021)

## OUR ECONOMY

West Kelowna's working age population in 2021 was 30,205, with 18,975 of those participating in the labour force (63% of the total working population). As West Kelowna grows, so will its labour force. It is estimated that the labour force will increase to 22,246 in 2030, and 25,583 by 2040.

Attracting, retaining, and expanding businesses that create meaningful jobs close to home is a key direction of the #OurWK Community Vision. As we grow, it is important that we plan for the spaces and conditions that support attractive employment opportunities for residents. Our estimated demand for retail, office, and industrial space is discussed below.



## Retail

The rapid adoption of online shopping and delivery services is continuing to change the retail market. Currently, West Kelowna's retail supply must be considered alongside the retail supply within the Westbank First Nation Lands, as both serve the same populations.

According to the Colliers Real Estate Inventory and Growth Projections report from 2021, it was estimated that West Kelowna and Westbank First Nation have a combined total of 147,716 square metres of retail space, and a vacancy rate of 6.5%, representing a healthy retail market. Westbank First Nation Land contains 64% of this retail space, which holds the majority of the big box stores. Smaller-scale retailers are more concentrated in West Kelowna, particularly in the Westbank Centre. While opportunities for big box retail are limited in West Kelowna, there is an opportunity to develop lifestyle and experience-oriented retail nodes. These often take the form of blocks of small, street-orientated shops.

## Introducing small-scale Retail in Neighbourhoods

West Kelowna is estimated to see a demand for an additional 10,219 square metres of retail space by 2030, and 30,379 square metres by 2040. As West Kelowna's population continues to grow, and communities densify, opportunities begin to emerge to introduce small-scale commercial centres in neighbourhoods other than Westbank Centre. These types of uses can support the daily needs of residents within walking distance, reducing dependence on the automobile and enriching the neighbourhood experience.

## Mixed-Use Development

West Kelowna's developable land is limited by topography and agricultural uses. Providing more opportunities for mixed-use development that combines commercial, office, entertainment, and residential in the same building is a way to supply West Kelowna with more retail space, while conserving land for other uses.

## Office

The rise in working remotely has softened the demand for office space in many jurisdictions across the country. West Kelowna currently has 33,972 square metres of office space with a vacancy rate of 5.9%. This market is relatively small, with ambulatory healthcare services, professional services, and public administration being the largest occupiers.

West Kelowna is estimated to see demand for 8,826 square metres of additional office space by 2030, and 14,493 square metres by 2040.



## Industrial

West Kelowna is located between the two major centres of Vancouver and Calgary. Convenient transportation access via the Highway 97 Connector provides efficient connection to the Lower Mainland while access to Highway 97 connects West Kelowna to other locations to the north, east and south. In addition to convenient transportation connections, a growing skilled labour pool positions West Kelowna as an ideal location for industrial businesses. In 2021, the City of West Kelowna had approximately 61.3 hectares of occupied industrially zoned land, with 21.4 hectares of available floor space, which is at a 3.1% vacancy rate. Wholesale trade, repair and maintenance, manufacturing, and storage uses are the largest occupiers of this space.

It is projected that West Kelowna will experience demand for 146 acres of additional industrial land by 2030, and 228 acres by 2040. Assuming 50% of this land is suitable for industrial development (if vacant) or intensification (if underutilized), the City would require an additional 52 acres of industrial land by 2030 and 134 acres by 2040. West Kelowna's most recent Vacant and Underutilized Lands Inventory from 2017 found a total of 75.7 hectares (185 acres) of vacant or underutilized industrially zoned land, highlighting the need to designate more.

<b>City of West Kelowna Industrial Demand Projections (2021-2040)</b>			
Statistic	2021	2030	2040
Total Working Age Population	29,875	35,657	42,642
In the Labour Force	18,975	22,246	25,583
Employed	17,545	20,745	24,272
Unemployed	1,430	1,470	1,287
Participation Rate	63.5%	62%	60%
Employment Rate	59%	59%	57%
Unemployment Rate	8%	5%	5%
Industrial Employment Rate (%)	37%	37%	37%
Industrial Employment Total <sup>1</sup>	6,491	7,676	8,981
Industrial Employment Per Acre <sup>2</sup>	12.17	12.17	12.17
Projected Industrial Land Requirements (acres)	573	621	727
Additional Industrial Floorspace Requirements (acres)		146	228
Vacant and Underutilized Industrial Land (acres) <sup>3</sup>	185	94	94
Estimated Additional Industrial Land Requirements (acres)		52	134

**Table 3. City of West Kelowna Industrial Demand Projections (2021-2040)**

1) 100% of the City's industrial based industries, 20% of population-based industries, and 10% of primary industries

2) Estimate of industrial-related employees per acre of industrial designated land

3) Assumes 50% of vacant or underutilized industrial zoned land is suitable for industrial redevelopment without any significant constraints

\*Information in this table was updated as per the 2021 Federal Census where possible and using the same methodology from the Real Estate Inventory and Growth Projections (2021) report from Colliers. Additional Industrial Floorspace Requirements, Vacant and Underutilized Industrial Land and Estimated Additional Industrial Land Requirements were not updated.

## 1.6 LAND AS A FRAMEWORK FOR GROWTH

### 1.6.1 Growth Strategy

West Kelowna is a growing city. By 2040, we expect over 12,000 new residents, representing an increase of over 33%. This growth is an opportunity to help transform our City and create a healthy, economically sustainable and thriving community. The OCP and its land use designations intentionally direct residential, commercial, and industrial growth in key areas to set up a framework for future development (see map 2 Growth Concept).

By focusing future growth and increased density in strategic areas contained within the **Growth Boundary**, this plan will enable the city to manage development sustainably while bringing life to the community's vision for a vibrant, walkable and connected West Kelowna. Using the OCP and following the direction of the growth strategy will be key to ensuring the City achieves the objectives outlined in the #OurWK Community Vision.

### Overview

To accommodate our growth, we are concentrating on new development in two **Urban Centres**, five **Neighbourhood Centres** and the **Industrial and Business Park** area.

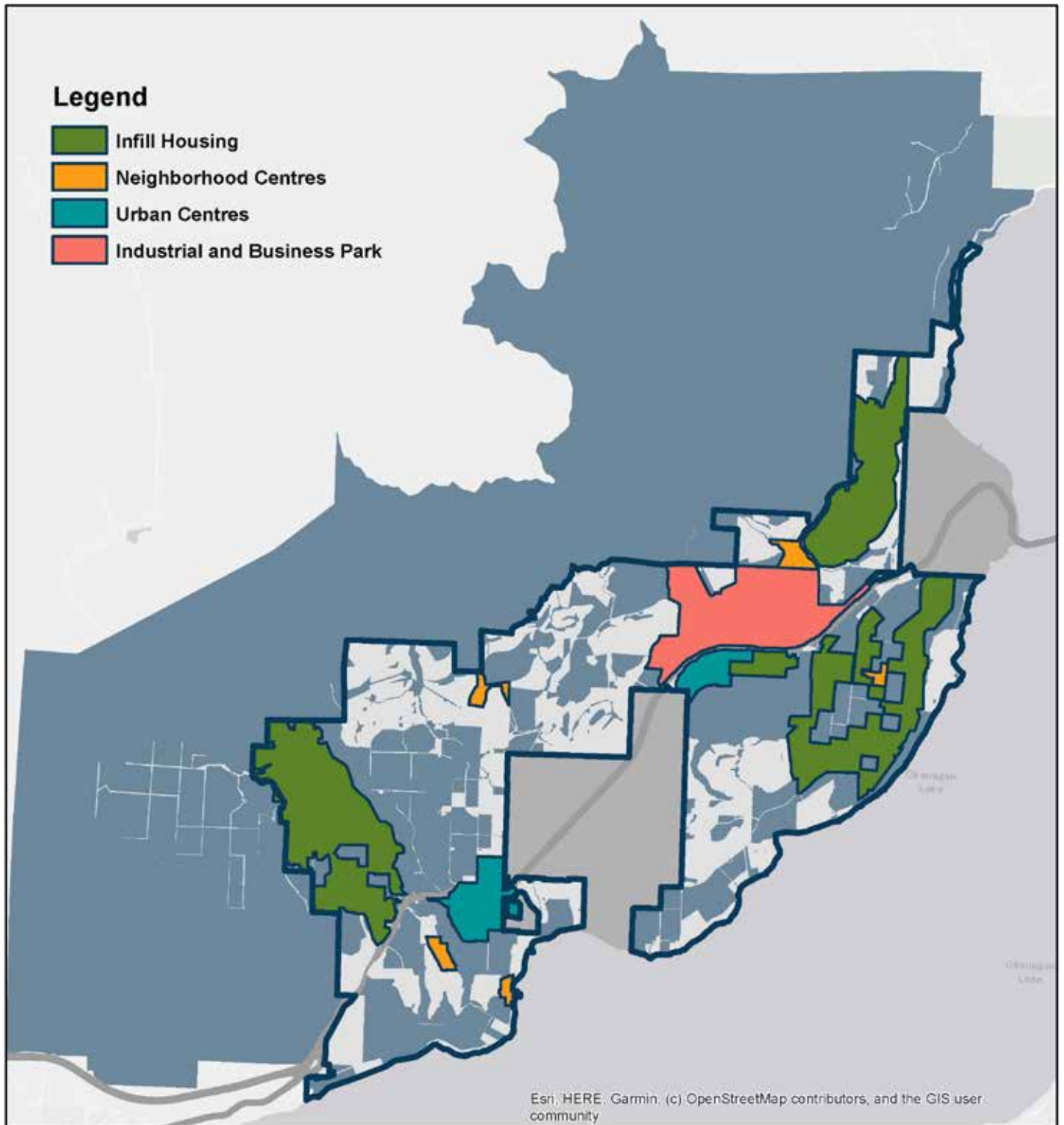
Additionally, we are promoting **infill** housing development – a sensitive form of new construction that will enable more people to live, work and take advantage of services in existing neighbourhoods – to encourage a balanced and sustainable quality of life in locations throughout the community. Overall, the growth strategy projection exceeds the current estimated target population in 2040, with the goal of increasing our community's flexibility and capacity to absorb growth, and broadening housing attainability across West Kelowna.

#### *What is density?*

*Density speaks to the amount of activity within a specific area. More dense areas feature buildings that are taller or cover more of their land and hold more households and jobs than less dense areas.*







**Map 2. Growth Concept - Vibrant Centres and Complete Neighbourhoods**

# HOW DOES DENSITY IMPACT COMMUNITIES?

The concentration of activity, people, jobs and services has a direct impact on livability, accessibility and the economic, social and environmental sustainability of a given area.



## High Density Areas

Feature larger buildings that contain a higher intensity of uses such as households, offices, and retail space than lower density areas. Because there is a higher concentration of people in high density areas, these areas tend to better support public transit, a variety of employment, shopping, and other amenities. Higher density areas generally have a smaller environmental footprint per person.

Along with taller or larger buildings, higher density areas often have less space between buildings and less private outdoor space per household.



## Medium Density Areas

Feature low- to mid-rise buildings that may include a mix of uses including multi-unit residential, retail or office. Such areas can offer services for residential populations and support public transit and walkability at a **human scale**. Buildings may be represented in a variety of forms and styles, and often engage directly with the street at the ground level.



## Low Density Areas

Feature smaller buildings that are typically limited to a single household or commercial use. As there is a lower concentration of people, it is more difficult to support frequent transit service, a variety of employment, shopping and other amenities in low density areas. Lower density areas generally have a larger environmental footprint per person.

Low density areas also have more space between buildings, and often more private outdoor space for households.

Figure 8. Urban Densities

# GROWTH CONCEPT AREAS

## Urban Centres – Mixed Use City Centres

The two **Urban Centres** of this Land Use Plan are Westbank and Boucherie **Urban Centres**. These two Centres, each within immediate proximity to Highway 97, are well-positioned to welcome new residential development, commercial services, community and civic amenities, and the infrastructure to support this growth. The **Urban Centres** will not only serve the many residents in these areas, but also provide a range of services and amenities to the wider community.

## Neighbourhood Centres - Complete Neighbourhoods

Complementing the two **Urban Centres** are five **Neighbourhood Centres** located throughout West Kelowna, addressing gaps within our community. While not as dense as the **Urban Centres**, these areas will see a range of higher density housing and commercial development, providing destinations and services to the surrounding neighbourhoods. These Centres will provide more walkable and bikeable destinations, increase housing diversity and facilitate more convenient access to local services for areas on the periphery of the larger **Urban Centres**.

The five **Neighbourhood Centres** include:

- Rose Valley
- Smith Creek and Shannon Lake
- Lakeview Heights
- Gellatly
- Goats Peak

## Industrial and Business Park - An Economic Core

West Kelowna has a healthy demand for new industrial and commercial sites. The **Industrial and Business Park** and its employment lands are well positioned along Highway 97 to support the city and the Greater Westside, including Westbank First Nation lands. The OCP recognizes the significance of this area as an employment and economic core, and sets out to strengthen this function as the city continues to grow.

The **Industrial and Business Park** growth concept area is anchored by many existing employment uses including aggregates, agriculture, aerospace, manufacturing and general industry. Future development will look to build on and diversify existing industries to create resilience and adapt to shifting economic landscapes. Future uses within this area may include offices, studios, laboratories, manufacturing and processing, and technology. Additionally, this plan encourages opportunities to expand the Business Park area and strengthen the presence of industrial uses in West Kelowna.

## Infill Housing – Enhancing Our Unique Neighbourhoods

As West Kelowna grows, we should continue to celebrate and support the evolution of our existing neighbourhoods. Part of accommodating our future growth will include integrating additional housing in our established neighbourhoods. **Infill** housing forms and densities can vary widely, from carriage house and secondary suite construction, to zoning amendments for smaller lot sizes. When constructed in a sensitive manner, **infill** development can be seamless, while making efficient use of existing service investments and enriching our neighbourhoods. Infill housing is primarily addressed through policy within the OCP to address housing diversity and attainability. While infill development areas outlined in the Growth Concept identify areas of highest infill potential, policies in this OCP will allow for consideration of infill development in existing low density residential areas in the form of single detached dwellings, secondary suites, carriage houses, smaller lot sizes and duplexes.





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# LAND USE DESIGNATIONS

2





## 2.1 LAND USE DESIGNATIONS

The Land Use Designations identified in this OCP determine the range of uses and densities permitted within each category. The designations are general in nature and direct future land use in the City by guiding planning applications and decisions. The General Land Use Summary (Table 4) on the next page provides a quick overview of all designations in the city along with the general intent and characteristics of each. For the full details and policies applying to each land use designation, refer to the individual sections beginning after Table 2.

While the OCP designations identify what is generally supportable from a land use perspective, the City's Zoning Bylaw identifies what is permitted on a site-specific basis. All applications to amend the City's Zoning Bylaw must be consistent with the Land Use Designations identified in the OCP.

### *The Zoning Bylaw will:*

- *Regulate the types of uses and densities that are permissible for specific properties. Additionally, the Zoning Bylaw will include regulations that define permitted height, setbacks, lot coverage, parking requirements, and other site characteristics.*
- *Include regulations to ensure that the intensity of development is appropriate for individual sites.*
- *Be applied to ensure an intensity of development that is appropriate for the neighbourhood context, utilizing standards for such characteristics as building height, floor area ratio (FAR), gross floor area (GFA), lot coverage, lot frontage, parking, and building setbacks.*

### 2.1 General Land Use Policies

The General Land Use Policies apply to all Land Use Designations in West Kelowna, and therefore cover the entire West Kelowna area.

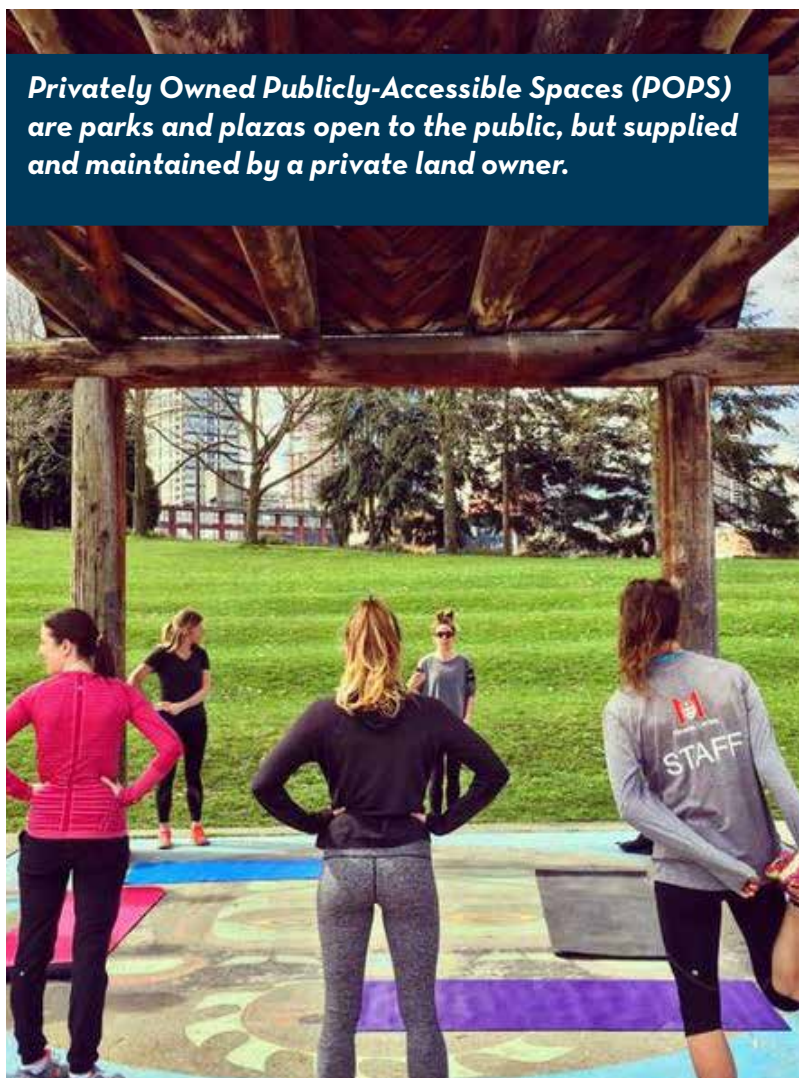
1. The housing forms and associated densities outlined in the Land Use Designations are not necessarily achievable in all areas. Consideration should be given to surrounding context, optimizing infrastructure capacities, and being in accordance with applicable urban design and development guidelines.
2. Parks, public open spaces, pathways, community gardens and other recreation uses that do not result in significant increases in traffic, parking demand or noise, while promoting community wellbeing are permitted in all land use designations.
3. New development must be appropriate and sensitive to the surrounding context including land use, form and character of the area, and must promote a highly walkable, accessible, and desirable environment for residents and visitors alike.
4. Where higher density is proposed within the City that affects existing rental properties, special consideration should be given to the displacement of existing residents with a priority to include purpose built rentals within new developments.
5. **Green building** strategies will be encouraged for all development to reduce the usage and waste of water and energy resources, and to reduce **greenhouse gas (GHG)** emissions.
6. New development will identify existing mature trees during early site design where preservation is possible and encouraged, as well as incorporating the planting of new trees on private lands, integrating low impact development standards where possible.
7. New development will promote design that incorporates the principles of **Crime Prevention Through Environmental Design (CPTED)**.
8. New development will promote design that incorporates FireSmart Principles to mitigate the negative impacts of wildfire, where possible.
9. **Privately owned publicly-accessible spaces (POPS)**, as well as extensive pedestrian connections, will be encouraged through new development within Urban and Neighbourhood Centres, to enhance the **public realm** and provide additional amenities.
10. Childcare space, as a community service, will be supported in all



land use designations except Agricultural, Industrial, and Resource Lands, where parking demand, traffic and noise impacts have been considered.

11. **Agricultural Land Reserve (ALR)** exclusion applications will generally not be supported, except at the discretion of the City consideration may be given to specific circumstances where there is significant community benefit consistent with the objectives and policies of the OCP and Community Vision. This may include the consideration of key transportation and infrastructure corridors with noted significant deficiencies affected by lands within the **ALR**, and existing City owned lands historically and currently operated as parks within the **ALR**.
12. Discourage plantings that may harbour diseases and insects that affect commercial agricultural operations through the administration of applicable Development Permit Guidelines and other regulation, such as the RDCO Sterile Insect Release Program and Noxious Weed Control Bylaws.
13. New commercial land uses involving drive-through facilities will be discouraged, especially in identified Urban and Neighbourhood Centres.
14. Notwithstanding any designated land use, support and maintain community uses on City-owned properties in accordance with existing agreements, while providing additional opportunity to meet broader City objectives where possible.
15. Prior to the consideration of amendments to OCP Land Use Designations or to the City's Zoning Bylaw, the City may require preparation of an Area Plan or Comprehensive Development Plan (See Section 5.4 for additional detail).

***Privately Owned Publicly-Accessible Spaces (POPS)***  
***are parks and plazas open to the public, but supplied***  
***and maintained by a private land owner.***



## 2.2 LAND USE DESIGNATIONS SUMMARY

The following table provides a high-level summary of the different land use designations in West Kelowna. Full descriptions of each designation can be found later in this section.

With regard to the land use designations identified in this plan, building height is generally defined as follows:

- Low-rise: 1-3 Storeys
- Mid-rise: 4-6 Storeys
- High-rise: 7-12 storeys

*\*Building height will ultimately be determined on a site-specific basis through the applicable Zoning Bylaw or as otherwise guided by City policy.*

With regard to the intensity of land use identified in this plan, development density is generally defined as follows:

- Low density features smaller buildings more typically limited to single households or single uses
- Medium density features low to mid-rise buildings that may include a mix of uses, forms and styles
- High density features larger (taller and higher) buildings with a higher intensity of use and a concentration of people

*\*Maximum Density within a Land Use Designation is defined by this plan, but may be further regulated on a site-specific basis through the applicable Zoning Bylaw up to the identified maximum.*

### What are building typologies?

*Building typology refers to a specific type of building with similarities in function or form. Types of buildings can range from a single-detached house to a multi-unit high-rise, as well as commercial, industrial or other building types.*

### How is density measured?

*Density is often measured by a calculation of how many units or buildings that occur within a specified area, or by a floor area ratio (FAR) which refers to the ratio of a building's total floor area to the size of the piece of land on which it is built. The City uses both forms of density regulation.*

LAND USE DESIGNATION SUMMARY			
DESIGNATION	PURPOSE	USES	BUILDING HEIGHT
• Westbank Urban Centre - Mixed-Use Corridor (Area A)	• To promote a high-density downtown core with a mix of residential, commercial/retail and office uses, with integrated open space and public amenities.	• Mixed-use buildings • Institutional, and ancillary housing initiatives • Live-work units	• High-rise
• Westbank Urban Centre - Commercial Core (Area B)	• To promote a high-density district with a high concentration of commercial and office uses, while allowing for some mixed-use residential and public and private amenities.	• Commercial, including office and retail • Mixed-use buildings • Institutional, and ancillary housing initiatives • Live-work units	• Mid-rise to high-rise
• Westbank Urban Centre - Residential Shoulders (Area C)	• To promote a medium-density residential area that transitions the downtown Westbank Centre to the surrounding neighbourhoods. The primary focus is on residential uses, while allowing for some retail/services, public or private amenities and some community uses.	• Multi-unit housing • Mixed-use buildings • Townhouses (located at grade or in podium levels) • Commercial (located at grade or in podium levels) • Institutional (located at grade or in podium levels), and ancillary housing initiatives • Live-work units	• Mid-rise with potential low-rise at the edges • High-rise may be considered for properties fronting the extension of Elliott Road at the southernmost end of the Residential Shoulder

Table 4. General Land Use Summary Table

LAND USE DESIGNATION SUMMARY			
DESIGNATION	PURPOSE	USES	BUILDING HEIGHT
• Boucherie Urban Centre	• To promote a second urban centre that focuses on a mix of residential, commercial/retail, and office uses, while providing generous open space and public amenities.	• Mixed-use buildings • Commercial, including office and retail • Multi-unit housing • Townhouses • Institutional, and ancillary housing initiatives • Live-work units	• Mid-rise
• Neighbourhood Centre	• To promote smaller centres in various neighbourhoods in West Kelowna, allowing for diverse types of housing, retail/services, and some office uses, as well as open space amenities.	• Small-scale commercial uses • Institutional, and ancillary housing initiatives • Mixed-use buildings • Multi-unit housing • Townhouses • Live-work units (grade-related)	• Low-rise to mid-rise
• Medium Density Residential	• To allow for low-rise housing forms including townhouses up to three storeys and multi-unit buildings (greater than three units) up to four storeys.	• Townhouses • Duplexes • Multi-unit housing	• Low-rise (townhouses/duplex) • Multi-unit housing up to 4 storeys
• Low Density Residential	• To allow for a variety of low-rise residential uses that are limited to 1-2 units.	• Single-detached dwellings, including secondary suites, carriage houses and clustered housing • Duplexes	• Low-rise
• Commercial	• To allow for a variety of commercial and mixed uses including retail/services, office, and residential in low- and mid-rise forms.	• Commercial, including office, retail, and services • Mixed-use buildings • Institutional • Live-work units (grade-related)	• Low-rise to mid-rise
• Industrial	• To maintain and reinforce industrial lands to allow for a variety of primary industrial uses including aerospace, aggregate processing, agricultural supply, distribution, general and/or heavy industry, manufacturing, research and technology, warehousing/storage, and directly related services in low-rise buildings. May include some secondary uses such as offices and show rooms where directly related to a primary use.	• Industrial (focus on primary use) • Ancillary commercial/office/retail, where directly related to or to support the primary Industrial use • Ancillary caretaker unit	• Low-rise

Table 5. General Land Use Summary Table Continued



LAND USE DESIGNATION SUMMARY			
DESIGNATION	PURPOSE	USES	BUILDING HEIGHT
<ul style="list-style-type: none"> <li>• Business Park</li> </ul>	<ul style="list-style-type: none"> <li>• To allow a diversity of employment uses with potential impacts more appropriate to a Business Park context such as equipment sales, light production/ manufacturing, offices, show rooms, and warehousing/ storage. This includes exploring opportunities to accommodate new and emerging employment types, which may include research and technology/ biotechnology laboratories, media production and studios (film/television/news). Ancillary light Industrial uses may be permitted where appropriate and impacts to adjacent properties can be mitigated..</li> </ul>	<ul style="list-style-type: none"> <li>• Commercial/Retail/ Research/Technology/ Biotechnology appropriate to a Business Park or where supporting adjacent Industrial uses</li> <li>• Limited ancillary Commercial (convenience retail and restaurants), serving the needs of local employees where appropriate</li> <li>• Secondary uses may include limited light industrial, where appropriate</li> <li>• Ancillary caretaker unit</li> </ul>	<ul style="list-style-type: none"> <li>• Low-rise</li> </ul>
<ul style="list-style-type: none"> <li>• Educational/ Institutional</li> </ul>	<ul style="list-style-type: none"> <li>• To provide suitable areas for schools, government buildings and other institutions in buildings ranging from low to mid-rise heights. May include ancillary supportive housing, where appropriate.</li> </ul>	<ul style="list-style-type: none"> <li>• Institutional</li> <li>• Educational</li> <li>• Ancillary housing initiatives</li> <li>• Parks and open space</li> <li>• Related recreational uses</li> </ul>	<ul style="list-style-type: none"> <li>• Low-rise to mid-rise</li> </ul>
<ul style="list-style-type: none"> <li>• Tourist Commercial</li> </ul>	<ul style="list-style-type: none"> <li>• To foster local economic development, provide a <b>sense of place</b>, and opportunities for public spaces and community and tourist accommodation, services and amenities.</li> </ul>	<ul style="list-style-type: none"> <li>• Hotel and resort accommodation, services, and amenities, including commercial and residential uses associated with tourism</li> </ul>	<ul style="list-style-type: none"> <li>• Low-rise to mid-rise, with consideration for high-rise with extraordinary community benefit in appropriate locations for hotel use</li> </ul>
<ul style="list-style-type: none"> <li>• Rural Residential</li> </ul>	<ul style="list-style-type: none"> <li>• To support agricultural production, other land intensive uses and home based business consistent with rural lands, as well as residential use</li> </ul>	<ul style="list-style-type: none"> <li>• Single-detached dwellings, including secondary suites and carriage houses</li> <li>• Agriculture (non-intensive) and home industry uses</li> </ul>	<ul style="list-style-type: none"> <li>• Low-rise</li> </ul>
<ul style="list-style-type: none"> <li>• Resource Land</li> </ul>	<ul style="list-style-type: none"> <li>• To designate lands for resource extraction, forestry and agriculture, with interim or post-extraction use as parks and open space.</li> </ul>	<ul style="list-style-type: none"> <li>• Natural resource extraction and forestry</li> <li>• Recreation</li> <li>• Agricultural uses</li> <li>• Parks and open space</li> </ul>	<ul style="list-style-type: none"> <li>• Low-rise</li> </ul>
<ul style="list-style-type: none"> <li>• Agriculture</li> </ul>	<ul style="list-style-type: none"> <li>• To encourage diverse, prosperous, and adaptable agricultural uses.</li> </ul>	<ul style="list-style-type: none"> <li>• Agricultural uses</li> <li>• Residential (principal and secondary farm dwellings)</li> <li>• Ancillary agricultural retail</li> </ul>	<ul style="list-style-type: none"> <li>• Low-rise</li> </ul>

LAND USE DESIGNATION SUMMARY			
DESIGNATION	PURPOSE	USES	BUILDING HEIGHT
<ul style="list-style-type: none"> <li>Natural Areas and Public Parks</li> </ul>	<ul style="list-style-type: none"> <li>To provide suitable land for environmental conservation and public recreation.</li> </ul>	<ul style="list-style-type: none"> <li>Publicly accessible greenspace/parks</li> <li>Protected natural areas and privately held greenspace</li> <li>Low impact recreation</li> </ul>	<ul style="list-style-type: none"> <li>Low-rise (structures permitted only within government-owned parks)</li> </ul>
<ul style="list-style-type: none"> <li>Comprehensive Development Area</li> </ul>	<ul style="list-style-type: none"> <li>To align development opportunities with the City's Land Use Analysis and Growth Concept; and to protect visually prominent, hillside, and environmentally sensitive areas.</li> </ul>	<ul style="list-style-type: none"> <li>Pending further study</li> </ul>	<ul style="list-style-type: none"> <li>Pending further study</li> </ul>

**Table 6. General Land Use Summary Table Continued**

The following section provides more detailed description of the specific **Land Use Designations**, including their objectives, policies, permitted uses, density and appropriate building types. The descriptions in this section should be read in conjunction with the Land Use Designation Map to determine where specific designations and policies apply across the city. More detailed and site-specific land use and built form regulations can be found in the City's Zoning Bylaw, which responds to the higher-level direction of these Land Use Designations.



## 2.3 WESTBANK URBAN CENTRE - MIXED-USE CORRIDOR (AREA A)

The Westbank Urban Centre – Mixed Use Corridor land use designation applies to a specific sub-area within the Westbank Urban Centre, generally the lands located directly east and west of Brown Road between Gossett Road and Ingram Road.

The designation is intended to promote a high density, mixed-use precinct that encourages a walkable, pedestrian- scale experience through thoughtful urban design and active street-oriented uses. A high density of residential and office use in this area will support a successful and attractive **public realm**. This designation supports development with public-facing uses such as retail, hospitality and entertainment at the ground level, with more private uses such as office and residential on the upper storeys.

USES	MAXIMUM DENSITY	BUILDING HEIGHT
<ul style="list-style-type: none"><li>• Mixed-use buildings</li><li>• Institutional, and ancillary housing initiatives</li><li>• Live-work units</li><li>• Parks and open space, and pedestrian connections</li></ul>	<ul style="list-style-type: none"><li>• Up to 3.5 <b>Floor Area Ratio (FAR)</b> or as guided by policy</li></ul>	<ul style="list-style-type: none"><li>• High-rise</li></ul>

### 2.3.1 Objectives

1. To provide convenient access to services that meet the needs of residents for employment, shopping and amenities in the Mixed-Use Corridor by encouraging densities necessary to support a well-connected, walkable area and public transportation.
2. To provide a centralized service centre that meets a range of community needs and which is conveniently accessible for the whole city.
3. To encourage purpose-built rental and new multi-unit housing in the Mixed-Use Corridor.
4. To have Brown Road develop into a **high street**, thereby being the most prominent area for a mix of activities with street fronting commercial uses.
5. To secure and develop high-quality park and plaza space in Westbank Urban Centre.

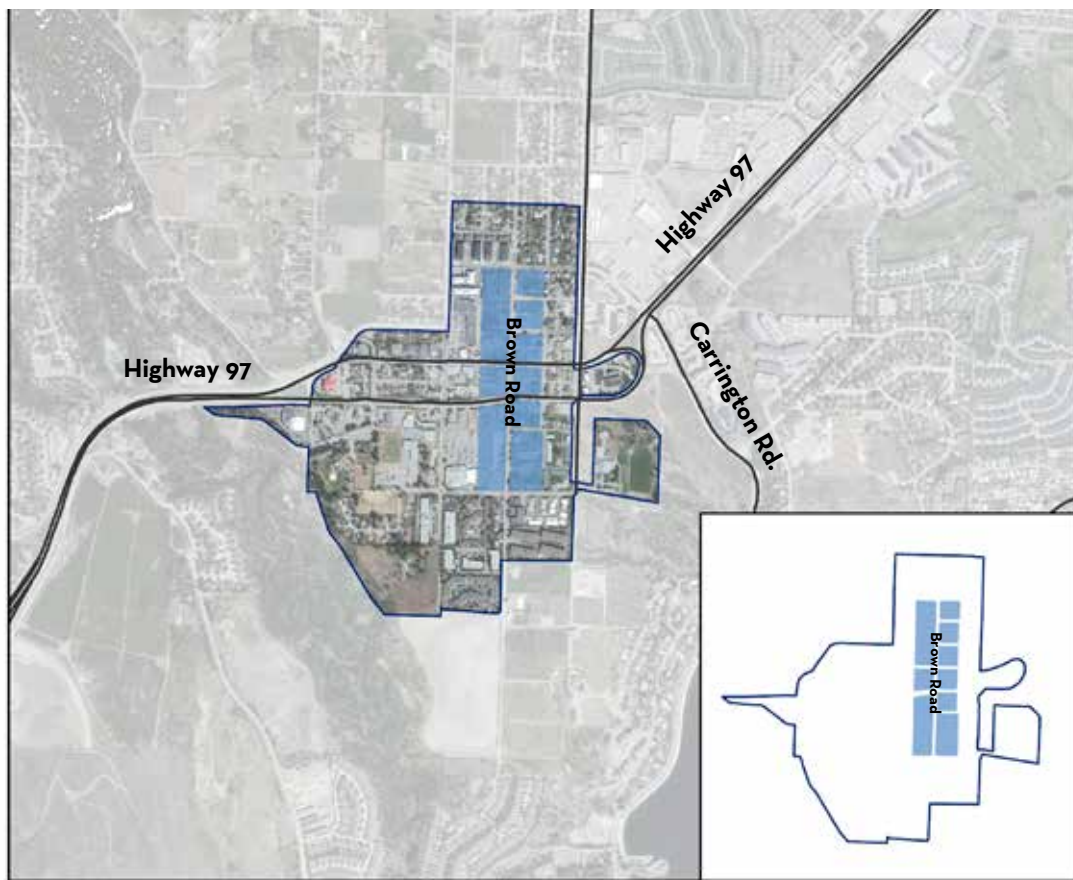
#### What does "mixed-use" mean?

*Mixed use refers to buildings that allow for more than one purpose. These buildings commonly consist of mid-rise or high-rise buildings with retail or commercial uses on the lower floors, and residential uses above.*

### 2.3.2 Policies

1. With the exception of Institutional uses, only mixed-use, mid- to high-rise development containing ground level commercial or office, which may include residential or hotel uses above, shall be permitted in the Mixed-Use Corridor. While permitted at the ground level, office use is encouraged to be located above ground level to ensure an activated street corridor.
2. All development should design the building mass, form and details to create an interesting and pedestrian-oriented environment at the street level that is focused on active uses.
3. Densities greater than 3.5 **FAR** and/or building heights above 12 storeys may be considered, where appropriate and if impacts to adjacent properties are sufficiently minimized, to promote transit-supportive development and/or specific community benefits including **affordable housing** units, childcare and recreation facilities, and others at the City's discretion. Shadow and view impacts to adjacent properties must be mitigated to the satisfaction of the City.





**Figure 9. Westbank Urban Centre - Mixed-Use Corridor**

4. Where Council is considering additional densities and heights for developments including an extraordinary community benefit, public consultation will be required despite any ability to waive public hearings under the *Local Government Act*.
5. Provide a variety of housing layout, bedroom configuration, and types of tenure within mixed-use buildings with residential development.
6. Incorporate transit-oriented and active transportation design elements.
7. Mixed-use development should create an appropriate transition from less intense to more intense land uses.
8. Support a mix of uses that encourage both daytime and evening activity.
9. Consider the protection of views to Okanagan Lake and Mount Boucherie through any potential zoning amendment as applicable, and through building design during the development permit stage.
10. Support **pop-up** uses and structures that are temporary and transportable to enliven streets, public spaces, and **privately owned publicly-accessible open space**.
11. Encourage uses which support and complement existing and planned institutional and civic functions within Westbank Urban Centre including City Hall and municipal facilities.
12. As a condition of potential rezoning within the Westbank Urban Centre Mixed-Use Corridor, consider the acquisition of land to create a centrally located park and plaza space. This feature should include high quality landscaped areas and encourage future festivals and programming, as directed by any new Urban Design Guidelines, or Park and Recreation Master Plan.
13. The centrally located park/plaza space should be coordinated with policies and objectives of the Park and Recreation Master Plan, and/or updates to the **Greenbelts** and **Greenways** Schedule 3 and related **Greenways** and Linear Trails policies, or **Greenbelts**, Urban Forests and Natural Assets policies.
14. Consider additional residential uses in combination with the institutional use through a potential zoning amendment application if necessary, where the proposed residential use supports housing initiatives with a broader community interest such as supportive, seniors, affordable or non-market housing,. Supportive housing initiatives will only be considered as part of Province led housing facilities and must include on-site support services.

## 2.4 WESTBANK URBAN CENTRE - COMMERCIAL CORE (AREA B)

The Westbank Urban Centre – Commercial Core land use designation applies to the areas east and west of the Mixed-Use Corridor, with Ingram Road as its southern boundary and includes lands fronting Old Okanagan Highway at its northernmost extent.

The designation is intended to promote the development and redevelopment of higher density commercial uses and mixed-use buildings that contribute to active street frontages and a strong urban core.

USES	MAXIMUM DENSITY	BUILDING HEIGHT
<ul style="list-style-type: none"><li>• Commercial, including office and retail</li><li>• Mixed-use buildings</li><li>• Institutional, and ancillary housing initiatives</li><li>• Live-work units</li><li>• Parks and open space, and pedestrian connections</li></ul>	<ul style="list-style-type: none"><li>• Up to 2.5 <b>Floor Area Ratio (FAR)</b> or as guided by policy</li></ul>	<ul style="list-style-type: none"><li>• Mid-rise to high-rise</li></ul>



### 2.4.1 Objectives

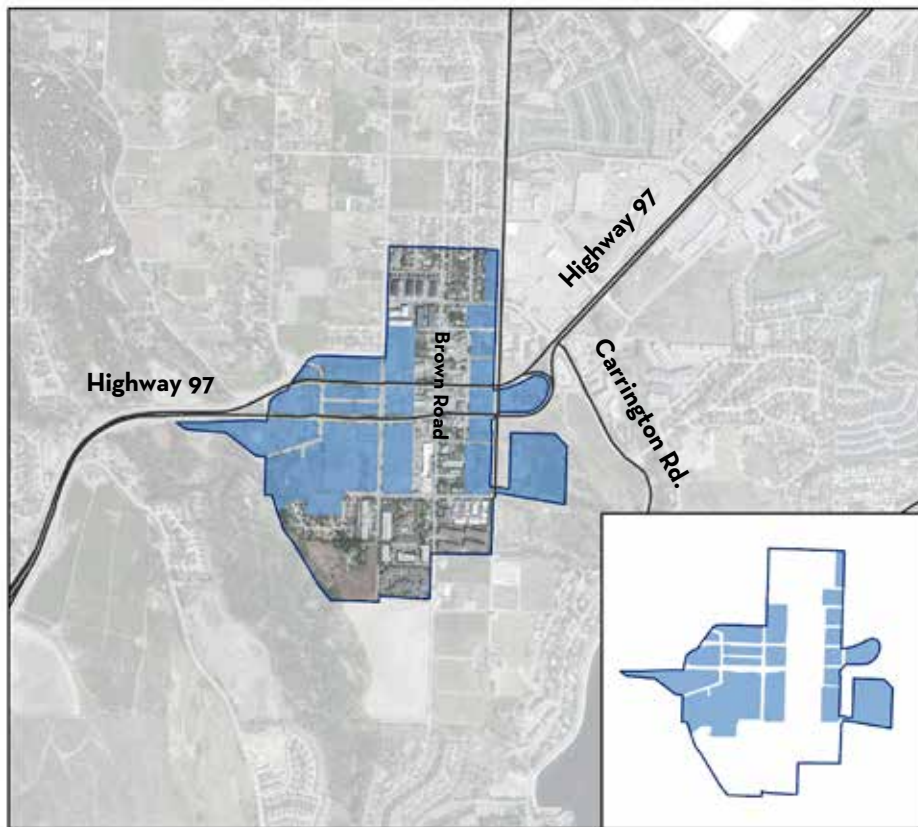
1. To encourage existing lots that are used for low density commercial to be redeveloped as high density commercial or mixed use to better utilize existing areas, improve street fronting design, and the pedestrian experience.
2. To encourage future growth in this area to contribute to the creation of an employment and service centre for the community.
3. That development in this area contributes to the overall vibrancy of the Westbank Urban Centre.
4. To provide convenient access to services to meet the daily needs of residents and visitors.
5. To secure and develop high-quality park and plaza space in Westbank Urban Centre.

#### ***What is a “pedestrian focused environment” or “pedestrian scale”?***

*These terms refers to designing buildings and spaces that specifically consider the needs and perspective of pedestrians and how people interact with the building and space, encouraging safer and more visually interesting places.*

### 2.4.2 Policies

1. Development should be primarily commercial or mixed use in a form that supports a transition to the residential shoulders from more intense land uses to less intense.



**Figure 10. Westbank Urban Centre - Commercial Core**

2. All development should design the building mass, form and details to create an interesting and pedestrian-focused environment at the street level.
3. Densities greater than 2.5 **FAR** and/or building heights greater than 10 storeys may be considered, where appropriate and impacts to adjacent properties sufficiently minimized, to promote transit-supportive development and/or specific community benefits including **affordable housing** units, childcare and recreation facilities, and others at the City's discretion. Shadow and view impacts to adjacent properties must be mitigated to the satisfaction of the City.
4. Where Council is considering additional densities and heights for developments including an extraordinary community benefit, public consultation will be required despite any ability to waive public hearings under the *Local Government Act*.
5. Incorporate transit-oriented and active transportation design elements.
6. No new low-density residential zones or low density commercial zones are to be created or permitted within areas designated as Westbank Urban Centre - Commercial Core.
7. Support uses and activities that encourage both daytime and evening activities.
8. Consider the protection of views to Okanagan Lake and Mount Boucherie through any potential zoning amendment as applicable, and through building design during the development permit stage.
9. Support **pop-up** uses and structures that are temporary and transportable in order to enliven streets, public areas, and **publicly accessible private spaces**.
10. Discourage "big box" auto-oriented commercial development in the Westbank Urban Centre Commercial Core in favour of the establishment of compact, complete, pedestrian centres with a well-defined **streetscape** that supports pedestrian, bike and transit mobility.
11. Encourage uses which support and complement existing and planned institutional and civic functions within Westbank Urban Centre including City Hall and municipal facilities.
12. Consider additional residential uses in combination with the institutional use through a potential zoning amendment application if necessary, where the proposed residential use supports housing initiatives with a broader community interest such as supportive, seniors, affordable or non-market housing,. Supportive housing initiatives will only be considered as part of Province led housing facilities and must include on-site support services.



## 2.5 WESTBANK URBAN CENTRE - RESIDENTIAL SHOULDERS (AREA C)

The Westbank Urban Centre – Residential Shoulders land use designation applies to the northern and southern edges of the Westbank Urban Centre.

The designation is intended to allow for a range of multi-unit residential and mixed-use housing options that will accommodate a sensitive transition between the Westbank Urban Centre to the adjacent lower-density neighborhoods. This designation will allow for development that contributes to West Kelowna's housing diversity and provide population that will support the commercial uses in the Westbank Centre. Mid-rise residential developments are encouraged to include uses that are accessible to the public on the ground floor.

USES	MAXIMUM DENSITY	BUILDING HEIGHT
<ul style="list-style-type: none"><li>• Multi-unit housing</li><li>• Mixed-use buildings</li><li>• Townhouses (located at grade or in podium levels)</li><li>• Commercial (located at grade or in podium levels)</li><li>• Institutional (located at grade or in podium levels), and ancillary housing initiatives</li><li>• Live-work units</li><li>• Parks and open space, and pedestrian connections</li></ul>	<ul style="list-style-type: none"><li>• Up to 2.0 <b>Floor Area Ratio (FAR)</b> or as guided by policy</li></ul>	<ul style="list-style-type: none"><li>• Mid-rise with potential low-rise at the edges</li><li>• High-rise may be considered for properties fronting the extension of Elliott Road at the southernmost end of the Residential Shoulder</li></ul>

### 2.5.1 Objectives

1. To promote development that delivers a diversity of multi-unit housing forms, tenures and levels of affordability in the Westbank Urban Centre.
2. To encourage the establishment of a larger residential base to support the greater Westbank Urban Centre, while also providing opportunity for smaller neighbourhood scale commercial uses.
3. To secure and develop high-quality park and plaza space in Westbank Urban Centre
4. To sensitively transition from the Westbank Urban Centre to the surrounding neighbourhoods.



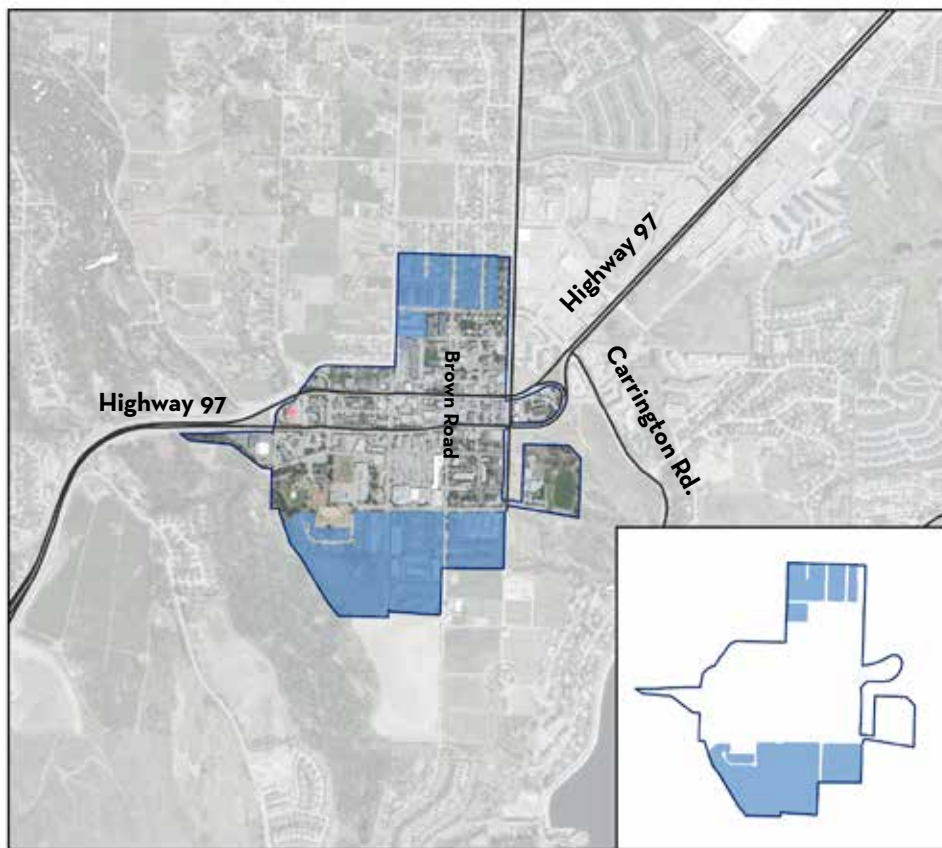


Figure 11. Westbank Urban Centre - Residential Shoulders

## 2.5.2 Policies

1. Low-rise residential development should take the form of townhouses (3 or greater units). New single-detached homes or duplexes are not permitted.
2. All multi-unit development should design the building mass, form and details to create an interesting and pedestrian-focused environment at the street level.
3. Densities greater than 2.0 **FAR** and heights greater than 6 storeys, may be considered, where appropriate and impacts to adjacent properties sufficiently minimized, to promote transit-supportive development and/or specific community benefits including **affordable housing** units, childcare and recreation facilities, and others at the City's discretion. Shadow and view impacts to adjacent properties from additional height must be mitigated to the satisfaction of the City.
4. Where Council is considering additional densities and heights for developments including an extraordinary community benefit, public consultation will be required despite any ability to waive public hearings under the *Local Government Act*.
5. Heights will transition downwards towards the edges of the Residential Shoulders to sensitively integrate with surrounding and anticipated development density.
6. Mixed-use development should create an appropriate transition from less intense to more intense land uses. Incorporate transit-oriented and active transportation design elements.
7. Use ground-oriented residential uses as a component to create sensitive transitional areas where the designation occurs next to lower scale uses, including institutional use such as a school.
8. Mitigate the impact of residential uses on non-compatible agricultural sites and ensure adequate **buffering** measures are utilized.
9. Encourage uses that support the existing and planned institutional uses within Westbank Urban Centre.
10. Consider additional residential uses in combination with the institutional use through a potential zoning amendment application if necessary, where the proposed residential use supports housing initiatives with a broader community interest such as supportive, seniors, affordable or non-market housing,. Supportive housing initiatives will only be considered as part of Province led housing facilities and must include on-site support services.

## 2.6 BOUCHERIE URBAN CENTRE

The Boucherie Urban Centre land use designation applies to the parcels generally in the area between Mount Boucherie and Highway 97, between Ross Road and the west of Capri Road.

The designation is intended to allow for the redevelopment of the area into a secondary Urban Centre in West Kelowna, providing residential and employment densities that, while lower than the Westbank Urban Centre, support commercial and recreational opportunities and a pedestrian-friendly environment. Higher densities will be focused around the transit hub adjacent to Highway 97 and near the Mount Boucherie Community Centre, before transitioning towards more medium and low-density forms to ensure compatibility with the surrounding context.

USES	MAXIMUM DENSITY	BUILDING HEIGHT
<ul style="list-style-type: none"><li>• Mixed-use buildings</li><li>• Commercial, including office and retail</li><li>• Multi-unit housing</li><li>• Townhouses</li><li>• Institutional, and ancillary housing initiatives</li><li>• Live-work units</li><li>• Parks and open space, and pedestrian connections</li></ul>	<ul style="list-style-type: none"><li>• Up to 2.0 <b>Floor Area Ratio (FAR)</b> or as guided by policy.</li></ul>	<ul style="list-style-type: none"><li>• Mid-Rise, with potential for low rise mixed use and townhouses at transition areas</li></ul>

### 2.6.1 Boucherie Urban Centre Objectives

1. To promote a distinct and unique area, by focusing development characteristics that are appropriate and supportive of local civic services, parks, and natural amenities.
2. To promote a diverse mix of housing to address housing accessibility and attainability.
3. To promote mixed-use, commercial and medium density multi-residential development in Boucherie Centre as a secondary service hub for West Kelowna that supports alternative modes of transportation and walkability.
4. To encourage a **complete neighbourhood** with commercial and mixed-use buildings offering convenient access to services to meet the needs of residents for employment, shopping and personal services in Boucherie Urban Centre by encouraging residential densities necessary to support walkable service.
5. To provide services and amenities that support **infill** housing in the broader Boucherie neighbourhood outside of the Boucherie Urban Centre.
6. To encourage lot consolidation to promote medium density multi-unit residential developments, as well as opportunities for commercial or mixed-use.
7. To discourage “Big box” auto-oriented commercial development in Boucherie Centre in favour of the establishment of compact, complete pedestrian centres with a well-defined **streetscape** that supports pedestrian, bike and transit transportation.
8. To secure and develop high-quality park and plaza space in Boucherie Urban Centre.

### 2.6.2 Boucherie Urban Centre Policies

1. Provide a variety of housing layout, configuration, and tenure within mixed-use and multi-residential development that includes a focus on mid-rise buildings, where ground oriented townhouses are encouraged in podiums of mid-rise and taller buildings, where appropriate.
2. Low-rise residential development may be considered to create a sensitive transition to areas of lower intensity use and form, but should take the form of townhomes (3 units or greater). No new low density, single-detached residential zones are to be created or permitted within areas designated as Boucherie Urban Centre.





**Figure 12. Boucherie Urban Centre**

3. All multi-unit residential development should design the building mass, form and details to create an interesting and pedestrian-focused environment at the street level.
4. Densities greater than 2.0 **FAR** and heights of greater than 6 storeys may be considered, where appropriate and impacts to adjacent properties sufficiently minimized, to promote transit-supportive development and/or specific community benefits including **affordable housing** units, childcare and recreation facilities, and others at the City's discretion. Shadow and view impacts to adjacent properties from additional height must be mitigated to the satisfaction of the City.
5. Where Council is considering additional densities and heights for developments including an extraordinary community benefit, public consultation will be required despite any ability to waive public hearings under the *Local Government Act*.
6. The tallest buildings in Boucherie Urban Centre should generally be located near the transit hub adjacent to Highway 97, along Ross Road, and near the Mount Boucherie community centre, and transitioning down toward the edges of the Urban Centre.
7. Mixed-use development should create an appropriate transition from less intense to more intense land uses.
8. Ross Road, Westgate Road and Cameron Road should be promoted as a high street that encourages pedestrian mobility and access to businesses and community uses, while being compatible with vehicle travel.
9. Support uses and activities that encourage both daytime and night time activation, especially near the identified high streets.
10. Support **pop-up** uses and structures that are temporary and transportable to enliven streets, public areas, and **publicly accessible private spaces**.
11. Evaluate opportunities to create a public plaza at the Mount Boucherie Community Centre in consultation with residents. This area should feature a variety of seating and gathering areas and should encourage future activities and programming.
12. Consider additional residential uses in combination with the institutional use through a potential zoning amendment application if necessary, where the proposed residential use supports housing initiatives with a broader community interest such as supportive, seniors, affordable or non-market housing. Supportive housing initiatives will only be considered as part of Province led housing facilities and must include on-site support services.

# 2.7 NEIGHBOURHOOD CENTRES

The Neighbourhood Centre land use designation applies to areas throughout West Kelowna that are well-suited to provide residential densities that support a range of small-scale local commercial uses.

The designation is intended to promote small areas of medium-density residential and some retail and service uses providing the surrounding neighbourhoods with walkable destinations and amenities. Retail/commercial uses will typically be located at-grade and in the lower levels of buildings, with residential or office space located above.

USES	MAXIMUM DENSITY	BUILDING HEIGHT
<ul style="list-style-type: none"><li>• Small-scale commercial uses serving the surrounding neighbourhoods</li><li>• Institutional, and ancillary housing initiatives</li><li>• Mixed-use buildings</li><li>• Multi-unit housing</li><li>• Townhouses</li><li>• Live-work units (grade-related)</li><li>• Parks and open space, and pedestrian connections</li></ul>	<ul style="list-style-type: none"><li>• Up to 1.5 <b>Floor Area Ratio (FAR)</b> or as guided by policy</li></ul>	<ul style="list-style-type: none"><li>• Low-rise to mid-rise</li></ul>

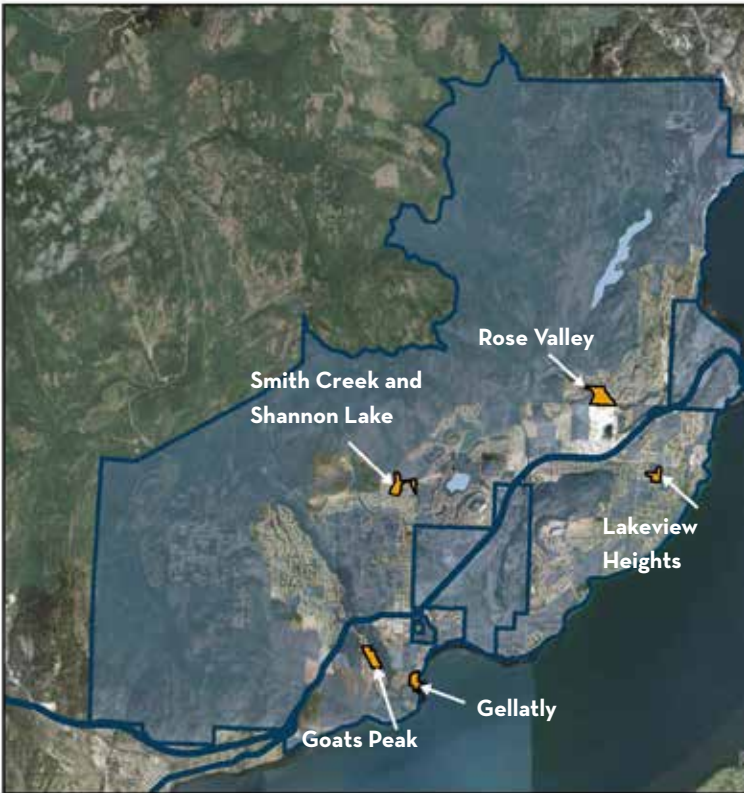


Figure 13. Neighbourhood Centres

## 2.7.1 Neighbourhood Centre Objectives

1. To promote development that supports the creation of a complete community by providing services that are important to the daily life and activities and meet the daily needs of residents.
2. To promote development at a density and location conveniently located in the existing and planned transportation network that supports alternative modes of transportation, and that is built at a scale that is pedestrian friendly to create a **built environment** that is walkable and bikeable to meet the needs of people of all ages and abilities.
3. To encourage lot consolidation to promote medium density multi-unit residential developments in Neighbourhood Centres, as well as opportunities for commercial or mixed-use.
4. To encourage the development of neighbourhood commercial centres to provide local services and employment opportunities.

### Acknowledging Neighbourhood Legacies....

Many neighbourhoods within the community benefit from the significant historical contribution of farming families throughout the Westside. This includes the Mar family with a long pioneer and community service history, and whose specific land donations and ongoing developments have contributed to the establishment of the Rose Valley Neighbourhood Centre.





### 2.7.2 Neighbourhood Centre Policies

1. Provide a variety of housing layout, configuration, and tenure within mixed-use and multi-residential development that includes a focus on mid-rise buildings, where ground oriented townhouses or commercial uses are encouraged in podiums of mid-rise and taller buildings, where appropriate.
2. Encourage mid-rise, mixed-use development that permits convenience commercial and community services compatible with and in support of residential use in locations on collector or arterial roads and within a walkable distance for the majority of residents within Neighbourhood Centres.
3. Low-rise residential development should take the form of townhouses (3 units or greater) and be used to create sensitive transition to areas of lower intensity use and form. No new low density, single-detached residential zones are to be created or permitted within areas designated as Neighbourhood Centres.
4. All multi-unit residential development should design the building mass, form and details to create an interesting and pedestrian-focused environment at the street level.
5. Densities greater than 1.5 **FAR** and heights greater than 6 storeys may be considered, where appropriate and impacts to adjacent properties are minimized to the satisfaction of the city, to promote transit-supportive development and/or specific community benefits including **affordable housing** units, childcare and recreation facilities, and others at the City's discretion. Shadow and view impacts to adjacent properties from additional height must be mitigated to the satisfaction of the City.
6. Where Council is considering additional densities and heights for developments including an extraordinary community benefit, public consultation will be required despite any ability to waive public hearings under the *Local Government Act*.
7. Support uses and activities that encourage both daytime and night time activation.
8. Support **pop-up** uses and structures that are temporary and transportable to enliven streets, public areas, and **publicly accessible private spaces**.
9. Consider additional residential uses in combination with the institutional use through a potential zoning amendment application if necessary, where the proposed residential use supports housing initiatives with a broader community interest such as supportive, seniors, affordable or non-market housing. Supportive housing initiatives will only be considered as part of Province led housing facilities and must include on-site support services.



### 2.7.3 Gellatly Neighbourhood Centre Policies

1. Where residential development along the waterfront is permitted, strive to maintain partial **view corridors** to the Okanagan Lake from inland locations, as well as from the Okanagan Lake to prominent hillsides and Mount Boucherie.
2. All waterfront development should promote ground oriented mixed-uses that provide services and amenities to both residents and the general public to support and promote enjoyment of the public waterfront.
3. Development in the Gellatly Neighbourhood Centre must use site design and massing to minimize the impact on publicly accessible areas, such as shading and traffic impacts.
4. Development in the Gellatly Neighbourhood Centre must consider the potential for enhanced access between the waterfront and Westbank Urban Centre, especially for pedestrian traffic and the potential to connect to Brown Road and/or other more direct routes.
5. Development in the Gellatly Neighbourhood Centre is encouraged to consider the provision of additional public parking as a much needed amenity within the area, and in support of any commercial uses proposed within the development. Public parking may be considered as an extraordinary community benefit in this area where additional density or height is being considered.

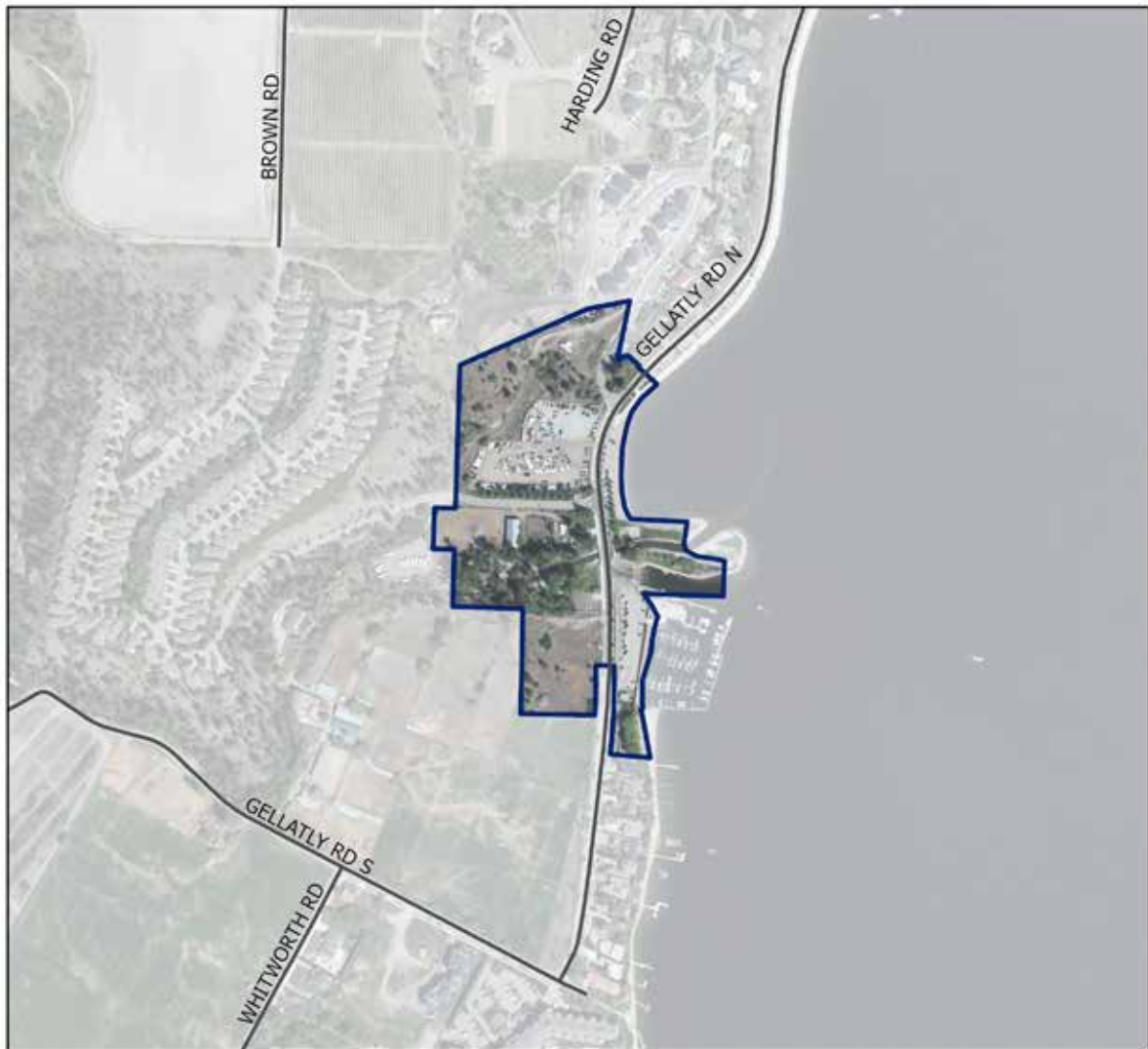
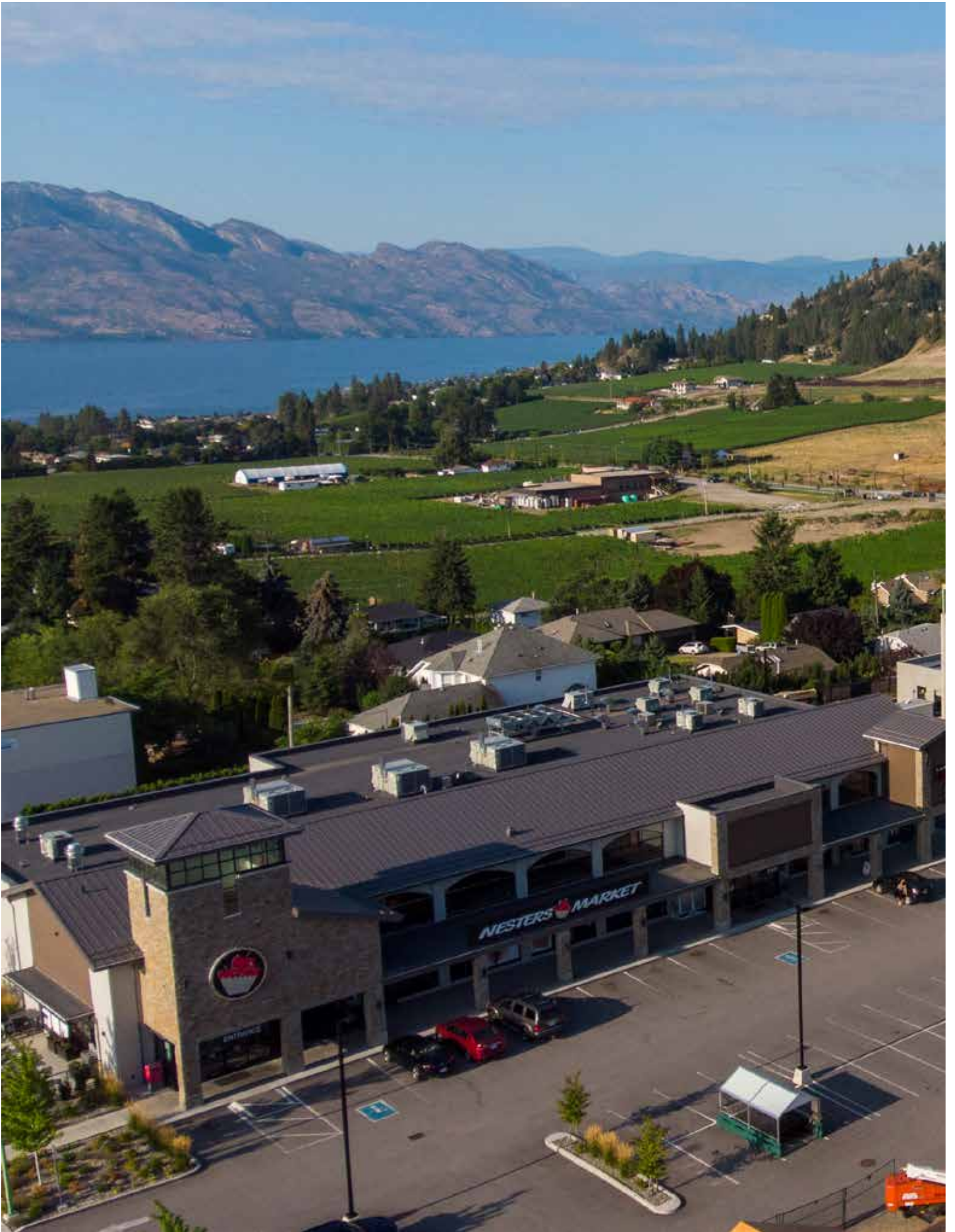


Figure 14.

Gellatly Neighbourhood Centre





# 2.8 MEDIUM DENSITY RESIDENTIAL

Medium Density Residential land use designation applies to many neighbourhoods in West Kelowna, in locations that are well-suited to support higher density populations than what is typically found in low-density, single-detached residential neighbourhoods.

The Medium Density Residential designation will provide a range of low-rise multi-unit dwelling options to meet West Kelowna’s housing needs, and will allow for low-rise housing forms including townhouses up to three storeys, and multi-unit housing (greater than three units) up to four storeys. Typically, this scale is used to transition between very low- and higher-density areas or to increase densities through residential development in appropriate locations.

Medium Density Residential environments will be pedestrian-scaled, and be located near amenities to serve residents’ daily needs or the location will encourage existing or future transit connections in order to provide access to local amenities.

USES	MAXIMUM DENSITY	BUILDING HEIGHT
<ul style="list-style-type: none"><li>• Townhouses</li><li>• Duplexes</li><li>• Multi-unit housing</li><li>• Parks and open space, and pedestrian connections</li></ul>	<ul style="list-style-type: none"><li>• Up to 1.0 <b>Floor Area Ratio (FAR)</b></li></ul>	<ul style="list-style-type: none"><li>• Low-rise (townhouses/duplex)</li><li>• Multi-unit housing (greater than 3 units) up to 4 storeys</li></ul>





## 2.8.1 Medium Density Residential Objectives

1. To encourage more diverse housing forms which help reduce our carbon footprint, improve opportunities for alternative modes of transportation, and create more active, healthier communities.
2. To focus medium density residential development by matching the intensity of development with the intensity of the road classification to promote transit supportive growth and variety in housing options, where appropriate. Consider more intense development along main arterial roads and less intense development on collector or local roads.
3. To provide an opportunity for residential development to modestly increase densities within existing single-detached residential neighbourhoods outside of Urban and Neighbourhood Centres, where appropriate.
4. To demonstrate how medium density development can be introduced into very low-density, single-detached neighbourhoods to support the evolution and growth of the area through sensitive integration of new and compatible housing forms .

## 2.8.2 Medium Density Residential Policies

1. Where appropriate, consider residential development of ground-oriented multi-unit housing within existing neighbourhoods on larger lots, as well as appropriately scaled multi-unit housing greater than three units on appropriate lots along main arterial roads, through zoning amendment applications.
2. Low-rise multi-unit residential development located within existing neighbourhoods on collector or local roads should be in ground-oriented forms such as semi-detached or attached townhouses, with at-grade private entrances.
3. No new low-density, single-detached residential zones are to be created or permitted within areas designated as Medium Density Residential.
4. Ensure more intense residential housing is sited to complement the type, form, scale, use and character of adjacent buildings and ensure private outdoor spaces are respected.
5. All multi-unit residential development should design the building mass, form and details to create an interesting and pedestrian-focused environment at the street level as well as supporting modes of transportation other than motor vehicles.
6. Where residential development along the waterfront is permitted, strive to maintain public view corridors to the Okanagan Lake from inland locations, as well as from the Okanagan Lake to prominent hillsides or other view corridors. Ensure that public enjoyment of the lakefront is enhanced as a result of the development by securing public access.
7. Mitigate the impact of residential uses on any adjacent non-compatible industrial sites or agricultural sites, ensuring adequate **buffering** measures are employed.

# 2.9 LOW DENSITY RESIDENTIAL

Low Density Residential land use designation applies across many neighbourhoods in West Kelowna.

The Low Density Residential designation will provide for a range of ground-oriented housing with flexibility in lot size, width and typology to accommodate a mix of housing options. More land-efficient and compact housing forms will be encouraged through **infill** development, including secondary suites, carriage houses and duplexes.

USES	MAXIMUM DENSITY	BUILDING HEIGHT
<ul style="list-style-type: none"><li>• Single-detached dwellings, including secondary suites, carriage houses, and clustered housing</li><li>• Duplexes</li><li>• Parks and open space, and pedestrian connections</li></ul>	<ul style="list-style-type: none"><li>• Established by zone but intended for low density</li></ul>	<ul style="list-style-type: none"><li>• Low-rise</li></ul>

## 2.9.1 Low Density Residential Objectives

1. To provide traditional single family housing opportunities and encourage the sensitive densification of existing low-density neighbourhoods through **infill** development that promotes a more efficient use of land and infrastructure..
2. To promote more compact and diverse low density housing forms for families, including the consideration of smaller lot sizes, secondary suites, carriage houses, duplexes, and clustered single-detached housing in support of neighbourhood diversity and healthy communities.
3. To promote high-quality development that contributes to livable neighbourhoods.







### 2.9.2 Low Density Policies

1. Where appropriate and impacts can be minimized, **infill** development can be considered within existing neighbourhoods to permit smaller lot sizes, duplexes, clustered housing, secondary suites, and carriage houses.
2. Low density housing forms with more than 1 unit, such as duplexes or secondary suites, located within neighbourhoods will be ground-oriented with private entrances.
3. **Infill** opportunities will be considered in established residential areas that are well serviced by existing infrastructure, transit and other services.
4. Zoning amendment applications to accommodate **infill** housing opportunities, or conversions to properties that have up to two separate units, maintain suitable setbacks and do not require variances, are encouraged with sensitive integration.
5. Duplexes are considered an appropriate form of **infill** housing within neighbourhoods, but are also encouraged at a higher density as the neighbourhoods transition to Urban or Neighbourhood Centres.
6. Where residential development along the waterfront is permitted, ensure that public enjoyment of the lakefront is enhanced as a result of the development by securing public access.
7. Mitigate the impact of residential uses on non-compatible industrial sites or agricultural sites and ensure adequate **buffering** measures are utilized.



## 2.10 COMMERCIAL

The Commercial land use designation applies to strategic locations for a variety of businesses and complementary mixed-use development.

The Commercial designation will provide for a variety of employment, entertainment, retail, service and institutional uses, along with integrated residential within mixed-use buildings. This designation is focused in key areas with access to populations that can support such uses. A variety of building types will be encouraged to reflect a diversity of opportunities and amenities.

USES	MAXIMUM DENSITY	BUILDING HEIGHT
<ul style="list-style-type: none"><li>• Commercial, including office, retail, and services</li><li>• Mixed-use buildings</li><li>• Institutional</li><li>• Live-work units (grade-related)</li><li>• Parks and open space, and pedestrian connections</li></ul>	<ul style="list-style-type: none"><li>• Up to 1.5 <b>Floor Area Ratio (FAR)</b></li></ul>	<ul style="list-style-type: none"><li>• Low-rise to mid-rise</li></ul>



### 2.10.1 Commercial Objectives

1. To provide convenient access to a range of services and employment opportunities to meet the daily needs of residents.
2. To provide locations supportive of businesses that offer a variety of quality employment options for residents and enrich West Kelowna's economy.
3. To encourage a mix of uses within the commercial area and easy access for nearby residents using alternative modes of transportation.
4. To encourage businesses to use available technology to reduce/eliminate the impacts of noise, odours, **greenhouse gases**, and other emissions that may affect adjacent residential uses.



## 2.10.2 Commercial Policies

1. Improve the form, character and **public realm** of existing and future commercial and mixed-use development.
2. Discourage “big box” and auto-oriented commercial development in favour of more compact, pedestrian-scaled, and mixed-use formats with well-defined **streetscapes** supportive of pedestrian, bike and transit modes.
3. Where appropriate, incorporate accessible green space in site planning and require appropriate landscaping, as per the applicable urban design and development guidelines.
4. The **public realm**, including sidewalk and landscaped areas, should enhance and create a positive and attractive environment for pedestrians.
5. Where commercial and mixed-use development along the waterfront is permitted:
  - a. Strive to maintain public view corridors to the Okanagan Lake from inland locations, as well as from the Okanagan Lake to prominent hillsides or other view corridors; and
  - b. Ensure that public enjoyment of the lakefront is enhanced as a result of development by securing public access.
3. Support uses and activities that encourage activation of the **public realm**, including **pop-up** uses and structures that are temporary and transportable to enliven streets, public areas, and **POPS**.
4. Retain compatible service and commercial uses that are essential elements of a liveable community within mixed use development.



## 2.11 INDUSTRIAL

The Industrial land use designation applies to areas that are well suited for a variety of primary industrial activities such as processing, manufacturing, supply/distribution, warehousing/storage, and research/technology. Directly related services, and some secondary uses to support the primary use may be appropriate.

The Industrial designation provides opportunities to these uses in areas with convenient access to Highway 97, and where appropriate **buffering** can be provided to adjacent uses so as to limit noise and pollution trespass.

The Industrial designation supports initiatives to maintain and reinforce the area for primary industrial uses, and to promote the development of innovative technologies and emerging industries to strengthen and diversify West Kelowna's economy. It encourages development to have an attractive built form particularly in areas visible to the public.

USES	MAXIMUM DENSITY	BUILDING HEIGHT
<ul style="list-style-type: none"><li>• A broad range of primary industrial uses including processing, manufacturing, supply/distribution, warehousing/storage, and research/technology</li><li>• Ancillary commercial/office/retail/caretaker unit, where directly related to or to support the primary industrial use</li></ul>	<ul style="list-style-type: none"><li>• Up to 1.0 <b>Floor Area Ratio (FAR)</b></li></ul>	<ul style="list-style-type: none"><li>• Low-rise</li></ul>

### 2.11.1 Industrial Objectives

1. To preserve and optimize the industrial land base, so that it becomes the economic core of the City, by supporting existing industry and encouraging new industrial business, as well as encouraging land use decisions consistent with policies and objectives for a broad range of industrial and industrial-related uses in industrial areas.
2. To preserve and enhance the employment land base that supports existing and emerging high-tech industries.
3. To encourage high quality building and landscape design to attract investment, new uses and a skilled, diverse labour force.
4. To encourage industrial businesses to use available technology to reduce/eliminate noise, odours, **greenhouse gas** and other emission and to protect the environment through consideration of the impact on air, water and land quality as a result of new uses, redevelopment or additions to existing industrial properties.
5. To improve the form and character of industrial areas through promotion of redevelopment and revitalization of the **built environment** in accordance with applicable development permit guidelines.







### 2.11.2 Industrial Policies

1. Preserve the industrial focus of the primary industrial area north of Highway 97 between Westlake Road and Daimler Road.
2. Industrial uses, including but not limited to manufacturing, processing, laboratory and warehousing, should be the primary focus of the land, with limited ancillary commercial uses permitted.
3. Industrial lands are to promote land uses which:
  - a. Generate only limited shopping and retail traffic;
  - b. May have a public retail sales area for products manufactured or assembled on site;
  - c. Require large enclosed display and storage areas;
  - d. Require access to major roads for supply and distribution; and
  - e. Are not compatible with residential uses.
4. Bartley Road, Byland Road, Jennens Road, Ross Road, Stevens Road, Shannon Lake Road, or Westlake Road, where located or partially located within the Industrial area, should be promoted as a high street that encourages pedestrian mobility and access to businesses and community uses, while being compatible with vehicle travel. Sidewalk and landscape design should enhance and create a positive and attractive environment along the identified high streets.
5. Recognize the needs of local entrepreneurs by considering smaller lots and the development of small scale “incubator” facilities.
6. Discourage non-industrial land uses in the area of Gorman Bros. Mill that would lead to long-term conflict with the operation of the mill. Any proposed non-industrial development in this vicinity should consider a **buffer** area, including at minimum landscaping, fencing and/or the consideration of spatial separation depending on the specific land uses and established as a potential condition of zoning amendment.
7. Support businesses in developing and maintaining an eco-industrial network to build efficiencies in energy, resource use and waste management.
8. Where appropriate, incorporate accessible green space in site planning and require appropriate landscaping, as per the applicable development permit guidelines.
9. Continue to participate in the development of a comprehensive management strategy for the aggregate industry within the Central Okanagan, which will inform designated aggregate supply areas for West Kelowna, including the potential conversion of areas currently within the Industrial designation.
10. Low-rise within the Industrial designation may include consideration for higher overall building heights appropriate for the specific use where taller floor-to-ceiling heights may be necessary to accommodate a use.

# 2.12 BUSINESS PARK

The Business Park land use designation applies to areas that are well suited to allow a diversity of employment uses with potential impacts more appropriate to a Business Park context where it is adjacent to and **buffered** by West Kelowna’s largest area of industrial lands and with convenient access to Highway 97.

The Business Park designation provides opportunities for uses such as equipment sales, light production/manufacturing, offices, show rooms, and warehousing/storage, including limited ancillary commercial that serves the employees of nearby industrial and employment areas, like convenience retail and restaurants. Secondary light Industrial uses may be permitted where appropriate and impacts to adjacent properties can be mitigated.

The Business Park designation seeks to support the economy of West Kelowna by providing opportunities for more diverse, lower-impact and emerging industries such as media, technology, and research and development, while also supporting a vital employment centre with amenities and services for local employees. Development within the Business Park is encouraged to present an attractive frontage along public streets, especially Highway 97.

USES	MAXIMUM DENSITY	BUILDING HEIGHT
<ul style="list-style-type: none"><li>• Commercial/Retail/Research/Technology/Biotechnology appropriate to a Business Park or where supporting adjacent Industrial uses, such as equipment sales, light production/manufacturing, media production/studios, offices, research laboratories, show rooms, warehousing/ storage</li><li>• Limited ancillary Commercial (convenience retail and restaurants), serving the needs of local employees where appropriate</li><li>• Secondary uses including light industrial may be permitted where appropriate and impacts to adjacent properties can be mitigated</li><li>• Ancillary caretaker unit, where directly related to or to support the primary business park use</li></ul>	<ul style="list-style-type: none"><li>• Up to 1.5 <b>Floor Area Ratio (FAR)</b></li></ul>	<ul style="list-style-type: none"><li>• Low-rise</li></ul>



## 2.12.1 Business Park Objectives

1. To create opportunities for lower-impact industries to set up flexible commercial and industrial operations.
2. To create a pedestrian-friendly service centre for employees in and around the area.
3. To encourage high quality building and landscape design to attract investment, new uses and a skilled, diverse labour force.
4. To improve the form and character of the business park through promotion of redevelopment and revitalization of the **built environment** in accordance with applicable development permit guidelines, and encouraging new development with advanced technical and lower-impact industrial related uses as a transition from the higher intensity Industrial land use designation.





### 2.12.2 Business Park Policies

1. Maintain and enhance the Business Park as a hub for various employment uses and ancillary services, including but not limited to lower-impact industrial and related commercial uses such as manufacturing, distribution, technology, agricultural support services, aerospace, showrooms and storage.
2. Explore opportunities to accommodate new and emerging employment types which may include research and technology, light manufacturing and production, commercial offices, studios, and laboratories.
3. Commercial uses that are supportive and provide amenities to the local employees, such as convenience retail and restaurants, should be located on the ground level to promote easy access.
4. Any industrial uses permitted within the Business Park must be able to demonstrate a low level of impact on adjacent areas, including from any resulting noise, light, freight traffic, pollution or odour.
5. Commercial and industrial uses, which have their primary purpose as office, retail, and/or showroom are to be approved at the City's discretion at any zoning amendment, and should generally be directed to sites closer to Highway 97 or along designated highstreets in the Business Park.
6. Bartley Road, Byland Road, Jennens Road, Ross Road, Stevens Road, Shannon Lake Road, or Westlake Road, where located or partially located within the Business Park, should be promoted as a high street that encourages pedestrian mobility and access to businesses and community uses, while being compatible with vehicle travel. Sidewalk and landscape design should enhance and create a positive and attractive environment along the identified high streets.
7. Recognize the needs of local entrepreneurs by considering smaller lots and the development of small scale "incubator" facilities.
8. Where appropriate, incorporate accessible green space in site planning and require appropriate landscaping, as per the applicable urban design and development guidelines.
9. Support businesses in developing and maintaining an eco-industrial network to build efficiencies in energy, resource use and waste management.
10. All development should present an attractive frontage to the primary public street, especially frontages that face Highway 97.
11. Low-rise within the Business Park designation may include consideration for higher overall building heights appropriate for the specific use where taller floor-to-ceiling heights may be necessary to accommodate a use.



## 2.13 EDUCATIONAL / INSTITUTIONAL

The Educational/Institutional land use designation applies to lands that have been designated for the City, senior levels of government or other key institutions to offer their services to the community.

The Educational/Institutional designation recognizes the importance of providing land for these uses in a growing City, and the areas under the designation are selected in co-ordination with relevant jurisdictions to foster locations that are suitable to effective service delivery across the entire city.

USES	MAXIMUM DENSITY	BUILDING HEIGHT
<ul style="list-style-type: none"><li>• A broad range of institutional uses including community and recreation centres, fire halls, police stations, hospitals, places of worship, and other related uses</li><li>• Educational uses</li><li>• Ancillary housing initiatives</li><li>• Parks and open space</li><li>• Related recreational uses</li></ul>	<ul style="list-style-type: none"><li>• Up to 1.0 <b>Floor Area Ratio (FAR)</b></li></ul>	<ul style="list-style-type: none"><li>• Low-rise to mid-rise</li></ul>

### 2.13.1 Educational/Institutional Objectives

1. To support institutional uses in areas that are accessible to the broader community and which complement neighbouring uses in terms of form and character, and potential user groups.
2. To support the flexible and adaptable use of institutional lands in response to changing community demands.
3. To encourage institutional uses to use available technology to reduce or eliminate noise, odours, **greenhouse gases** and other emissions.

### 2.13.2 Educational/Institutional Policies

1. Future school sites should be located appropriately based on the size and composition of the school age population, as well as the ability of children and families to travel safely to and from the site. Area Plans must consider future school sites, as applicable.
2. Where possible, explore partnerships between institutions and the surrounding neighbourhood for the provision of joint community uses including public parks or open space and indoor community/recreation facilities.
3. Explore the potential for provincial and federal governments to locate offices and/or service facilities within lands designated Educational / Institutional.
4. Consider additional residential uses in combination with the institutional use through a potential zoning amendment application if necessary, where the proposed residential use supports housing initiatives with a broader community interest such as supportive, seniors, affordable or non-market housing. Supportive housing initiatives will only be considered as part of Province led housing facilities and must include on-site support services.





## 2.14 TOURIST COMMERCIAL

The Tourist Commercial land use designation applies to lands that have been established to accommodate appropriate tourism related commercial and residential uses that recognize surrounding uses and do not generate adverse impacts.

The Tourist Commercial designation recognizes the importance of providing lands for a growing tourism industry, where locations are suitable by complementing neighbouring uses in terms of form and character, and potential user groups.

The Tourist Commercial designation supports development that provides opportunity for local employment and services, and encourages development to have an attractive built form that is sensitive to the environment.

USES	MAXIMUM DENSITY	BUILDING HEIGHT
<ul style="list-style-type: none"><li>Hotel and resort accommodation, services and amenities associated with tourism, including commercial and residential uses associated with tourism, where appropriate to the waterfront, or within an appropriate location with sensitive integration</li></ul>	<ul style="list-style-type: none"><li>Up to 1.5 <b>Floor Area Ratio (FAR)</b></li></ul>	<ul style="list-style-type: none"><li>Low-rise to mid-rise, with consideration for high-rise with extraordinary community benefit in appropriate locations for hotel use</li></ul>

### 2.14.1 Tourist Commercial Objectives

1. To foster local economic development, provide a **sense of place**, and opportunities for public spaces.
2. To support commercial tourism by promoting a variety of uses and built forms appropriate for hotel and resort accommodations, services and amenities available to both local residents and the travelling public.
3. Improve the form, character and **public realm** amenities of existing and future Tourist Commercial developments.

### 2.14.2 Tourist Commercial Policies

1. Ensure that all Tourist Commercial development includes the creation of facilities and amenities for the tourists that they draw to the area as well as for the benefit of the surrounding local community. They should also generate opportunities for interaction with and employment for members of the community.
2. Create and maintain public access to West Kelowna's waterfront, consistent with the Waterfront Plan and encourage tourist commercial development on the waterfront that enhances the community's natural assets.
3. Mitigate any negative impacts of new development and ensures public enjoyment of the waterfront is maintained and significantly enhanced as a result.
4. Projects developed primarily for tourist use should be sensitive to the environmental impacts of their placement and primary emphasis should be placed on high quality **green building** design and extensive well-maintained landscaping. **Buffering** of abutting uses and services areas as well as transit and pedestrian connectivity will be encouraged.
5. Densities greater than 1.5 **FAR** and heights greater than 6 storeys may be considered, where appropriate and impacts to adjacent properties are minimized to the satisfaction of the city, to promote economic development and/or provide specific community benefits. This may include amenities and personal services open to the public, or where the development provides an extremely high design standard as a key tourist destination within the City, at the City's discretion.
6. Where Council is considering additional densities and heights for developments including an extraordinary community benefit, public consultation will be required despite any ability to waive public hearings under the Local Government Act.



7. Avoid zoning that would result in tourist accommodation uses on Crown or private lands abutting the road between Upper Glenrosa area and Crystal Mountain Resort.
8. Consider new tourist commercial development, where appropriate to the waterfront, or within an appropriate location with sensitive integration and consistent with the policies, through zoning amendment applications.





## 2.15 RURAL RESIDENTIAL

The Rural Residential land use designation applies to existing areas and neighbourhoods primarily defined by their blend between residential and rural character, as evidenced by clusters of non-farm settlement and limited farming operations. These areas are characterized by single-detached housing on large parcels which may also support limited agricultural production and home industries.

The Rural Residential designation supports non-intensive farming operations that do not generate adverse impacts such as noxious odours or excessive dust. These areas are not considered growth areas and will be restricted to **infill** uses that can be served by on-site water and wastewater treatment systems.

USES	MAXIMUM DENSITY	BUILDING HEIGHT
<ul style="list-style-type: none"><li>• Single-detached dwellings, including secondary suites and carriage houses</li><li>• Agricultural (non-intensive) and home industry uses</li></ul>	<ul style="list-style-type: none"><li>• established by zone but intended for low density</li></ul>	<ul style="list-style-type: none"><li>• Low-rise</li></ul>

### 2.15.1 Rural Residential Objectives

1. To ensure that housing development is appropriate and sensitive to the surrounding uses and the existing form and character of this area, including single-detached houses on large lots with generous open space.
2. To preserve natural resources and landscapes while allowing for functional and productive rural/residential areas and farming operations.

### 2.15.2 Rural Residential Policies

1. Development within the Rural Residential landscape should have no significant impact on adjacent natural areas or on the operations of adjacent agricultural areas.
2. Development will respect the **Growth Boundary** and protect environmental resource and values. Zoning amendments allowing parcel sizes less than 30 hectares are not supported outside the **Growth Boundary**. Subdivision is not supported on lands outside the **Growth Boundary**, except where zoning amendments or variances are not required and minimum parcel size can be met.
3. Rural Residential areas located within the **Growth Boundary** and along the Okanagan Lake waterfront and where they are also outside the **Agricultural Land Reserve (ALR)** may be considered for potential Tourist Commercial development, where appropriate and impacts to adjacent properties are minimized to the satisfaction of the City, and development is consistent with the policies of the Tourist Commercial land use designation.







# 2.16 RESOURCE LAND

The Resource Land land use designation applies generally to areas suitable for recreation, agriculture or forest or mineral extraction.

The developed areas of West Kelowna are bounded by private and publicly owned (Crown) lands which the OCP designates as Resource Land. Provincial forest, community watersheds, recreation tenures, open grazing, transportation networks and mineral resources are managed by provincial resource agencies through consultation with the local community and resource operators. The management of Resource Lands is complex, involving local, regional, provincial and WFN jurisdictions and multiple regulatory requirements.

USES	MAXIMUM DENSITY	BUILDING HEIGHT
<ul style="list-style-type: none"><li>• Natural resource extraction and forestry</li><li>• Recreation</li><li>• Agricultural uses</li><li>• Parks and open space</li></ul>	<ul style="list-style-type: none"><li>• Established by zone but intended for low density</li></ul>	<ul style="list-style-type: none"><li>• Low-rise</li></ul>



## 2.16.1 Resource Land Objectives

1. To protect environmentally sensitive areas to maintain their ecological function.
2. To preserve significant view sheds of West Kelowna’s natural areas.
3. To protect and enhance agricultural resources.
4. To protect community water resources and prevent negative downstream impacts.
5. To support the use of Crown lands within the City boundary for rural resource values where they are consistent with the community’s values.
6. To demonstrate and encourage transparent and inclusive decision- making for Resource Lands with the WFN and other government agencies.





### 2.16.2 Resource Land Policies

1. The Resource Land designation allows for agricultural and rural resource uses, including agriculture, forestry, sand and gravel extraction, as well as park and open space uses, including natural parks, recreation areas and environmentally sensitive areas (ESAs).
2. Support and seek to protect agricultural land and agricultural activities in Resource Land areas.
3. In order to minimize road access and to protect resource and environmental values, subdivision is not supported within the Resource Land designation, where lands are outside the **Growth Boundary** and require any zoning amendment allowing parcel sizes less than 30 hectares.
4. Provincial resource development activities will be considered in this designation subject to compatibility with tenure holders, consideration of neighbouring land uses and adherence to Development Permit Guidelines, as well as consideration of the impact on transportation infrastructure and view corridors, where applicable.
5. Sand and gravel extraction and forestry activities in or adjacent to environmentally sensitive areas, in areas with prominent community views to the site or within **riparian areas** are not supported.
6. Any transition of land from Crown to private tenure requires zoning amendment approval to appropriately review impacts on the environment, public services, roads, sewage and waste disposal and community water resources.
7. Where subdivision, long-term lease or transfer of tenure to private ownership is proposed in the Resource Land area, encourage the boundaries to be defined by natural terrain features.
8. Continue to participate in the development of a comprehensive management strategy for the aggregate industry within the Central Okanagan, which will inform designated aggregate supply areas for West Kelowna.
9. Work with relevant provincial agencies to develop a long-range plan for Crown land that supports growth in West Kelowna consistent with community values and vision.

## 2.17 AGRICULTURE

The Agriculture land use designation applies to areas that are an essential and celebrated aspect of West Kelowna's character. These areas, often protected by the Provincial **Agricultural Land Reserve (ALR)**, are designated primarily for agriculture and agricultural-related activities.

This designation encourages diverse, prosperous, and adaptable agricultural uses to support a productive agricultural hub in the city. Sustainable farm practices (protection of surface and groundwater resources, aquatic habitat, woods, wetlands, wildlife habitat, and other natural characteristics) that do not place unreasonable constraints on the farming community, are also encouraged. As a result of the importance of agriculture in the City of West Kelowna, the protection of agricultural capacity, production and access to agricultural products is supported by this OCP.

USES	MAXIMUM DENSITY	MAXIMUM BUILDING HEIGHT
<ul style="list-style-type: none"><li>• Agricultural uses</li><li>• Residential uses (principal and secondary farm dwellings)</li><li>• Ancillary agricultural retail for on-farm grown and/or produced goods</li></ul>	<ul style="list-style-type: none"><li>• established by zone but intended for low density</li></ul>	<ul style="list-style-type: none"><li>• Low-rise</li></ul>



### 2.17.1 Agriculture Objectives

1. To support the preservation and enhancement of the agricultural land base through land use decisions consistent with identified agricultural policies, Agricultural Land Commission policies and decisions where applicable, and the Agricultural Plan.
2. To promote and support innovative community agricultural activities and their connection to local and regional markets.
3. To support consultation with the Agricultural Land Commission regarding the use of **ALR** land for community land use needs, as described in the *Agricultural Land Commission Act* and the *Local Government Act*.
4. To encourage innovative agricultural practices and secondary activities that contribute to farm income.



## 2.17.2 Agriculture Policies

1. Support in principle the diversification of the agricultural economy in the City of West Kelowna through such activities as **farm-gate marketing** and other agri-tourism opportunities, which are ancillary to primary farming activities and do not impact the agricultural capability of farmland.
2. Where conflict exists between non-agriculture uses and agriculture, attempt to resolve the conflict with minimal negative effect on agriculture, consistent with the *Farm Practices Protection (Right to Farm) Act*.
3. Support cultivation, production, improvement, processing or marketing of plants and animals, agri-tourism and other agricultural industries in support of the agricultural sector and a diverse and mixed use of agricultural lands.
4. Preserve agricultural land by directing development into designated Urban and Neighbourhood Centres, Residential, Commercial or Industrial land use designations.
5. With regard to Agricultural Land Use Designation outside of the **ALR**, the City will:
  - a. Prefer retention of these lands for agricultural use that is in accordance with the City's Zoning Bylaw;
  - b. Consider trail development, low intensity recreation activities and open space areas in conjunction with agri-tourism uses.
6. Notwithstanding the policy above, Agricultural areas immediately adjacent to Okanagan Lake may be considered for potential Tourist Commercial development only where:
  - a. Located within the **Growth Boundary** along the Okanagan Lake waterfront;
  - b. Located outside the **Agricultural Land Reserve (ALR)** and have low agricultural potential;
  - c. Considered appropriate and impacts to adjacent properties are minimized to the satisfaction of the City; and
  - d. Development is consistent with the policies of the Tourist Commercial land use designation.
7. In order to minimize impact to agricultural lands and to protect resource and environmental values, subdivision is not supported within the Agriculture designation. Although the City endeavours to protect larger lot sizes, it also fully recognizes the contribution and viability of all sizes of farms, including existing small farms, in its jurisdiction.
8. Require an Official Community Plan amendment to a Land Use Designation other than "Agriculture" if land is excluded from the **ALR** in order for further non-agricultural development to occur. (See General Land Use Policies for additional policy related to **ALR** exclusion.)
9. Evaluate and consider the effect of any drainage patterns that would be altered by development proposals on down slope agricultural areas.
10. Support commercial agricultural operations through the administration of applicable Development Permit Guidelines that discourage plantings that may harbour diseases or insects harmful to agricultural operation, as well as programs such as the RDCO Sterile Insect Release Program and Noxious Weed Control Bylaws.
11. Support the ALC objective of retaining agricultural lands and consolidating them in larger parcels to maintain their viability for agricultural use and further support consolidation of farmland.
12. New roads and utility corridors should not be located on agricultural lands unless no suitable alternative exists. In those cases where no suitable alternative exists, land excluded from the **ALR** should be replaced with land of equal or greater agricultural value.
13. Discourage the proliferation of non-farm residential development or use, except as provided for by the Homesite Severance Policy within the **ALR**. Accessory homes and other housing will be limited according to Provincial **ALR** policies and regulations within the City's Zoning Bylaw.
14. Encourage lower intensity and complementary agricultural uses as a transition between existing urban development and farm operations. Consideration of such uses should not be construed as support for subdivision to smaller parcels.
15. Encourage innovative farming practices on smaller parcels within agricultural areas.
16. Encourage farms to participate in the Environmental Farm Plan Program.

## 2.18 NATURAL AREAS AND PUBLIC PARKS

The Natural Areas and Public Parks land use designation applies to lands throughout West Kelowna within a well-connected system of publicly accessible and diverse parks and greenspace as a valued amenity in West Kelowna and serves a joint mandate of environmental conservation and diverse public recreation activities. The designation also includes other privately held natural areas and greenspace that augments the protection of **sensitive ecosystems** and strengthens the natural assets of West Kelowna where the preservation of West Kelowna's natural heritage is paramount.

USES	MAXIMUM DENSITY	MAXIMUM BUILDING HEIGHT
<ul style="list-style-type: none"><li>• Publicly accessible greenspace/parks</li><li>• Protected natural areas and privately held greenspace</li><li>• Low-impact recreation</li></ul>	<ul style="list-style-type: none"><li>• N/A</li></ul>	<ul style="list-style-type: none"><li>• Low-rise (structures permitted only within government-owned parks)</li></ul>



### 2.18.1 Natural Areas and Public Parks Objectives:

1. To provide adequate recreational opportunities to improve the health and well-being of all CWK residents.
2. To improve access to parks and open space through acquisition of lands for future parks in ways that achieve an equitable distribution of parks throughout the City, linkages between natural areas and a variety of park types.
3. To conserve West Kelowna's natural and cultural heritage through the acquisition of environmentally and culturally significant areas for protection as privately held greenspace or natural areas, or as publicly accessible park or greenspace.
4. To provide adequate parks and open space to support both residential and visitor use.
5. To maximize opportunities for indoor and outdoor recreation programs and services.
6. To pursue partnerships, joint uses with other agencies and other opportunities to provide and fund additional parks and recreational facilities and services.
7. To consider a variety of alternatives to help offset costs associated with purchasing parkland.





### 2.18.2 Natural Areas and Public Parks Policies

1. Apply the principles of **Crime Prevention Through Environmental Design (CPTED)** to parks and open space so that they are accessible in a safe and convenient manner.
2. Consider the policy and implementation direction established by the Parks and Recreation Master Plan.
3. Upon subdivision, the minimum 5% dedication of land or funds in lieu of dedication for parks will be used to complement the City's park system in accordance with the provincial regulations of the *Local Government Act*, and the City's Parks and Recreation Master Plan.
4. Seek to protect natural areas for its conservation value and where it complements the existing park and trail system through park dedication above the maximum 5% at subdivision, in line with the criteria and guidance provided by the Park Land Acceptance Policy.
5. Through a variety of strategies aim for 20% of land area within West Kelowna to be in the form of natural areas and **publicly accessible open spaces** such as parks, trails, and plazas. As areas develop, ensure sufficient open space is provided to offset the increased densities. (Refer also to Schedule 3, **Greenbelt** and **Greenways** Data table, which outlines the current area attributed to each of the seven types of **greenbelt** or **greenway** that contribute to the 20% goal within the **Growth Boundary** of the City of West Kelowna.)
6. Require Area Plans and Development Applications to include parks, open space, pedestrian and linear corridors and major recreation facilities. These must include consideration of the City's Parks and Recreation Master Plan, park pre-plans, community and staff input.
7. Encourage efforts by community organizations, Trusts and Service Groups to partner in the acquisition, maintenance or management of publicly owned spaces including parks, boulevards, foreshore, community gardens, trails, **greenways** and **greenbelts**.
8. Coordinate park planning initiatives with regional partners to ensure the efficient and effective provision of parks and recreation services, and to ensure that, whenever possible, linear parks connect across municipal boundaries.
9. Where appropriate, consider negotiation with agricultural landowners and appropriate provincial ministries and agencies, for provision of linear park linkages and public right of ways adjacent to or along the edge of, but not necessarily within, agricultural lands.
10. Consider acquiring significant large natural areas through purchase, donation, negotiation at the time of zoning or use of **density bonusing**, where such action is believed in the City of West Kelowna's best interest, and the land and processes comply with the Park Land Acceptance Policy.
11. At time of subdivision for all development types, and at time of zoning amendment for mixed-use, multi-residential, commercial, industrial and institutional developments, secure a **Statutory Right of Way (SRW)** for public access, up to 10 metres in width, where trails are included in a **Greenways** and **Greenbelt** Plan, or adjacent to creek corridors, or as otherwise identified during the development application process. The 10 metre corridor may be in addition to, and outside, any riparian management area requirements imposed through Environmental Development Permit Guidelines.
12. Continue working with RDCO, BC Parks and other community partners to foster the preservation and enhancements of West Kelowna's parks and open spaces.

## 2.19 COMPREHENSIVE DEVELOPMENT AREA

The Comprehensive Development Area (CDA) designation applies to lands identified through historical neighbourhood planning processes where Council may consider development interests in the area, but where the lands have not been thoroughly assessed for development potential. In these areas, significant constraints may affect their development potential, such as infrastructure, servicing, access, topography, visual impact or environmentally sensitive areas.

For these reasons, these areas must be planned on a comprehensive basis which may require collaboration/joint applications between adjoining landowners as a Comprehensive Development Plan (CDP). Although the identified Comprehensive Development Area designated lands lie within the **Growth Boundary**, consideration of any development application for these lands may only be authorized through resolution of Council (see Section 5.4 for additional detail regarding the CDP process).

USES	MAXIMUM DENSITY	MAXIMUM BUILDING HEIGHT
<ul style="list-style-type: none"><li>• Publicly accessible greenspace/parks</li><li>• Protected natural areas and privately held greenspace</li><li>• Low-impact recreation</li><li>• Other uses pending further study</li></ul>	<ul style="list-style-type: none"><li>• pending further study</li></ul>	<ul style="list-style-type: none"><li>• pending further study</li></ul>

### 2.19.1 Comprehensive Development Area Objectives

1. Align potential development opportunities in consideration of the City's growth concept strategies, and ongoing Land Use Analysis.
2. Ensure that the planning of new neighbourhoods and design of community infrastructure occurs in advance of individual or site-specific official community plan, zoning amendment and subdivision applications, including consideration of emergency services (fire and police).
3. Identify and evaluate impacts (both short and long term) to the community, and provide a thorough understanding of potential implications in these areas prior to consideration of development.
4. Ensure that proposed land uses are responsive to the topography and servicing challenges of the site.
5. Protect visually prominent hillsides, ridgelines and environmentally sensitive areas.
6. Support the preservation and enhancement of the agricultural land base in consideration of the City's identified agricultural policies within the OCP and Agricultural Plan.
7. Ensure that new development provides clear and substantial benefits to the community.
8. Minimize unacceptable impacts to the community or the environment.
9. Support the principle of complete neighbourhoods, including commercial areas provided they fit well with the neighbourhood, promote walkability, are compatible with services and other land uses in the area, and are viable given the location and community size.

### 2.19.2 General Comprehensive Development Area Policies

1. Consider applications for development only where community infrastructure (particularly network roads, community sewer, and community water supply) may be extended in a sequential and cost effective manner.
2. Prior to commencement of development application for a Comprehensive Development Area, terms of reference will be prepared by the Director of Development and brought forward to Council for consideration. The Terms of Reference will outline the general and specific requirements for the Comprehensive Development Area, consistent with the requirements outlined further in Section 5.4 related to the preparation of a Comprehensive Development Plan.



3. Where a Comprehensive Development Plan (CDP) has been completed for a CD Area and endorsed by Council, the City will consider amendments to the OCP Bylaw to ensure consistency with the approved CDP. Following the OCP amendment, the City will consider support of individual Zoning Bylaw amendment applications that are consistent with the CDP and OCP.
4. Proposals within the CD Areas to amend the OCP or Zoning Bylaws prior to the completion of a Comprehensive Development Plan or contrary to a CDP are unlikely to receive support. However, the application remains subject to Council discretion and Council would consider the application in accordance with Section 460(2) of the *Local Government Act*.
5. Should development within a CD Area be considered independent of the completion a full Comprehensive Development Plan, development should only be considered where:
  - a. The proposed development area lies immediately adjacent to existing municipal services and transportation infrastructure and the proposed urban expansion is based on a coordinated, phased approach in conjunction with the timely or phased extension of services in a continuous, sequential and cost effective manner; and
  - b. Detailed studies have been completed as part of the application process regarding:
    - i. The City's anticipated growth in relation to land use inventories indicating the need for further community development based on absorption rates within the City, and where:
    - ii. An evaluation of the site specific constraints for the proposed development area indicates feasibility of the site to meet the proposed development;
    - iii. An evaluation of the proposal indicates alignment with the City's Housing Strategy; and
    - iv. An evaluation of how the proposed development meets the broader objectives of the CD Area.

### 2.19.3 Goat's Peak CD Area Policies

The Goat's Peak CD Area is comprised of a number of parcels with multiple landowners, and is comprised of the remaining privately held lands within the Goat's Peak CD area. As such, revised policies reflect this refined area.

1. Consider the provision of additional community infrastructure, such as services, access, and amenities, to enhance existing and proposed regional and municipal parks and trails within the Goat's Peak area.
2. Provide a coordinated transportation and servicing infrastructure plan for all of the remaining identified lands within the Goat's Peak CDA for any application within the area.
3. Provide a detailed evaluation of the City's anticipated growth and land use inventory that confirms the necessity of the proposed development within the Goat's Peak area, including consideration of the phasing of development and timing of infrastructure and servicing extensions.

### 2.19.4 Raymer CD Area Policies

The Raymer CD Area is comprised of a number of parcels with multiple landowners, and reflects a smaller development area than previously contemplated under historical applications with the City. As such, revised policies reflect this much smaller scale and scope of development potential considering a more basic analysis of the known transportation, community infrastructure, environmental, geotechnical, archaeological and other constraints. (Policies related to the larger Bear Creek Road/Raymer (North) area are identified within Section 5.4.4.)

1. Notwithstanding the specific Comprehensive Development Plan requirements noted as per Section 5.4.3, the potential development of the Raymer CD Area may include a more focused consideration of the following requirements:
  - a. A coordinated phasing approach that matches phasing plans for new neighbourhoods with the availability of full urban services - connection to established community run systems will be preferred where proposed development is adjacent to existing development areas and community infrastructure (particularly network roads, community sewer and community water supply) is extended in a contiguous and sequential cost effective manner;

- b. An evaluation to determine the potential impact on the adjacent Crown parcels (i.e. Regional parklands, potential acquisition for road, servicing and infrastructure connections, or WFN interests) and potential management considerations;
- c. A recreational trail network between Crown land, provincial and regional parks and connection to existing neighbourhoods and other Centres, as well as the potential protection of natural areas for its conservation values through park dedication, where appropriate;
- d. The identification of ALR lands and appropriate use of the Agricultural land use designation, as well as an evaluation of the necessity of **buffering** and setbacks between urban uses and **ALR** lands to help manage expectations of residents adjacent to working farmlands (with regard to odour, noise and spraying); and
- e. The identification and consideration of other technical items such as:
  - i. Important **views**scapes, such as those from Okanagan Lake and Kelowna City Centre;
  - ii. Environmentally sensitive areas, wildlife corridors and ecosystem connectivity maintenance and protection;
  - iii. Access, including: identification of additional access routes and the impact of traffic on existing roads and neighbourhoods; upgrading of affected access routes; road network improvements as outlined in West Kelowna's Transportation Master Plan, and the transportation section of the OCP; Emergency access/egress;
  - iv. Wildfire hazards;
  - v. The direction of surface and ground water drainage including assessment of water table and ground water hydrology; stormwater discharge considerations; consideration of raising of Rose Valley reservoir to "full pool", in order to protect the Rose Valley drainage basin; hydrological survey to identify natural springs;
  - vi. Historic and archaeological site identification and preservation; and
  - vii. Institutional requirements as part of a compact, complete community philosophy.









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# OCP POLICIES

The British Columbia Local Government Act allows Municipalities to set out policies for a variety of items within their Official Community Plans (OCPs) to guide the decisions and operations of the local government. While these policies do not commit the local government to proceed with any works or projects mentioned in the OCP, all other bylaws and works undertaken by the local government must be consistent with the content in the OCP.

The policies in this OCP seek to achieve the #OURWK Vision as West Kelowna approaches the year 2040. They cover topics ranging from land use and planning, to the environment and sustainability, culture and recreation, and the economy.

In addition to policies, this section of the OCP contains action items which identify actions that the City may undertake in order to accomplish the objectives and policies of the OCP.

These policies also reflect the #OURWK Community Vision, which is summarized by its Foundations and Key Actions in the graphic below. Each policy section contains icons relating to the Key Actions represented in the Community Vision.



Figure 15. #OurWK Key Directions



# BUILT FORM AND COMMUNITY CHARACTER



As West Kelowna grows, developing a city that is attractive, livable and sustainable is essential to achieving our community vision. The directions in this section are used to encourage development that supports successful and healthy communities. The objectives and policies in this section are set out to establish a high-quality standard of development, and assist in expressing our unique **sense of place**.

The Land Use Designations section provides direction on future location, scale and type of growth in West Kelowna, shaping a broad pattern of (re)development envisioned for the City's future. In the Built Form and Community Character, the focus is more so on individual buildings, blocks, public spaces and the overall character of communities. Growth and development have a role in creating and reinforcing a community's **sense of place**, including through thoughtful, human-scaled urban design. The architectural form and character of private development is implemented specifically through the Development Permit Guidelines (See Section 4).



## 3.1 URBAN DESIGN AND THE PUBLIC REALM



The **public realm**—areas that are accessible to the general public—includes the spaces between privately-owned buildings or properties as well as plazas, the municipal network of streets and boulevards, sidewalks, parks and trails, natural areas and scenic vistas, civic buildings and community facilities. West Kelowna will focus on creating streets for people, expressing our unique **sense of place**, and protecting and connecting green and blue spaces for generations to come.

Urban design addresses the form and character of the **built environment**, development sites and their context within the **public realm** across a variety of districts and neighbourhoods. Successful urban design creates places that are beautiful, functional and accessible to all, contributing to the “look and feel” of an area, and which may incorporate elements of both the natural and **built environment**.

High quality, contextual built form and **public realm** design is important to developing a distinct character and vibrancy in the Boucherie and Westbank Urban Centres, and across the five Neighbourhood Centres of West Kelowna. As redevelopment occurs in these areas, the Objectives and Policies of this section will serve to define the quality and character of new buildings and spaces, promoting successful integration with existing communities.



### 3.1.1 Urban Design and the Public Realm Objectives

1. To promote a vibrant, mixed-use character in the Westbank and Boucherie Urban Centres, including development which supports a broad range of housing, commercial and employment options.
2. To facilitate development in the Neighbourhood Centres that contributes to diverse nodes of housing and retail/service opportunities at a lower scale than the Urban Centres.
3. To provide well-integrated parks, open spaces and natural areas throughout the community which are safe and accessible for all residents and visitors.
4. To encourage opportunities for privately-owned publicly accessible spaces (POPS) and a wide variety of amenities as part of new development.
5. To ensure high quality urban design and built form that considers the natural landscape, drawing on the attributes of regional architecture and context.
6. To promote animation of the **public realm** through a mix of active, grade-related uses that support walkability and an engaging pedestrian experience.
7. Enhance the character of neighbourhoods through high-quality, visually appealing **infill** design.
8. To encourage high-density development that respects nearby agricultural uses, by limiting impacts to existing or future agricultural operations.
9. To encourage design that promotes universal accessibility and to strive to remove and prevent barriers to access of buildings and services within the **public realm**.





### 3.1.2 Built Form Policies

1. Where appropriate, more creative, innovative, and diverse forms of development will be considered to achieve specific goals including mixed-use intensification, **affordable housing**, sustainable building standards and new community facilities.
2. The design of all new buildings and the **public realm** will be attentive to the **pedestrian scale** and street-level experience, including through architectural treatment of street walls and consideration of building massing impacts.
3. In support of urban agriculture, biodiversity and pollinator species, new buildings will be encouraged to incorporate the use of edible landscaping and/or vertical and rooftop gardens.
4. The design of the public realm must consider long-term operation and maintenance, and agreements put in place where these areas are to be maintained by private development.
5. Continue to support **infill** housing through existing or new regulatory controls related to built form and neighbourhood character, such as:
  - a. Ensuring all secondary suite conversions should maintain the appearance of the principal dwelling as a single-detached house;
  - b. Requiring all **infill** projects to demonstrate the ability to accommodate appropriate parking for the development;
  - c. Encouraging the sensitive integration of **infill** projects, which may include utilizing design elements found within the neighbourhood to support the existing character of the area; and
  - d. Encouraging design that incorporates FireSmart Principles.

### 3.1.3 Urban Design Policies

1. Where possible, design of new development should integrate visible links to the community's natural and cultural heritage.
2. New development should enhance the safety and security of community members by preventing and reducing opportunities for criminal activity through informed urban design, such as **Crime Prevention Through Environmental Design (CPTED)** principles.
3. New development should incorporate principles of universal accessibility.

### 3.1.4 Land Use along Major Roads Policies

1. Site design will generally orient primary building frontage to Major Roads, with parking and 'back-of-house' or servicing functions located to the rear.
2. Land uses adjacent to roads will be encouraged to enhance the visual character of the street through architecture, and urban design, including landscaping.
3. **Buffering** between Major Roads and other land uses will be required, where appropriate, such as through landscaping, plantings and open space.
4. Coordination with the Ministry of Transportation and Infrastructure, where appropriate, will be encouraged to improve the pedestrian environment along Highway 97 within the Westbank and Boucherie Urban Centres and at all major intersections and crossings.
5. Encourage the development of community gateways to include appropriate community signage, cultural and art displays within landscaped features, where possible through adjacent development application processes, or through City initiatives.
6. A Neighbourhood Identification Strategy and Signage Plan will be considered for implementation, where appropriate, across West Kelowna.





### 3.1.5 Landscaping City Streets Policies

1. New development will contribute to the enhancement of the **streetscape**, especially in the Urban and Neighbourhood Centres, including through the installation of street trees, landscaped boulevards and centre medians with consideration for ongoing operation and maintenance. Where possible, **xeriscaping** and drought resistant native plant species should be incorporated and the use of extensive retaining walls along street frontage should be avoided.
2. Existing trees will be protected and maintained on public property, and on private lands where possible, including rights-of-way and highways, and through road improvements and upgrading.
3. New development will engage with the Ministry of Transportation and Infrastructure, where appropriate, regarding increased funding for **streetscape** improvements in the Boucherie and Westbank Urban Centres and to provide boulevard maintenance on tourist routes such as Highway 97.
4. New development will work with the Province and utility agencies, as needed, to develop and implement programs for the removal and relocation of existing overhead wiring in the Urban and Neighbourhood Centres.

### 3.1.6 Urban Design and Public Realm Action Items:

1. Update the Westbank Centre Revitalization Plan to reflect the new goals and priorities established in the OCP. This may include an updated set of Urban Design Guidelines for the Westbank Urban Centre to address specific **public realm** elements, energy and water efficiency standards to an adequate level of detail within the Development Permit Area guidelines. New guidelines may also include the Boucherie Urban Centre and Neighbourhood Centres to reflect a consistent implementation of the Community Vision between all the identified Centres. Detailed design standards may also be developed to address the specifics of the expanded Urban Design Guidelines for inclusion in the Works and Services Bylaw.
2. Develop and implement a Boucherie Centre Plan, which follows the guidance provided in this OCP's Land Use Designations, if not already addressed through design guideline review associated with the Urban Centre review with the Westbank Centre Revitalization Plan update.
3. Existing roads and locations in the Urban and Neighbourhood Centres will be identified for improvements to promote increased active transportation and universal accessibility to implement new road and walkway design standards as outlined in the TMP. These will be implemented through new street-related development, including City infrastructure projects.
4. Development of City requirements for boulevard street tree and planting programs will be considered through review of the Works and Services Bylaw, consistent with applicable Development Permit Guidelines in Section 4.
5. A Tree Management Plan will be established that:
  - Prioritizes streets for tree plantings, and includes planting specifications and location standards;
  - Identifies tree species, inventories, locations, type and life expectancy of trees in the City of West Kelowna's street tree program; and
  - Outlines a systematic tree maintenance program.
6. Continue to explore incentives will be explored for public participation in tree planting programs in new and existing developed areas with a shortage of street trees.
7. A Community Tree Canopy Target and Street Tree Policy and Plan will be developed to establish and implement the target.
8. A review of fencing and street interface policies within the Development Permit Guidelines will be conducted to ensure they reflect best practices and the proposed Street Tree Policy and Plan, once developed.

## 3.2 TRANSPORTATION



Transportation and land use are fundamentally connected. The way we grow as a city will significantly impact the way we move. Cities which are made up of communities that have a mix of densities, including centres with residential, business and recreational opportunities, result in shorter trips for residents more likely to be taken through walking, cycling or transit, resulting in less traffic volume and vehicle emissions. Additionally, areas that have denser and more concentrated residential and commercial land uses tend to be more successful in supporting frequent and reliable transit service, as well as a wider range of businesses.

As West Kelowna grows, we are committed towards shifting to sustainable transportation options. While the Transportation Master Plan outlines the path forward for our transportation infrastructure, the OCP outlines land use and development strategies that can promote a shift towards more trips being taken through active modes or public transit. Shifting to more sustainable transportation options is not only an effective way to reduce our carbon emissions, but it results in cleaner air for residents, healthier lifestyles, and oftentimes a tighter-knit community.

Policies and objectives that help to address transportation issues including traffic calming, transit priority, improved cycling and pedestrian infrastructure, and parking management will also help to achieve a more efficient and safer transportation system.

This OCP was developed alongside with the latest Transportation Master Plan, and both share a consistent vision for West Kelowna. The Transportation Master Plan includes detail on how the transportation network in the City will evolve, and additional policies to support the OCP and overall vision of the City.



### 3.2.1 Transportation Objectives

1. Make it easier for everyone to choose sustainable and affordable options for traveling to, from and within West Kelowna.
2. Improve the overall experience, convenience, and safety for all modes and residents through the design of streets and neighbourhoods.
3. Promote development in the Urban and Neighbourhood Centres that contributes to a critical mass of population to make walking, cycling and public transit viable.
4. Improve the safety and reliability for people and goods to move around West Kelowna.
5. Reduce greenhouse gas emissions through the design and operation of the transportation network, in coordination with provincial mandates.
6. Design and adapt transportation infrastructure to be resilient to climate changes and natural disasters.

### 3.2.2 General Transportation Policies

1. All development must consider the Transportation Policies within the OCP, as well as applicable policies within the Transportation Master Plan.
2. Develop and maintain a traffic model of the City's transportation network.



3. Implement a Transportation Master Plan (TMP) that addresses current and future needs for all transportation modes, including pedestrian, bicycle, public transportation and automobile while continuing to improve transportation safety through the implementation of infrastructure, design, traffic calming and construction best practices.
4. Promote a higher degree and intensity of mixed land uses within identified growth centres to reduce the need for vehicular travel and longer trips, and support frequent public transit service, and encourage high density and affordable housing near the transit network, particularly the Route 97 transit exchanges.
5. Create enabling conditions to make active transportation and public transit competitive with driving, especially within the Urban and Neighbourhood Centres, including locating higher and medium density residential uses near jobs and services.
6. In Westbank Urban Centre, the Brown Road corridor will serve as a focal point for urban design through new developments and traffic calming, ensuring this area is walkable, accessible, and attractive.
7. Promote recreation and active transportation through the development of greenway trails.
8. At subdivision and zoning amendment stages of development, ensure that walking and cycling paths and lanes for all users link to adjacent major natural areas, parks, schools, other public institutions, employment nodes, transit stops, and community activity areas, and within and between new and established neighbourhoods. Streets created by subdivision will be integrated with existing roads and planned out in ways that are conducive to walking and cycling.
9. Support regulations that require pedestrian and cycling facilities as part of new developments, including bicycle parking, lockers and shower/change rooms, as appropriate.
10. New development will introduce new or enhance existing pedestrian connections, including through financial contributions to off-site pedestrian network improvements, where appropriate.
11. Promote the creation of a car-share policy, zero-emission vehicles, EV charging stations, and measures aimed at maximizing transportation options in new development, including through reductions to minimum parking requirements.
12. Explore shared public-private parking facilities and other efficiency strategies such as car-share spaces.
13. Leverage proposed development in Urban and Neighbourhood Centres to improve the active transportation network.
14. Development applications need to consider emergency access/egress, where appropriate.
15. Encourage an enhanced investment in pedestrian, cycling, and transit connections to and around schools and other locations with vulnerable users.
16. Continue work to reduce active transportation crossing barriers at key locations, such as intersections, creeks, and highways to increase options for people's movement in an effort to enhance community connectivity.

### 3.2.3 Greenways and Linear Trails Policies:

**Greenbelts** and **Greenways** have been identified as part of a concept for an interconnected network of existing and proposed community-wide linear trails, parks, greenspaces and/or protected areas (see Schedule 2 - Greenbelts and Greenways Concept map). The goal is to preserve natural areas and significant landscape features, **buffer** development edges, strengthen recreation opportunities and support **multi-modal transportation** alternatives. **Greenbelts** and **Greenways** consisting of trees and climate- appropriate vegetation serve to improve community health and livability. Additional linear trails may also be identified as part of the Transportation Plan, or at time of application review. Linear trails, and lands within proposed **Greenbelts** and **Greenways** may be protected, preserved, dedicated, or acquired at the time of zoning amendment and/or subdivision.

1. Linear trails and **Greenways** should significantly contribute to the City's goal for 20% of land area within West Kelowna to be in the form of protected natural areas and/or publicly accessible parks, trails, and greenspaces to ensure sufficient open space is provided to offset increased densities.
2. As a key component of the City's transportation network, support the protection and acquisition of linear

trails and **Greenways** at the zoning amendment and subdivision stage, where:

- a. Protection and acquisition may include some form of right of way dedication, registration of a Section 219 covenant, or zoning the area as park, as applicable; and may even include parkland dedication subject to the City's Park Land Acceptance Policy; and
  - b. Where a linear trail or **Greenway** has been identified as a key component of the overall transportation network within the City's master plans, it is not eligible as credit towards *Local Government Act* parkland dedication requirements at time of development, except at the City's discretion.
3. While not directly connected to transportation goals, consideration of any linear trails and **Greenways** should also consider connectivity to potential lands identified as **Greenbelts** in Schedule 2, which is further noted in Section 3.5.2.
  4. Support the development of pathways and rest areas within **Greenbelts** and **Greenways**.
  5. Ensure the linkage of natural areas with parks, **watercourses**, and **Greenbelts** in adjacent neighbourhoods to provide connectivity for recreation and active transportation.
  6. Work with supporting agencies and interest community groups to promote and develop community **Greenways**.

### What are Greenways?

**Greenways are publicly accessible corridors over protected open space or linear parks that are maintained for conservation, recreation and non-motorized transportation to connect other parks and destinations, where the common element is that the area includes some form of preserved greenspace. You may note that a "linear trail" is not always a Greenway, as it could be a fully urbanized trail with no greenspace components.**

### How is a Greenbelt different from a Greenway?

**Greenbelts are defined open natural spaces protected from urban development by covenant, development permit areas, or other mechanisms, and maintained for conservation or passive recreation which may either private or public space. Greenbelts are not typically a linear configuration.**

## 3.2.4 Transportation Action Items

1. Support the Greenbelt and Greenways Concept by identifying implementation steps for the potential acquisition, development and maintenance of Greenways identified in the OCP on Schedule 2, Community Greenbelt and Greenway Concept, or as integrated within the City's Transportation Master Plan, as well as the Park and Recreation Master Plan which should also identify additional Greenbelts.
2. Explore new and expanded initiatives through BC Transit - Kelowna Regional Transit System which respond to the OCP Growth Concept, supporting transit-oriented development and potential for regional connections.
3. Create and sustain a network of parks, linear corridors and green spaces within West Kelowna through designation of Greenbelts and Greenways.
4. Prioritize and develop the active transportation network as outlined in the Transportation Master Plan.
5. Work with the Ministry to shift Highway 97 in Westbank Urban Centre to advocate to transition Dobbin Road to a two-way highway to allow Main Street to convert to a two-way town centre street with a community / commercial focus.
6. Develop mobility hubs at Westbank and Boucherie Mountain transit exchanges to increase transportation options and transit ridership.
7. Develop guidelines or a process to accommodate shared parking in Urban and Neighbourhood Centres.







## 3.3 COMMUNITY INFRASTRUCTURE AND SERVICING



Our infrastructure: the water, sewer, stormwater, communications, and energy networks form the backbone of the City. As West Kelowna grows into the vibrant City of the future, strategic investment and long-term planning for infrastructure and its operation and maintenance is required to support this evolution. Future growth and development are integrally linked to infrastructure capacity as well as to the environmental resiliency of our community.

### 3.3.1 General Infrastructure Objectives

1. Create and maintain infrastructure and services that are resilient to the impacts and risks of climate change.
2. Prioritize infrastructure and operation and maintenance investment decisions that align with community growth priorities, focusing on efficient and strategic development.
3. Align and partner with Westbank First Nation and other surrounding municipalities in the development and implementation of infrastructure, including third party providers where appropriate.
4. Ensure development supplies infrastructure that contributes towards the goals of this OCP.

### 3.3.2 General Infrastructure Policies

1. Support alternative development standards to permit green infrastructure, public amenity or active transportation infrastructure on public land where such opportunities are technically feasible, where operations and maintenance considerations have been identified and are supported, and where such infrastructure is in accordance with the vision and goals of the OCP.
2. Make infrastructure planning, investment, operations and maintenance decisions from an asset management perspective that considers long-term life-cycle full cost accounting. This includes the design, maintenance and renewal of infrastructure and utilities, including natural assets.
3. Design infrastructure to serve multiple purposes, wherever appropriate. This includes coordinating between City divisions, other levels of government and utility service providers to ensure all infrastructure expansion and renewal projects consider multiple community objectives and agency needs.
4. Explore cost-sharing opportunities and other funding sources to provide the required infrastructure in Urban and Neighbourhood Centres to encourage redevelopment and intensification. These can include:
  - a. Grants from other levels of government,
  - b. Public-private partnership agreements,
  - c. City-as-developer schemes, or
  - d. Other innovative financing mechanisms.
5. Explore opportunities to provide interim servicing capacity for initial developments in the Westbank and Boucherie Urban Centres to potentially defer full-system upgrades.
6. Collaborate with utility companies to coordinate the development and delivery of reliable, safe, and efficient electricity, natural gas, and other energy and communications infrastructure (e.g. solar, geothermal, etc.) to leverage efficiency, minimize costs, and mitigate negative impact to the community and to the environment.

### 3.3.3 Water

Water is a precious resource in the Okanagan Valley; the lifeblood that supports the agricultural, economic, and environmental vitality of the region. The vision for Our Adaptability speaks to the need for proactive management and protection of the City's water supply and associated natural habitats.

#### 3.3.3.1 Water Objectives

1. Supply high quality, protected drinking water to all residents.
2. Protect natural water courses, watersheds, wetlands, and shorelines.



3. Continue to implement the Water Conservation Plan, and consider updates as necessary, to support water conservation and water quality objectives through educational tools and programs, water restriction policies, water loss management, rate and billing analysis, and others methods.
4. Reduce water and energy consumption by the City, residents, and businesses.
5. Continue to provide a cost-effective, safe, and sustainable supply of drinking water.

### 3.3.3.2 Water Policies

1. Ensure a safe supply of drinking water, including collaboration with Westbank First Nation regarding water service connections to the City's water system.
2. Balance the needs of a growing city with water availability for agriculture.
3. Explore the implementation of a range of measures to reduce community water consumption including outdoor water use restrictions, development and building bylaws, universal water metering, rainwater harvesting and conservation-oriented water rates.

## 3.3.4 Stormwater

The City owns, operates, and maintains the stormwater collection system within its boundary. As part of the vision for Our Adaptability to address the impacts of climate change and planning ahead for infrastructure needs, an increased emphasis on sustainable stormwater management is needed. This includes the proactive design of stormwater systems to protect natural habitats and water quality and mitigate flooding and other damage to public or private assets. The community seeks to manage stormwater through capture and ecological treatment, mimicking natural systems and demonstrating the City's leadership in sustainable design and asset management.

### 3.3.4.1 Stormwater Objectives

1. Proactively reduce the impact of stormwater runoff to downstream terrain, infrastructure and **watercourses** through planning and design.
2. Promote the benefits of **low impact design** and stormwater infiltration through educational initiatives and programs.
3. Consider watershed health and sustainability objectives at the beginning of all land use planning processes, to ensure policies support resiliency and water quality improvement.

### 3.3.4.2 Stormwater Policies

1. Ensure the design and management of storm water will avoid impact to downstream properties.
2. Support the integration of rainwater detention, infiltration and conveyance systems with community or natural amenity space where possible. Promote park and **streetscape** designs that serve as temporary rainwater detention and encourage rain gardens and other forms of low-impact development. Where a surface drainage system has been designed to function as a park or natural open space, it is not eligible as credit towards *Local Government Act* parkland dedication requirements at time of development, except at the City's discretion.
3. Reduce runoff through promoting permeable surfaces and discouraging impermeable surfaces.
4. Design new rainwater infrastructure to manage flows to pre-development rates including future climate change projections. This includes preventing frequently occurring small rainfall events from becoming surface run-off and ensuring the maintenance of minimum base flows, and in some instances augmented base flows, in water bodies.
5. Mimic natural ecosystem processes in rainwater system design and construction as much as possible. This includes minimizing runoff, maximizing infiltration, preserving and protecting the water absorbing capabilities of soil, vegetation and trees particularly along riparian corridors and minimizing impervious surfaces on both private and public lands.
6. Ensure stormwater meets applicable BC surface water objectives at the time it is discharged into receiving water bodies.
7. Apply best practices to land use management to prevent erosion and sedimentation during construction and for agricultural practices.

### 3.3.5 Wastewater

The City owns, operates, and maintains the wastewater collection system within its boundary, with the exception of Regional District of Central Okanagan (RDCO) trunk mains. The system consists of a pipe network and associated lift stations, force mains, and appurtenances. This system has been under the direct control and management of the City since 2010. Wastewater that is collected from the City system is conveyed to the Westside Regional Treatment Plant, which also treats wastewater from the Peachland and Westbank First Nation areas.

#### 3.3.5.1 Wastewater Objectives

1. Protect potable water and natural **watercourses** from contamination from wastewater.
2. Encourage the strategic expansion of community sewer systems within growth areas in support of the removal of septic systems.
3. Encourage efficient wastewater practices.

#### 3.3.5.2 Wastewater Policies

1. Restrict septic system development, especially within growth boundaries.
2. Collaborate with private industry and other levels of government to retrofit and replace existing septic with new connections to waste water systems.
3. Restrict expansion of the wastewater system into rural or agricultural lands unless required for the protection of the natural environment or public health.

### 3.3.6 Solid Waste

Solid waste management refers to the collection and disposal of garbage, and the promotion of recycling, diversion, and composting. Waste Management is presently coordinated and managed by the RDCO. The Westside Residential Waste Disposal and Recycling Centre (formerly the Westside Landfill) is owned and operated by the RDCO. All garbage and green waste from the City is disposed of at the Glenmore Landfill in Kelowna, which is a regional facility, owned and operated by the City of Kelowna.

As part of solid waste service, the City of West Kelowna pays into the RDCO who provides residents with weekly curbside garbage pickup and biweekly curbside collection for a variety of recyclables. Green waste is also collected on a biweekly basis between March and December.

#### 3.3.6.1 Solid Waste Objectives

1. Reduce the generation of solid waste, and increase waste diversion from the landfill, with:
  - a. Enhanced focus on reducing food, agricultural, and construction waste; and
  - b. Support and education to reduce cross contamination in the collection system.
3. Reduce littering and illegal dumping on public and private land.
4. Support and educate on a circular economy that values the reuse of materials and resources.





### 3.3.6.2 Solid Waste Policies

1. Continue to implement and participate in the RDCO Solid Waste Management Plan in cooperation with other regional stakeholders to ensure a regionally consistent approach to reduce waste in alignment with the goals, principles and strategies outlined in the plan.
1. Support the continued review and expansion of garbage, yard waste, recycling, and kitchen organic waste collection services to all land uses.
2. Support local and regional programs to significantly decrease the amount of waste generation and increase the amount of landfill diversion and recycling.
3. Work with regional stakeholders on a long term strategy for the waste management and reduction.

### 3.3.7 Communication Infrastructure

The City owns, operates, and maintains a communications system to support the City's internal operations and infrastructure. The City also works to support reliable communications systems provided to residents and local businesses.

#### 3.3.7.1 Communication Infrastructure Objectives

1. Support third party communication providers that are reliable, safe, and efficient.
2. Embrace and support the establishment of new technologies in support of enhanced and new approaches to public engagement, information sharing and consultation.

#### 3.3.7.2 Communication Infrastructure Policies

1. Support the creation and maintenance of high quality and assured communications links, including dark fiber infrastructure to support the development of a Smart Cities approach and to provide City facilities with enhanced communication reliability and security, as well as reduced costs.
2. An enhanced fiber network may also provide opportunities to support economic development within our commercial, business park and industrial areas, and potential revenue generation may be possible where excess network capacity can support advanced technology agreements or partnerships with other government agencies or institutions.
3. Support the development of enhanced standards for telecommunications towers where the infrastructure is designed to blend with the natural landscape, and includes the consideration of coordination between operators to reduce the proliferation/duplication of communication infrastructure.

### 3.3.8 Community Infrastructure and Servicing Action Items:

1. Regularly review the **Development Cost Charges** Bylaw to ensure new development fairly funds growth related infrastructure.
2. Explore options to support low density residential **infill** development to increase housing availability with subsidized or reduced utility and development charge expense for water, stormwater, and sewer upgrades.
3. Investigate infrastructure systems and technologies to improve energy efficiency and resource reuse. Look for opportunities for capturing waste heat, heat exchange, energy generation, and rainwater reuse.
4. Evaluate opportunity for green infrastructure specifications and best management practices for incorporation into regulatory tools such as zoning and subdivision and development servicing bylaws.
5. Update the Stormwater Master Plan in support of the proposed growth concept in the OCP.
6. Update the Sanitary Sewer Master Plan in support of the proposed growth concept in the OCP and in consideration of unserviced areas within the growth boundary.

## 3.4 CLIMATE AND ENVIRONMENTAL RESILIENCY



West Kelowna is a community of choice; a place where quality of life and quality of the environment intersect in a unique way. The vision for the West Kelowna of the future acknowledges the role and contribution that each citizen has to play, and identifies the need to take bold action to address the impacts of climate change. The increasing frequency and intensity of climate events, such as more dramatic flooding in spring and longer fire seasons, highlights the City's vulnerability and the need to address the related impacts.

Actions taken by the community to address climate change support community wellbeing and the local economy; protecting the long term vibrancy of the City.

### 3.4.1 Climate Change

Climate Change has the potential to significantly impact the quality of life envisioned in #OURWK, and the community recognizes that and expects continued movement towards a more robust and resilient future.

#### 3.4.1.1 Climate Change Objectives

1. Fulfill the requirements of the British Columbia **Climate Action Charter**.
2. Promote, demonstrate, and adopt a shift to clean energy sources.
3. Commit to a target for greenhouse gas emissions that meets or exceeds the requirements of the British Columbia **Climate Action Charter**.
4. Prioritize climate resiliency in City decision making regarding policy, maintenance, and operations.
5. Support building a corporate and community culture with an emphasis on climate action.

#### 3.4.1.2 Climate Change Policies

1. Ensure long range planning processes, as well as the review of current development applications, considers specific climate change risks such as increased intensity of wildfire, flood, and drought events.
2. Ensure risk assessments include analysis of changes expected due to climate change, such as forecasting of rainfall intensity-duration-frequency curves, lake level rise to assess the magnitude of climate change effects, wildfire, drought and quantify that change over time.
3. Consider developing policies related to mitigating the impact of extreme climate events that result in immediate health hazards to City residents associated within risks such as extreme heat, air quality, etc.







### 3.4.2 Building Performance, Energy, and Emissions

Buildings contribute significantly to the energy consumption and greenhouse gas emissions of the City. As part of the vision to take bold action on climate change, promoting, designing, and retrofitting buildings is an integral part of creating a more resilient West Kelowna.

#### 3.4.2.1 Building Performance Objectives

1. Support building performance objectives toward net-zero emissions standards by setting an example through the design and construction standards of new municipal buildings.
2. Upgrade and retrofit existing municipal buildings to higher standards of building performance and energy consumption.
3. Promote, encourage, and incentivize private developments to adhere to the same standards of **green building** design.

#### 3.4.2.2 Building Performance Policies

1. Implement the BC Energy Step Code for all new non-City buildings as per Provincial targets:
  - a. Part 9 buildings to achieve Step 4 by 2027 and Step 5 by 2032; and
  - b. Part 3 buildings to achieve Step 3 by 2027 and Step 4 by 2032.
3. Encourage life-cycle tracking for carbon.
4. Public buildings should demonstrate leadership in environmental design to a similar or equivalent standard such as net-zero emission or **Leadership in Energy and Environmental Design (LEED)** Silver.

### 3.4.3 Energy and Emissions Management

The Government of BC continues to advance legislative and policy actions in support of increased energy efficiency and the reduction of **greenhouse gas emissions (GHG)**. The City of West Kelowna vision for the future supports these actions, as our community knows and understands the essential and time sensitive action that climate change requires. As a participant in the British Columbia **Climate Action Charter**, the City committed to:

- Becoming **carbon neutral** in our corporate operations;
- Measuring and reporting on the community's **GHG** emissions; and
- Creating complete, compact, and energy-efficient rural and urban- communities.

These core commitments form the basis for the City's energy emissions objectives and policies.

### 3.4.3.1 Energy and Emissions Management Objectives

1. Promote compact, walkable, energy efficient and higher density new development in alignment with the Growth Concept.
2. Reduce municipal **GHG** emissions, and support, educate, and promote the reduction of privately contributed **GHG** emissions.
3. Encourage alternative forms of energy that reduce **GHG** emissions and energy costs and support job creation and the vitality of the local economy.

### 3.4.3.2 Energy and Emissions Management Policies

1. Overall targets for community **GHG** emission reduction should reflect provincial targets, and achieve:
  - a. Target a 40% reduction in **GHG** emission by 2030 from 2007 levels;
  - b. Target a 60% reduction in **GHG** emissions by 2040 from 2007 levels; and
  - c. Target an 80% reduction in **GHG** emissions by 2050 from 2007 levels.
4. Support and participate in a regional air quality program.
5. Incorporate greenhouse gas reduction evaluation and pricing criteria in both modeling and procurement for all municipal infrastructure.
6. Encourage the investigation and development of renewable energy supply options, such as city energy, ground source heat pumps, solar and heat recovery systems.
7. Where an energy system is planned, implement a Service Area Bylaw to ensure new buildings in the service area are required to connect to the City energy system.

### 3.4.4 Climate Change and Environmental Resiliency Action Items

1. Develop and implement a Community Climate Action Plan that addresses the unique needs, opportunities and challenges of the City of West Kelowna.
2. Complete the Corporate Climate Action Plan to explore opportunities to reduce **GHG** emissions in an effort to become corporately carbon neutral, and implement the Plan once finalized.
3. Develop, support and maintain an active staff-based Climate Action Committee, with consideration for future Climate Action Coordinator position.
4. Conduct a City-wide risk and vulnerability analysis of municipally owned and operated infrastructure at the asset class and system level to determine the climate change impact vulnerability of municipal infrastructure and identify priority assets for adaptation interventions, incorporating existing analyses conducted to date.
5. Establish a program of climate change adaptation measures to implement on local and regional infrastructure, according to the priority established in the risk assessments. Ensure that the program includes inspections for high risk infrastructure, and green infrastructure interventions including urban forest strategy recommendations wherever appropriate.
6. Develop or update design standards for new municipal infrastructure that reflect anticipated results of the risk and vulnerability analysis.
7. Implement a retrofit plan for municipal buildings based on the Corporate Climate Action Plan, or update Energy Audits, as applicable.



## 3.5 NATURAL ENVIRONMENT AND HAZARDS



The Okanagan is recognized and revered as one of Canada's most ecologically rich and diverse areas of Canada. **Sensitive ecosystems** such as the open grasslands, rocky outcroppings, pine savs, and dry benchlands are nourished by **watercourses** and are critical arteries for the health and wellbeing of the land and the lake.

The Okanagan has more threatened endangered and rare species than any other area of the Province. Both scenic and fragile, the natural environment is sensitive to the pressures associated with community development and the City of West Kelowna has such a wide diversity of affected landscapes ranging from aquatic to hillside. The health of the natural environment - ecosystems, biodiversity, and water and air quality - is a shared responsibility. The choices we make in managing the environment, such as the amount of water we use, the type of plants we landscape with, how and when we burn debris, the types of buildings we build and how we heat them and the way we design our community will directly affect the quality of our lives in the future.

### 3.5.1 Biodiversity and Environmentally Sensitive Areas

The biodiversity and unique and special habitats of the West Kelowna landscape are critical aspects of its intrinsic value to the community.

#### 3.5.1.1 Biodiversity and Environmentally Sensitive Areas Objectives

1. Integrate measures to identify, protect, enhance and restore environmentally significant areas and local biodiversity in all land use decisions.
2. Encourage development and land uses that respond to the natural context of West Kelowna and are sensitive to existing environmental features.
3. Protect the natural look and appeal of West Kelowna's prominent natural features.

#### 3.5.2.1 Biodiversity and Environmentally Sensitive Areas Policies

1. Protect sensitive natural areas, while focusing growth in strategic areas.
2. Protect the natural look and appeal of West Kelowna's prominent natural features.
3. Protect the shoreline of Lake Okanagan, and maintain functional and visual access to the waterfront for the community.
4. New development along the shoreline, **riparian areas**, or other ecologically sensitive areas will require the protection of sufficient land needed to maintain protection and conservation of the area.
5. Require by way of development, restoration of already degraded ecosystems or sites and ensure ecological restoration work occurs on already disturbed sites.
6. Require that development plans consider and complement the natural topography of West Kelowna, while also considering universal accessibility and the retention of existing topographic features.
7. Encourage the preservation of culturally significant indigenous vegetation. Work with Westbank First Nation and other traditional knowledge holders to seek opportunities to identify, preserve, and celebrate culturally significant plants and ecology.
8. Encourage private stewardship of significant ecosystems through private property conservation tools such as conservation covenants, land trusts, and eco-gifting.

### 3.5.2 Greenbelts, Urban Forest, Parks and Natural Assets

Our Places celebrate the special areas that define the character and sense of community for West Kelowna and acknowledges that the green and blue spaces of the City must be protected and connected for future generations. The blue spaces consist of the City's watercourses (lakes, creeks, etc), and the spaces that connect to them. The green spaces consist of the City's natural areas, protected areas, as well as parks and linear trails.

**Greenbelts** and **Greenways** (also noted in Section 3.2.4 and shown on Schedule 2 - Greenbelts and Greenways Concept map) identify much of these green spaces as part of a concept for an interconnected network of existing and proposed community-wide linear trails, parks, greenspaces and/or protected areas. Beyond the transportation goals tied to **Greenways**, **Greenbelts** form an integral part of the City's goal to preserve natural areas and/or provide recreational opportunities to mitigate increased density and anticipated population increases within the City and region. Protection of trees and climate- appropriate vegetation serve to improve community health and livability. Lands within proposed **Greenbelts** and **Greenways** may be protected, preserved, dedicated, or acquired at the time of zoning amendment and/or subdivision.

#### 3.5.2.1 Greenbelts, Urban Forest, Parks and Natural Assets Objectives

1. Strive for 20% of land area within West Kelowna to be in the form of protected natural areas and/or publicly accessible parks, trails, and greenspaces to ensure sufficient open space is provided to offset increased densities and anticipated population growth within the City.
2. Connect existing and planned blue and green spaces to help establish a sustainable and significant natural asset network, including collaboration with other agencies to ensure completion of existing and future **Greenbelts** and **Greenways** within West Kelowna and to the region as a whole.
3. Work with community partners in protecting natural areas and waterways, including the Regional District of Central Okanagan, Westbank First Nation, and the Provincial Government.
4. Manage trees and forested areas within City owned or City controlled lands for the safety of residents.

#### 3.5.2.2 Greenbelts, Urban Forest, Parks and Natural Assets Policies

1. As a key component of the City's green space goals, support the protection and potential acquisition of lands identified as **Greenbelts**, at the zoning amendment and subdivision stage, where:
  - a. Protection and acquisition may include some form of right of way dedication, registration of a Section 219 covenant, or zoning the area as park, as applicable; and may even include parkland dedication subject to the City's Park Land Acceptance Policy; and
  - b. Where consideration of any **Greenbelts** should also consider connectivity goals identified within the Transportation Section 3.2.4 Greenways and Linear Trails for additional related transportation network policies, as well as the Park and Recreation Master Plan update.
3. Designate publicly owned land, or support the acquisition of land to create a centrally located park and plaza space within the Westbank Urban Centre. The centrally located park/plaza space should be coordinated with policies and objectives of the Park and Recreation Master Plan, and/or updates to the Greenbelts and Greenways Concept Schedule 2 and related Greenways and Linear Trails policies, or Greenbelts, Urban Forests and Natural Assets policies.
4. Maintain existing vegetated areas in **Greenbelts** and **Greenways**, and restore vegetative cover to naturally forested hillside areas for the purposes of controlling erosion, providing habitat, and enhancing the natural beauty of the City utilizing wildfire best management practices.
5. Provide habitat and linkages within **Greenbelts** and **Greenways** for rare and native plants associated with the Okanagan Valley.
6. Encourage the use of native plant and tree species in landscaping and restoration on public and private lands, where appropriate.



7. Incorporate natural assets as part of the City's Asset Management Planning.
8. Collaborate with Westbank First Nation and the Okanagan Basin Water Board to develop strategies to preserve and enhance the supply and quality of water and lands surrounding water bodies in West Kelowna.
9. Protect the natural appearance and ecological function of Mount Boucherie, with the exception of essential public infrastructure, where any visible components must be sufficiently screened using landscaping or printed wraps.
10. Encourage the development of **Greenbelts** and **Greenways** that assist in the retention of natural areas, and enhance views of natural areas when viewed from Okanagan Lake and various neighbourhoods within the City.
11. Where the City proposes improvements to greenspace, ensure that the improvements consider and incorporate the natural asset value of the site, wherever possible.
12. City projects must look for opportunities to preserve and enhance West Kelowna's urban tree canopy and sustainable stormwater management systems.
13. Support the development of zoning options that encourage residential cluster development so units or parcels are concentrated within a portion of a development site and the remainder of the site is left in its natural state.
14. Consider developing a Waterfront Acquisition Strategy to complement the Parks and Recreation Master Plan, and the Waterfront Plan.

### **What are Greenbelts?**

***Greenbelts are defined open natural spaces protected from urban development by covenant, development permit areas, or other mechanisms, and maintained for conservation or passive recreation which may either private or public space. Greenbelts are not typically a linear configuration.***

### **How is a Greenway different from a Greenbelt?**

***Greenways are publicly accessible corridors over protected open space or linear parks that are maintained for conservation, recreation and non-motorized transportation to connect other parks and destinations, where the common element is that the area includes some form of preserved greenspace. You may note that a "linear trail" is not always a Greenway, as it could be a fully urbanized trail with no greenspace components.***





### 3.5.3 Natural Hazards

When development is proposed, a variety of natural hazards must be assessed, such as fire, flooding, or rock slide. Development should be sensitive to the risk context of the site, and strategies for risk mitigation and impact integrated into the proposed design.

#### 3.5.3.1 Natural Hazard Objectives

1. Identify potential and existing natural hazards and avoid or mitigate the impacts on people, property, and the environment.
2. Raise awareness of wildfire, flooding, and other natural hazards through public education.

#### 3.5.3.3 Natural Hazard Policies

1. Require **FireSmart** landscape design principles for all new developments within Development Permit areas, and encourage property owners to apply them to existing private properties.
2. Restrict new public development to areas above the floodplain and retrofit critical civic infrastructure to withstand increased risk of flooding.

#### 3.5.3.4 Natural Environment and Hazards Action Items

1. Establish annual planting targets for new trees on public lands.
2. Prepare an urban forest strategy and develop a tree management bylaw that requires the protection of significant urban trees, trees in environmentally sensitive areas, and cultural significant trees, and requires replacement trees for new development.
3. Integrate mitigation and response to natural hazards from the City's perspective into the Regional Emergency Plan and/or individual operational plans (i.e. Flood and Environmental Emergencies).
4. Complete a risk and vulnerability analysis of municipally owned and operated infrastructure at the asset class and system level to determine the climate change impact vulnerability of municipal infrastructure and identify priority assets for adaptation interventions.
5. Consider the acquisition of parks and natural assets in accordance with applicable master plans and policy goals, including the update to the Park and Recreation Master Plan and any applicable recommendations.
6. Continue an analysis of community egress routes throughout all of West Kelowna to identify deficiencies and areas where additional egress routes can be provided. Acquire the land required for these access routes through new development wherever possible.
7. Inventory, identify, and protect **sensitive ecosystems** and environmentally sensitive areas (ESAs), including wildlife corridors, natural shoreline, **riparian areas**, pine savannahs, grasslands, and steep or unstable slopes.
8. Review the Works and Services Bylaw for opportunities to include new standards and options to maintain and enhance the tree canopy and storm water performance in urban areas.
9. Update the 2018 Community Wildfire Protection Plan with a new Community Wildfire Resiliency Plan, including risk assessments that may be used to update the Wildfire Development Permit Area mapping, and continue to pursue priority wildfire mitigation measures as outlined in the plan.





## 3.6 SOCIAL SUSTAINABILITY



A socially sustainable city is one that promotes the physical and mental wellbeing of its residents, encourages healthy relationships between neighbours, and provides an accessible environment for all ages and abilities. The City of West Kelowna recognizes the importance of promoting a socially sustainable community. The #OURWK vision highlights several Key Actions which contribute to our city's social sustainability, as we strive to focus on Our People, Our Connectivity and Our Adaptability. While the responsibility for financing health and social programs rests with senior levels of government, The City of West Kelowna will support initiatives designed to meet the needs of all residents in the community for a range of social considerations, such as arts, culture, recreation and community services, heritage, public health and safety, food security, schools and housing attainability.

As West Kelowna grows, creating a fair distribution of services in facilities throughout the city is essential to its social sustainability. Social, recreational and cultural opportunities should be widely available in family, child, youth and elderly-friendly settings. There should be no barriers to access – physical, social or economic – including access to effective public transportation.

### 3.6.1 Arts, Culture, Community Services and Recreation

Arts, cultural and recreational development are key elements that add to the quality of community life. The City of West Kelowna recognizes the integral community contributions generated by these activities to local social and economic progress, as well as the value of artistic expression and enjoyment by its residents.

Cultural organizations are instrumental in further developing the aesthetic environment and rich diversity of ideas, activities and backgrounds that make communities interesting and thrive. The City of West Kelowna is committed to growing our cultural scene to connect us with one another and our community, including partnerships with organizations that promote and provide cultural programs and development. As we grow, we are committed to the provision of a range of recreational opportunities for residents through community programs and facilities and will consider investment in the arts and culture of our community.

#### 3.6.1.1 Arts, Culture, Community Services and Recreation Objectives

1. Foster community interaction and bring together people of diverse backgrounds, lifestyles, generations, abilities, and interests through a variety of inclusive leisure, arts, cultural and recreational opportunities.
2. Create a network of community and recreational facilities which are conveniently accessible to all neighbourhoods, adaptable to changing needs, and with no barriers to entry (age, ability, religion, gender, etc.).
3. Encourage investments and partnerships in arts and culture for the purposes of strengthening the economic base, improving quality of life and enhancing community identity and pride.
4. Develop partnerships with government and non-government organizations to maximize the use and value of facilities through cooperative use arrangements.
5. Supply educational, recreational and cultural programming throughout the city that provides a full range of opportunities that are reasonably accessible at all stages of a person's life, regardless of socio-economic status.
6. Pursue other, innovative opportunities that supply, encourage and fund additional arts and recreational facilities and services that contribute to or augment the public system.
7. Generate new opportunities for creativity and vibrancy in the **public realm**, including through public art, cultural programming, festivals and other events.
8. Strengthen the role of Urban Centres and Neighbourhood Centres as hubs for cultural and communal activity.





### 3.6.1.2 Arts and Culture Policies

1. In the Westbank and Boucherie Urban Centres, new development will support diverse community-oriented amenities including public art, cultural space and activities programming.
2. Development in Neighbourhood Centres, which are intended as nodes of local services and amenities, should consider facilitating opportunities for diverse businesses and spaces conducive to the arts and cultural sector.
3. Development will seek to integrate public art and culture opportunities with new and upgraded infrastructure or other improvements related to the project.
4. Where possible, locally sourced public art should be integrated with civic infrastructure, public spaces, plazas and in private development.
5. Where possible, design of new development will integrate links to the community's natural and cultural heritage, especially its Indigenous history, to expand cultural, educational and recreational opportunities.
6. Support the efforts of volunteers and organizations that operate community facilities and services which strengthen West Kelowna's arts, cultural and historical character.
7. Pursue and continue to support public, community and private partnerships in facilities and services that maximize community benefit and promote artistic, cultural and recreational initiatives in West Kelowna.

### 3.6.1.3 Community Services and Recreation Policies

1. Support the expansion of a community facilities precinct, either in the Boucherie Urban Centre or Westbank Centre, while supporting smaller services within Neighbourhood Centres.
2. Support efforts to redesign the open space surrounding and between the Johnson Bentley Memorial Aquatic Center and City Hall as a public plaza and gathering space.
3. Continue to work with RDCO, BC Parks and other community partners to foster the preservation and enhancements of West Kelowna's parks and open spaces.
4. Provide public recreation and community facilities, including neighbourhood halls, in convenient locations, particularly within Urban and Neighbourhood Centres.
5. Encourage new development to contribute to or deliver, where appropriate, universally accessible community spaces and facilities including for childcare, recreation, and youth programming.
6. Continue the partnership with School District No. 23 for the joint use of school and West Kelowna facilities to maximize their value in the community.
7. Encourage government services and civic facilities, including schools, to remain and/or locate within identified Urban and Neighbourhood Centres, or in other areas within close proximity to transit.
8. Support the RDCO's Crime Stoppers Program, Crime Prevention Program, and Victim Witness Services Program.





### 3.6.2 Heritage and Archaeology

West Kelowna's heritage resources include historical and architecturally significant buildings, structures, trees, natural landscapes and archaeological features. These resources significantly contribute to the expression of our unique **sense of place**. West Kelowna recognizes the importance of identifying and protecting its natural and cultural heritage resources.

As West Kelowna grows, identifying and protecting our heritage will become more important. Heritage and conservation efforts cannot happen without our neighbours, West Bank First Nation, who are a valuable source of history. Continuing to develop a strong working partnership with them is essential for our community.

#### 3.6.2.1 Heritage and Archaeology Objectives

1. Foster a sense of our past and a vision for our future through recognition of, and appreciation for, our natural and built heritage, including the City's rich agricultural history and contribution to it's development.
2. Create a deeper understanding of our local Indigenous history in partnership with West Bank First Nation and other Indigenous peoples.
3. Identify and protect significant cultural and natural heritage resources.
4. Explore innovative and collaborative heritage conservation techniques that balance conservation with adaptability and growth.

#### 3.6.2.2 Heritage and Archaeology Policies

1. Support initiatives in West Kelowna that acknowledges our local indigenous history.
2. Continue to support and encourage the continued growth and development of the Westbank Museum.
3. Celebrate West Kelowna's agricultural heritage by supporting agricultural festivals and events.
4. Increase public awareness, understanding and appreciation of West Kelowna's history through promotional and educational materials such as interpretive signage and brochures.



### 3.6.3 Attainable Housing

As West Kelowna grows, fostering a city where housing is attainable is key to providing opportunities for each of us to feel at home. Attainable housing is a supply that is affordable, has diverse types and tenures, including special needs and emergency shelters, and works to remove barriers people face when seeking to attain housing.

**Affordable housing** can be defined as housing that costs a household less than 30% of its after-tax income per year, including basic utilities. **Affordable housing** can take a variety of forms, and may include subsidies from government and non-government organizations.

**Housing diversity** refers to supplying housing of different forms (e.g. single-detached, duplexes, townhouses, multi-unit buildings, etc.) and tenures (e.g. ownership, rental, cooperative). Providing a wide variety of housing options allows our city to support people with various lifestyles, social and financial status, and at all stages of life.

**Special needs housing** refers to housing that is designed to accommodate those with different abilities and is sometimes operated by or in partnership with social and medical service providers. This could include seniors specific housing, ranging from independent housing through assisted living to long term care and hospice.

**Shelters** play a key role in aiding people's transition to reaching housing. Supplying shelters that accommodate a range of needs allows unhoused people to have shelter until a more permanent accommodation can be provided.

In combination, these four aspects of housing supply are critical to providing attainable housing for all residents. Working together with other levels of government, and community-based organizations, West Kelowna will strive to create and maintain a community with housing types and tenures suitable for residents from a range of incomes, ages and abilities.



### 3.6.3.1 Attainable Housing Objectives

1. Actively encourage a greater range of housing choice and attainability through a diversity of form and tenure, and by removing barriers to new supply and consideration of potential displacement.
2. Following completion of the Housing Strategy, consider any OCP, Zoning, or other regulatory amendments necessary to implement the strategy's recommendations in an effort to align housing with the key directions outlined in the Community Vision.
3. Promote denser forms of housing in Urban and Neighbourhood Centres to contribute to more complete and compact neighbourhoods.
4. Actively support the provision of a full spectrum of housing, from emergency and transitional housing to affordable home ownership, inclusive of all income levels to help end the cycle of homelessness in an effort to address the results of the 2022 West Kelowna Housing Needs Assessment.
5. Encourage the private market to increase the supply of **affordable housing**, including through development incentives and more permissive controls.
6. Explore new opportunities to partner with various government and non-governmental organizations to supply shelters, **affordable housing**, seniors and other special needs housing, including through pursuit of innovative funding and financing mechanisms.
7. Promote **complete neighbourhoods** that enable people to remain in their neighbourhood and community through all life stages, even as their housing needs or economic circumstances shift, such as seniors housing that supports "aging in place".

### 3.6.3.2 Attainable Housing Policies

1. Support the inclusion of secondary suites or other forms of higher-density **infill** development to increase housing supply and provide more attainable options.
2. Continue and extend the practice of permissive tax exemptions for housing which is governed by a non-profit society in accordance with the Community Charter.
3. Continue to build relationships and foster and support partnerships with the Westbank First Nation, community partners, service providers, the Interior Health Authority, the development community, non-profit housing organizations and BC Housing that assist in the development of **affordable housing** within the community.
4. Work with government and non-government partners to communicate and distribute information about grants, tax programs, and other incentives that aid in the development and attainability of **affordable housing**.
5. Encourage and support the development of attainable seniors housing.
6. Encourage and support the development of rental housing, especially family-sized units, within and near identified Urban and Neighbourhood Centres.
7. Explore various incentives to provide increased affordable and special needs housing, including but not limited to **density bonusing** and development controls such as inclusionary zoning.
8. Encourage the development of creative and innovative models to provide **affordable housing**, such as mixed-income developments or co-operative housing.
9. Explore opportunities to expedite **infill** development in West Kelowna that contributes to a greater diversity and supply of housing in the city where in alignment with the policies in this OCP, such as an expedited approvals process or delegated authority to city staff.
10. Explore opportunities for the City to purchase properties, buildings or units for the purpose of securing affordable or special needs housing.
11. Where large-scale redevelopment requires a zoning amendment and has the potential for displacing residents within existing rental developments, the City may require additional consideration of potential housing alternatives for the displaced residents, and/or in accordance with the City's Housing Strategy as developed.



### 3.6.4 Schools

West Kelowna recognizes the importance of engaging young minds that will become future leaders and creating a healthy community that supports healthy individuals. Schools are a central aspect of this, as places for our younger population to grow, learn, and engage with their community.

As West Kelowna grows, we will continue to partner with School District No. 23 in order to supply an accessible and successful education system, that fosters partnerships and participation in joint initiatives to foster the best possible use of land and facilities. The City of West Kelowna and School District No. 23 will work together to determine the need and location of future schools, addressing trends in school enrollments, and integrating the use of school lands and facilities into the recreational and cultural fabric of the community.

#### 3.6.4.1 School Objectives

1. Work with School District No. 23 to create an education system that is accessible throughout the community and maximizes the use of school sites for the benefit of the community.
2. Work collaboratively with School District No. 23 regarding the planning and provision of new and expanded schools.
3. Form partnerships and joint-use agreements to recognize and support the role of schools as neighbourhood focal points and social centres.

#### 3.6.4.1 School Policies

1. Maintain a close, collaborative relationship with School District No. 23 to maximize the use of school facilities and services for the benefit of the community.
2. Consider the following when selecting a location for new school facilities:
  - a. Location near, but not on, a major road, such as a arterial or collector road;
  - b. Joint use for neighbourhood park or athletic facility;
  - c. Connection to pedestrian walkways, sidewalks or local roads providing safe pedestrian access;
  - d. Service boundaries that do not require primary age students to cross Highway 97;
  - e. Avoid sites immediately adjacent to **Agricultural Land Reserve (ALR)** where agricultural operations may include spray drift or operation of machinery that impedes pedestrian access; and
  - f. Relatively flat sites (less than 5% slope), approximately 2.8 hectares (7 acres) in size for primary, 4.8 hectares (12 acres) for middle schools and 6 hectares (15 acres) for secondary schools, or as guided by the City in collaboration with the School District to ensure the space meets the needs for the community.
3. The planning and development of sidewalks, crosswalks, cycle routes and trails shall take into account the need to provide safe routes to and from schools.
4. Lobby the Province and School District to maintain an effective portfolio of school sites, and encourage School District No. 23 to engage in meaningful consultation with the City when considering selling or leasing sites that are no longer optimal for schools, or converting them to a more suited community use.
5. Promote community partnerships and joint-use arrangements for schools and community facilities.

### 3.6.5 Public Health and Safety

Creating a healthy community that supports healthy individuals is a Key Action that West Kelowna is taking as it looks to the future. Safe and healthy communities are diverse, convenient and sustainable. They have a **sense of place** and neighbourliness, a clean, accessible, attractive and stable **built environment**, and good access to health services, housing, education, employment, and various mobility options. They offer a wide variety of community-based services that are intergenerational, accessible, prevention-oriented, supportive, coordinated, responsive to change and effective. They provide protection and enhancement of the natural environment.

As West Kelowna grows, it will continue to provide all the services of a healthy community and continue working towards being prepared to face future emergencies. This requires close collaboration with the community and service providers, and strategic investment to protect the public health and safety of residents today and tomorrow.

#### 3.6.5.1 Public Health and Safety Objectives

1. Support emergency service providers in the provision of emergency services, and help anticipate and plan for expansion of those services to the City as necessary, including participation in regional emergency response and planning.
2. Strengthen the role of Urban Centres and Neighbourhood Centres as convenient hubs for the provision of public health and medical facilities.
3. Encourage a built form conducive to healthy and active lifestyles, by connecting residents to recreation and other destinations that are easily accessible through active transportation.
4. Foster the development of a city that is healthy, safe, diverse and inclusive and where social interaction, physical activity, **sense of place** and neighbourliness are actively promoted and supported.

#### 3.6.5.2 Public Health Policies

1. Support the expansion of public health and medical facilities to support a community facilities precinct, either in the Westbank or Boucherie Urban Centres, while supporting smaller medical and health services within Neighbourhood Centres to provide local support for the City's expanding population, and to reduce the need for residents to travel to other communities to receive care.
2. Explore options to work with development applications to address missing links in and promote the active transportation network to support healthy mobility options.
3. Support developments that are in line with the BC Centre for Disease Control's Healthy Built Environment Linkages Toolkit.
4. Encourage park design that provides opportunities for residents of all ages and abilities to relax, play, and exercise.

#### 3.6.5.3 Public Safety Policies

1. Support the capital, operational, and maintenance requirements of the City's emergency response services necessary to accommodate the potential increase in density and heights associated with the Urban and Neighbourhood Centres identified in the Growth Concept, as well as overall related population increases.
2. Support the ongoing training and development of the City of West Kelowna's staff and emergency services personnel in support of the Regional District of Central Okanagan's Emergency Response Plan and Program.
3. Work with residents, neighbourhood associations, emergency response services, and the Interior Health Authority to address public health and safety, and crime prevention.
4. Increase community disaster preparedness through public awareness and education, including advocating for increased awareness of FireSmart Principles.



5. Aim to reduce new development on the peripheries of the West Kelowna boundary that are at the highest risk to wildfires, and set development standards for waterfront development to increase flood readiness.
6. Work with School District No. 23 to provide safe routes to school, including walking and cycling options.
7. Continue to prioritize enhanced public safety in the design and construction of City servicing and transportation infrastructure.

### 3.6.6 Food Security and Agriculture

As a city, West Kelowna is committed to maintaining and celebrating our agricultural roots. These roots are present in the agricultural lands integrated within our community. Growing food and non-food crops in and near our city contribute to healthy communities by engaging residents in work and recreation that improves individual and public well-being.

As West Kelowna grows and begins to take bold action to address the impacts of climate change, producing food locally – both within farm scale operations and garden scale urban agriculture, is becoming increasingly important.

#### 3.6.6.1 Food Security and Agriculture Objectives

1. Protect and enhance the existing agricultural character of West Kelowna as the city continues to grow.
2. Foster opportunities to provide local food production.
3. Engage residents in the local agricultural process, connecting them to the agricultural lands, people and products.
4. Support economic development opportunities for local food production.

#### 3.6.6.2 Food Security and Agriculture Policies

1. Continue to implement the Agricultural Plan, including support for the protection of **ALR** lands. **ALR** exclusion applications will generally not be supported, except at the discretion of the City consideration may be given to specific circumstances where there is significant community benefit consistent with the objectives and policies of the OCP and Community Vision. This may include the consideration of key transportation and infrastructure corridors with noted significant deficiencies affected by lands within the **ALR**, and existing City owned lands historically and currently operated as parks within the **ALR**.
2. Minimize negative impacts of urban land uses on neighbouring agricultural land, including shade, wind tunnels and pollution.
3. Support secondary and tertiary agricultural activities that contribute to farming income (farmers markets, agri-tourism, secondary processing and others).
4. Support efforts of farm operators and other agencies to enhance farmland and increase crop yield by improving water supply, undertaking drainage improvements and improving soil capabilities, while considering environmental impact.
5. Continue to support backyard farming and opportunities for small-scale hobby farming within non-**ALR** or non-agriculturally zoned land.
6. Continue to encourage community food access opportunities, introduce new techniques for assimilating agriculture into the urban experience, the wholesaling and retailing of horticultural plants and related gardening items, agri-tourism and on-farm product sale.
7. Encourage the development of agricultural market locations as part of ongoing planning and development.
8. New institutional buildings and uses such as schools, hospitals, residential care facilities, cultural facilities and fire or police services should not be located within the **ALR**.

9. Encourage opportunities for community gardens in all commercial and residential zones and in public places that are highly accessible to all ages and abilities regardless of social or financial status.
10. Area Plans shall include consideration of infrastructure for food preparation, outdoor eating and special event areas that enable people to build community and celebrate food.
11. Support consultation with the Ministry of Agriculture to ensure the City's bylaws support agriculture in the community.
12. Continue to support an Agricultural Advisory Committee to advise Council on land use and economic development matters relating to agriculture and agri-business, and to act as a liaison between Council and the agri-business community.
13. Support innovative farming and local marketing techniques such as vacant residential lot non-intensive farming and pocket farm markets, which help improve the economic viability of food production in the community.

### 3.6.7 Social Sustainability Action Items

1. Create a public art program that supports and implements art throughout West Kelowna funded by the City and through other funding sources, as appropriate.
2. Review and update the Cultural Master Plan, including engagement with community cultural stakeholders to ensure the plan enhances **sense of place** within the City and supports evolving community needs.
3. Implement Parks and Recreation Master Plan priorities and policies, including any updates to the plan and related amendments affecting the OCP, such as the Greenbelts and Greenways Concept Schedule 2.
4. Expand existing and provide new community facilities and recreation services to meet the needs of a growing and changing population, in a manner that distributes services equally to neighbourhoods throughout the city.
5. In consultation with community stakeholders, continue to identify heritage sites that warrant inclusion on the heritage register, if aligned with stated community values.
6. Explore funding opportunities for heritage planning initiatives.
7. Create an Attainable Housing Strategy, and consider creation of an Attainable Housing Committee, that outlines policies, incentives and controls to guide provision of a full spectrum of housing options in West Kelowna.
8. Review and amend/repeal any policies that reduce housing attainability or diversity in West Kelowna, where appropriate.
9. Consider the development of a program to fast-track the approval of low- rise, **infill** housing forms that contribute to the affordability and diversity of supply in neighbourhoods.
10. Explore a program of incentives for providing below-market rate housing in growth areas, including the Urban and Neighbourhood Centres, where developers can leverage increased density permissions to financially offset the below-market component.
11. Work regionally to implement a Comprehensive Emergency Preparedness Strategy involving emergency services, municipal staff, business and neighbourhood associations, including evacuation planning.





## 3.7 ECONOMIC SUSTAINABILITY



A robust, sustainable local economy that provides good, rewarding employment, attracts investment, and contributes to a fiscally strong local government is essential to quality of life in West Kelowna. Economic sustainability in this OCP means the growth and diversification of our local economic tax base that provides resiliency to changing market conditions, provides new opportunities for our community, and generates a sustainable infrastructure budget that contributes to a high quality of life for all.

As West Kelowna grows, it is essential to recognize that our environment, community and economy are linked to each other. All three should be taken into account in land use planning, infrastructure design and planning for the provision of public amenities.

The Westbank and Boucherie Urban Centres, Industrial lands, and the Business Park will continue on as West Kelowna's economic centres. West Kelowna will continue its work in attracting, retaining, and expanding businesses that create meaningful jobs close to home, integrating our industrial economy, and embracing change and technology, to build a strong, diversified and resilient local economy.

### 3.7.1 Economic Sustainability Objectives

1. Increase the diversity of the local economy in order to be economically resilient, to contribute to social diversity and to create employment opportunities in a wide variety of sectors and occupations, while building stability during differing market conditions.
2. Encourage employment generating land uses that provide a balanced mix of jobs and housing in the community.
3. Encourage a tourism economy that encourages all- season opportunities and business success.
4. Encourage more service and goods providers near residential communities, particularly in Urban and Neighbourhood Centres, to connect neighbourhoods to businesses.
5. Support growth and new development in industrial businesses by expanding and optimizing the use of industrial lands to meet future demands.
6. Support growth and change in the local economy so that it contributes positively to the quality of life and the quality of the natural environment.
7. Encourage development with a diverse tax base that supports a long-term sustainable infrastructure budget.
8. Create business-friendly permitting and approval processes that focus on positive customer service and efficiency.
9. Promote opportunities for business and meaningful employment in West Kelowna to audiences outside of the city.



### 3.7.2 Economic Sustainability Policies

1. Encourage new commercial and residential development specifically in the Neighbourhood and Urban Centres to create vibrant, pedestrian-friendly centres that encourage economic vitality.
2. Limit business park uses to areas closest to Highway 97 and along the major road network, leaving the majority of the Business Park and Industrial lands for primary industrial purposes, and explore opportunities to accommodate new and emerging employment types in the Business Park which may include research and technology, light manufacturing and production, commercial offices, studios, and laboratories.
3. Support the Chamber of Commerce, Business Improvement Area Societies and Tourism Functions in local community and business development, improvement projects, implementation of local initiatives and the promotion of community identity as they align with Economic Development plans.
4. Encourage improved efficiency for all modes of transportation and servicing within the community, including the continued upgrading of electronic communications infrastructure that supports high-technology businesses and industry.
5. Ensure that all new development contributes to the necessary upgrading of municipal services, including, but not limited to, roads, bicycle paths, pedestrian sidewalks and trails and utilities.
6. Support **affordable housing** initiatives that facilitate worker relocation and retention.
7. Support the development and operation of diverse agricultural businesses as a key economic driver within the City, which supports tourism and maintains the agricultural characteristics of the community.
8. Support economic development that recognizes, promotes and protects West Kelowna's natural assets.
9. Approach infrastructure projects through a sustainability lens that seeks to maximize local economic development.
10. Support the development of festivals and community events that will build West Kelowna as a tourist destination for a broad range of visitors.
11. Actively seek innovative funding approaches and sources to create **public realm** enhancements and spur economic development.
12. Work with Westbank First Nation toward a comprehensive approach for economic development, the sharing of relevant information and clarification and pursuit of common interests.

### 3.7.3 Economic Sustainability Action Items

1. Support the strategic planning for the establishment of a City owned Economic Development Corporation (EDC), as well as an economic development strategy led by the corporation, once established.
2. Evaluate West Kelowna's existing Industrial lands and identify opportunities to intensify or optimize to allow for more use within the same footprints.
3. Evaluate the existing road network in Industrial and Business Park lands to identify long-term changes that would result in a more efficient land organization.
4. Evaluate non-industrial lands (lands being used for uses such as commercial, resource extraction, and agricultural purposes) within Industrial areas and support the industrial redesignation of areas that would be better suited as industrial.
5. Review Development Permit fee structure and/or consider other incentive mechanisms so that minor façade improvements are encouraged within Urban and Neighbourhood Centres, where consistent with guidelines and Area Plans.
6. Review business licensing and commercial/industrial development application processes and find ways to improve user experience and lessen approval timelines.



## 3.8 COLLABORATION AND PUBLIC INTERFACE



The City of West Kelowna values collaboration and partnership with its residents, neighbours, and other organizations that contribute to our community. We value engaging to make important decisions together and collaborating with our Central Okanagan Neighbours. As we continue to grow, we will utilize technology, best practices, and a transparent approach when working with others.

### 3.8.1 Collaboration and Public Interface Objectives

1. Continue to build upon and expand partnership and consultation opportunities with Westbank First Nation.
2. Support educational and socially oriented partnerships in the community, particularly across young and older generations.
3. Engage with the community on decisions and projects that are significant and where public input can influence outcomes.
4. Improve and streamline application processes and other workflows at City Hall.

### 3.8.2 Collaboration and Public Interface Policies

1. Before the initiation of a City project or initiative that may have a direct or indirect impact to Westbank First Nation's land, operation, or the overall environment, the City will consult with Westbank First Nation to discuss partnership and collaboration opportunities.
2. Support the involvement of Youth Ambassadors in policy/program development processes.
3. Explore integrating new allowances provided by the *Local Government Act*, including:
  - a. Processing zoning amendment applications that are consistent with policies in this OCP without a Public Hearing.
  - b. Consider permitting relevant City Administration staff to approve minor development variance applications that are consistent with the goals and objectives of this OCP.
3. Continue to utilize online and other innovative methods to engage and communicate with the public and stakeholders on City projects and initiatives.
4. Explore the use of digital notifications for zoning amendment and development processes.
5. Utilize digital technologies to communicate with and listen to the public.

### 3.8.3 Collaboration and Public Interface Action Items

1. Create an online portal for property taxes, permit submissions and other City Hall activities that allows for online funding transfers, that is in addition and does not replace the ability to perform activities at City Hall.

## 3.9 FINANCIAL FRAMEWORK

The City's financial planning framework is anchored upon the five-year financial plan which is prepared, debated and updated annually. That process is guided by provincial regulations and involves multiple opportunities for public input with consultation sessions (typically scheduled for the January/March time frame). The initial community visioning process as well as ongoing consultation with the public indicate that residents place a high value on an affordable community, which balances the need for new and improved facilities and services with fiscal prudence. Achieving this balance involves a variety of strategies designed to create a realistic and long-term financial planning framework while seeking ongoing opportunities to use alternative to traditional forms of revenue generation and expense containment.

Traditional funding sources for municipal services, facilities and programs centre on property taxation and a wide range of permit, license and user fees. While it is recognized that, in the municipal environment, not all programs and services can realistically involve full cost recovery, subsidies from other sources such as property taxation ought to be fully evaluated and justified. Balancing economic and fiscal realities with service expectations and growth needs requires partnerships, alternate sources of funding from other levels of government as well as the private sector, new or increased fees and charges as well as existing levels of cost recovery.

Ultimately, the annual results achieved by the City of West Kelowna are reported in the provincially-mandated Annual Report which is required to include the annual audited financial statements. The Annual Report is presented to Mayor and Council in the spring of each year and made available to the public for review and comment culminating in adoption by Council.

### 3.9.1 Financial Framework Objectives

1. Manage public funds to effectively balance available resources and community priorities.
2. Diversify revenue sources and look at innovative funding techniques to reduce dependency on revenue from other levels of government while maintaining a well-served, safe and livable community.
3. Maximize the cost-effectiveness of City services, while maintaining a level of taxation and other revenue that supports a financially sustainable and resilient future.
4. Encourage a built-form that provides positive tax returns and contributes to a surplus infrastructure budget such as through focused growth at higher density within serviced areas.
5. Offer excellent customer service, and provide many avenues for obtaining municipal information and flexibility in how payments to the municipality can be made.





### 3.9.2 Financial Framework Policies

1. Provide for public involvement in ongoing financial planning and budgeting, including the development of capital and business plans as follows:
  - a. Conduct a comprehensive annual budget, which includes a five year operating and ten year capital planning process culminating in a public consultation component;
  - b. Annually review and update all current and long-term financial plans based on current conditions;
  - c. Provide meaningful documentation of all financial plans, budgets and long-term tax policies; and
  - d. Ensure that the policies and priorities identified in the OCP are consistent with municipal financial planning.
5. Provide funding for effective infrastructure renewal and replacement that occurs on an appropriate basis by reviewing and amending five- and ten-year infrastructure maintenance plans as part of the annual budget process.
6. Factor in the full life cycle cost of infrastructure when accessing the necessary funding and project budgets.
7. Monitor and participate in decision-making at a regional level by continuing to be involved at both the staff and political levels in regional forums and organizations, and to assume leadership roles on regional issues that affect the City.
8. Set standards and processes that require new developments to pay for their on-site and off-site impacts, including transportation upgrades (roadway, sidewalks, bike paths) and utility services, these can include:
  - a. **Development Cost Charges** that should be reviewed on an annual basis, and amended as necessary to position them to be equitable and adequate to cover the associated costs of development; and
  - b. Reviewing OCP and zoning amendment proposals for financial impact, especially as they relate to expanding the tax base and provision of new community amenities.
3. Ensure service levels, fees, and charges respond to changing community demographics and needs through an annual review.
4. Actively pursue alternative revenue sources such as grants, levies, and user-pay schemes to minimize reliance on property tax for revenue generation.
5. Update and implement the City of West Kelowna's Surplus Funds, Debt and Reserve Fund Policies in respect of capital expenditures, potential borrowing, debt repayment, stabilization of property tax and utility rates and other financial matters as these policies are set in place for the protection of the taxpayer and community values.

### 3.9.3 Financial Framework Action Items

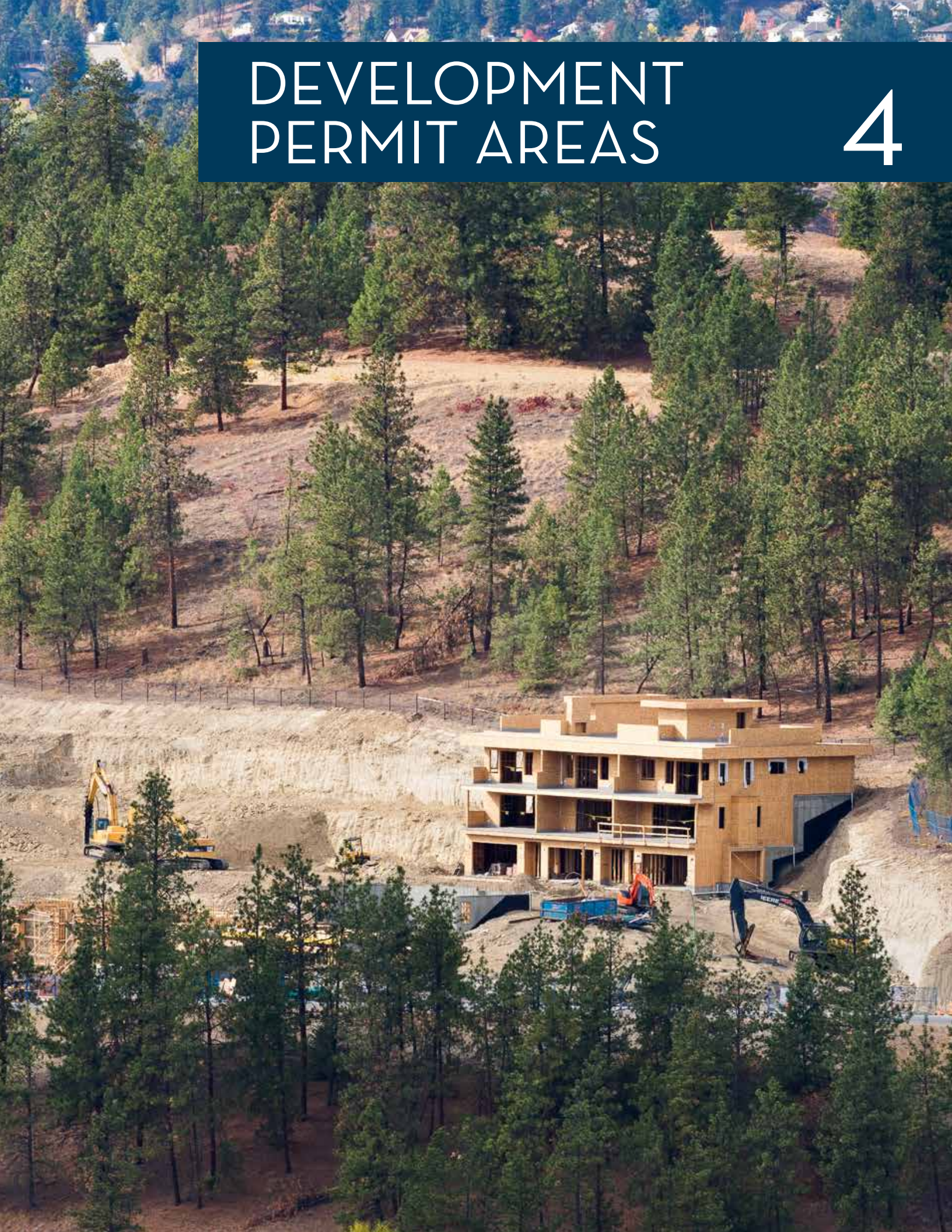
1. In respect of transportation, prepare separate capital programs for pedestrian, bicycle, transit and road infrastructure, and consider priority funding to support active transportation goals as outlined in the Transportation Master Plan.
2. Continue to review cost recovery policies for services provided to other levels of government.
3. As part of the annual financial review, consider the OCP Action Items in an effort to support OCP implementation outcomes related to goals specific to the Community Vision.
4. Complete the Asset Management Plan including infrastructure and natural assets, and implement and maintain to inform the City's financial planning, once completed.

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# DEVELOPMENT PERMIT AREAS

# 4





## 4.1 DEVELOPMENT PERMIT AREA GUIDELINES

The Local Government Act (LGA) gives authority to local governments to create Development Permit Areas, which contain guidelines for development to achieve certain objectives or address specific conditions. Development Permit Areas may be established for:

- Protection of the natural environment, its ecosystem and biological diversity
- Protection of development from hazardous conditions
- Protection of farming
- Revitalization of an area in which commercial use is permitted
- Establishment of objectives for the form and character of intensive residential development, commercial, industrial or multi-family residential development, development in a resort region
- Promotion of energy and water conservation
- Promotion of the reduction of **greenhouse gas** emissions

West Kelowna has General Development Permit Guidelines that apply to all Development Permit Areas (DPAs), as well as ten specific DPAs that are described as follows:

1. Commercial DPA
2. Industrial and Business Park DPA
3. Westbank Urban Centre DPA
4. Boucherie Urban Centre DPA
5. Neighbourhood Centre DPA
6. Multiple Family and Intensive Residential DPA
7. Hillside DPA
8. Aquatic Ecosystem DPA
9. Sensitive Terrestrial Ecosystem DPA
10. Wildfire Interface DPA

Where land is subject to more than one DPA designation only one Development Permit application is required. However, the application is subject to the requirements of each applicable DPA, as well as the General Guidelines. In some cases, it may be possible to process small scale development applications using a *Minor Development Permit* process. Applicants should review their proposal with staff at a pre-application meeting in the early preparation stages of assembling an application to determine the scale of process required.

All development within DPAs will be reviewed by the City for compliance with the applicable DPA objectives and guidelines, where unless exempt a Development Permit must be approved before any site disturbance, construction, or alteration can take place. Conditions or restrictions may be imposed on the development accordingly.



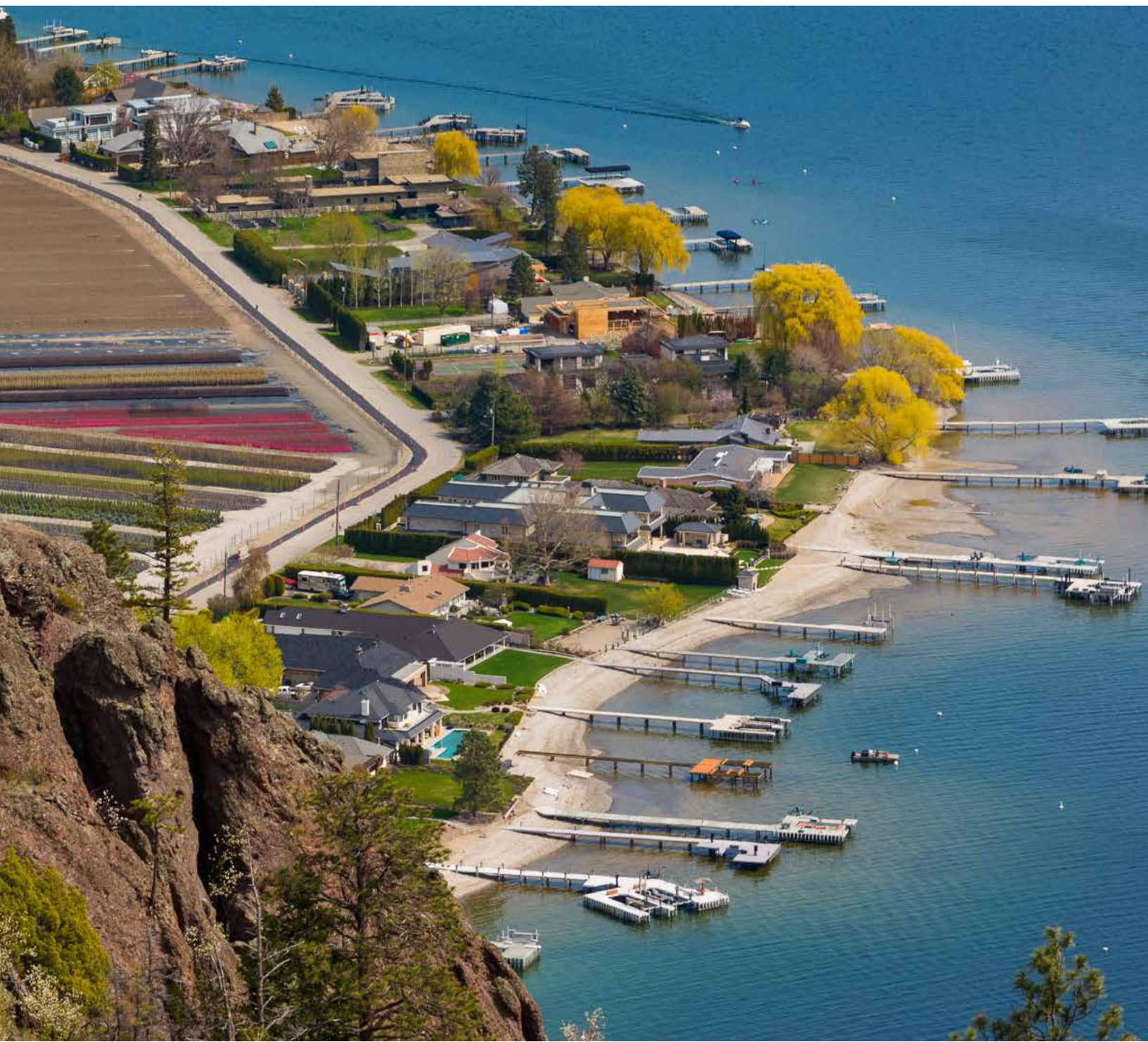




## 4.2 GENERAL GUIDELINES - ALL DPAS

### 4.2.1 General Guidelines Applicability

The General Guidelines apply to all development on lands within the City of West Kelowna that require a Development Permit, and must be read in conjunction with any other Development Permit Area Guideline that a proposed development falls under.





#### 4.2.2 Purpose

In accordance with the *Local Government Act*, Section 488(1),(a), (b), (c), (e), (f), (h), (i), and (j), the purpose of the General Guidelines is to promote a high standard of development across West Kelowna that contributes to the Community Vision (Section 1.4) and a safe, functional, and effective city that respects and preserves its environment. In addition, refer to each specific Development Permit Area for its designated purpose in accordance with Section 488 of the *Local Government Act* (LGA).

#### 4.2.3 General Guidelines Exemptions

The following developments are exempt from the guidelines under the General Development Permit Area Guidelines. If the development is exempt from all other Development Permit Area Guidelines, then no Development Permit is required.

1. Proposed maintenance or repair of existing landscape that does not include excavation.
2. Emergency works, including tree cutting, if necessary to remove an immediate danger or hazard, where rehabilitation and restoration work to the satisfaction of West Kelowna will occur following the emergency.
3. The removal of trees and shrubs designated:
  - As hazardous by an **ISA Certified Arborist**; or
  - As host trees by the Sterile Insect Release Program and a report has been provided to the satisfaction of CWK that identifies the affected trees or shrubs prior to their removal.
4. Construction of, or regular and emergency CWK maintenance of municipal infrastructure or buildings, where the proposed works are conducted in a manner that is consistent with the objectives of the Development Permit Guidelines, and endorsed by the Director of Development.
5. The implementation of a fish habitat mitigation or restoration plan that is authorized by the senior government ministry or agency with jurisdiction.
6. The activity is conducted under direction of Emergency Management BC.
7. Maintenance and repair of building envelopes, so long as there are no changes to the previous design, colour scheme or materials used.
8. The site has been assessed by a qualified professional who has provided a report (to the satisfaction of CWK) which concludes that the proposed development would have no significant impact on the environment and/or is not subject to a hazardous condition; or the activity occurs on land designated provincial **Agricultural Land Reserve** and is considered normal farm practice as designated by the Ministry of Agriculture.

#### 4.2.4 General Guidelines - All DPAs Design Principles

The General Guidelines - All DPAs Design Principles communicate the common shared high-level intentions of the entire Development Permit Guideline framework and reflect the vision and objectives of the OCP to promote a high standard of development across West Kelowna. All projects subject to a Development Permit will support the following Principles:

1. Ensure that the Community Vision is reflected in new growth and (re)development.
2. Ensure that policy direction of the OCP is realized through the fair implementation and administration of development guidelines.
3. Encourage attractive, built-forms that contribute to and enhance the general character of all development within the City, with a greater focus on guidelines for higher intensity mixed-use, multi-unit residential, commercial, business park or industrial development supporting walkable, complete neighbourhoods.
4. Encourage development that sensitively integrates and enhances with surrounding neighbourhoods.
5. Promote development that respects the natural environment, hillside and agricultural characteristics of the community.

## 4.2.5 General Guidelines - All DPAs

### Framework

1. All development must meet each applicable guideline, regardless of the term used such as consider, encourage, may, should or must. If a guideline does not apply or cannot be met, the applicant must provide written justification to the satisfaction of the City as to why the project cannot be designed to align with the guideline, or why the guideline does not apply.
2. In accordance with the *Local Government Act*, security may be required as a condition of Development Permit issuance to ensure that permit conditions are met, construction happens in a manner with minimal disruption to surrounding areas, and appropriate landscaping or restoration works are completed.
3. In general, development permit conditions will reflect Best Management Practices produced by the Province of BC.
4. Figures and images have been provided within the guidelines for illustrative purposes only, and where there is any conflict with a specific guideline, the content of the guideline shall take precedent.

### Protection of Natural Environment

5. Development may be regulated, including revisions to and rejections of Development Permit applications where inconsistent with the guidelines to protect the environment, which includes groundwater quality, **watercourses, riparian areas** and **leavestrips**, significant trees and vegetation, and **steep slopes** and areas subject to erosion. To ensure this protection, the CWK may regulate all land clearing, land grading, irrigation works, and landscaping, and may require lands to remain free of development.
6. Mature stands of trees, significant and landmark trees and associated understory vegetation should be protected. The City may require a plan prepared by an **ISA certified arborists** and/or a **Qualified Environmental Professional (QEP)** detailing measures required to preserve and maintain trees and vegetation before, during and after the development.
7. Existing native vegetation should be preserved where possible for habitat value and to protect against erosion and slope failure. Where a site has been previously cleared or will be cleared during development, a revegetation plan prepared by a **QEP** may be required. Areas of undisturbed bedrock exposed to the surface or natural sparsely vegetated areas may not require planting. Vegetation species used in replanting, restoration and enhancement should be selected to suit the soil, light and groundwater conditions of the site, should be native to the Okanagan Valley, and be selected for erosion control and/or fish and wildlife habitat values as needed.
8. When environmental features are to be preserved, the following must also be considered:
  - a. How the preservation of environmental features can be coordinated with wildlife values to preserve habitat and wildlife corridors; and
  - b. How wildfire risk can be minimized.

### Grading and Drainage

9. Site development should not dramatically change the natural topography of the site, and grading requirements should be resolved within the property boundary. Cut and fill should be minimized and blended to the existing terrain. The City may require a Site Grading Plan to confirm adherence to this guideline.
10. Where areas with significant environmental features are required to be preserved, the City may restrict the manipulation of grades in these areas and site design should consider preservation areas.
11. All applications must include a Sediment and Erosion Control Plan outlining measures to reduce the risk of the release of sediment overland or into any **watercourse** prior, during and after development.
12. The City typically requires applications to include a Stormwater Management Plan and/or Drainage Plan. This plan must address long-term water quality, water quantity and erosion control measures required to minimize negative impacts on fish habitat and demonstrate compliance with CWK's stormwater management policies and plans. The plan should include, where possible, on-site detention and slow release into the system, and consideration for bioswales, rain gardens, and rainwater harvesting (for on-site landscaping needs). Use of **Low Impact Development** techniques is encouraged.





## Public Trails

13. To provide for the protection of and access to natural features, and to promote pedestrian rather than vehicular access in as many areas as possible, where possible, public trails should be continued, created, and secured on the lands. The City may require or accept the grant of trails as a condition of subdivision or Development Permit approval, where trails within the City's identified transportation network are not typically eligible to meet *LGA* park land dedication requirements. Trails should be designed and constructed to the trail standard specified in applicable bylaws, or to the satisfaction of the City.

## Environmental Monitoring

14. Where an **Environmental Report** is required, the Report must include a monitoring plan to aid in compliance with the terms of the assessment during and post construction. Monitoring must be performed by a qualified consultant, and included in any applicable cost estimates for the recommended time period.



## 4.2.6 Form and Character General Guidelines - All DPAs

### Site Planning and Related Building Design

1. Site planning and building design should:
  - a. Minimize impacts on agricultural lands.
  - b. Preserve and incorporate views to Lake Okanagan and Mount Boucherie.
  - c. Maximize opportunities for solar exposure, daylight penetration, natural ventilation and utilization of green technologies.
  - d. Maintain the scenic beauty and hillside character of West Kelowna. Development should be sufficiently set back from ridgelines and building heights adjacent to ridgelines minimized so that ridgelines are seen predominantly as a continuous line of natural terrain and/or vegetation.
  - e. Where the process of site development causes unavoidable gaps or interruptions in the ridgeline, trees and vegetation should be planted so that the ridgeline is continuously vegetated.
  - f. Present an architectural style that is consistent with, or enhances its physical surroundings including consideration for FireSmart Principles.
  - g. Ensure design considers building amenities and services through the following design considerations:
    - i. *Locate outdoor amenities to take best advantage of the climate (e.g.: include spaces that allow the sun and shade, or screening from rain);*
    - ii. *Locate storage, loading, servicing and utility areas (including recycling and garbage) away from the public street frontage within or at the rear of building(s), or adjacent to a service lane, where it is suitably screened in order to reduce negative visual impacts while still allowing for natural surveillance opportunities, and does not impact pedestrian circulation; and*
    - iii. *Design garbage and recycling storage areas with consideration for animal-proofing; and*
    - iv. *Specifically for any multi-unit residential development, utility metres should not be located on the front facade of the building.*
  - h. Visually integrate buildings into the natural hillside setting and reduce the perceived massing of structures through the following design considerations:
    - i. *Cut buildings into the hillside and use stepped foundations;*
    - ii. *Terrace multi-story buildings down slopes;*
    - iii. *Encourage roof pitches that reflect the slope of the natural terrain;*
    - iv. *Utilize architectural treatments that provide three-dimensional relief and reveals to minimize the perceived massing; and*
    - v. *Avoid the construction of solid fences and long retaining walls that impose highly visible and artificial lines on the hillside.*
2. Outdoor storage areas (for equipment, machinery, goods, or materials) and staging areas are required to be located to the rear of sites and away from the **public realm**, and will be visually screened using a combination of landscaping, berms, decorative walls and/or fencing when viewed from the public street and adjacent residential uses.
3. Design of multiple-unit developments should include routes and pathways that will allow maintenance contractors to gain access to all parts of the site that require maintenance with machinery.
4. Where developments include multiple buildings within a complex or site, the following building siting and design considerations are encouraged:
  - a. Consider whether a building or cluster of buildings should have a distinct character, or individual identifying characters or features as appropriate to the use and surrounding area; and
  - b. Where permitted by the City's Zoning Bylaw, consider the clustering of structures to allow for concentrated vegetative areas, either retained as natural areas or landscaped as a site feature.



## Building Form and Materials

5. Development is encouraged to utilize building form and architectural composition to generate visual interest, identity, and a **sense of place**.
6. Development is encouraged to utilize varied roof lines, and to break up roofs on larger structures to provide architectural and visual interest. Special consideration may be given in industrial, commercial or mixed-use developments for flat roof lines where combined with architectural detailing along the upper floor.
7. Buildings design should incorporate elements such as projections, recesses, glazing, varied materials, colours, and textures to add interest and break up larger building volumes. Visual interest may be heightened through the use of:
  - a. Variation in height and massing, as well as horizontal and vertical articulation;
  - b. Architectural focal points, especially at site and building entrances;
  - c. Variation and hierarchy of window shapes, styles and sizes placed in a logical and consistent manner, including more complex dormers, bays window and balconies as appropriate, and window detailing such as decorative trim, shutters and mullions.
  - d. The use of an integrated, consistent material and colour palette is encouraged, with variation achieved, for example, through use of accent colours and/or cladding materials.

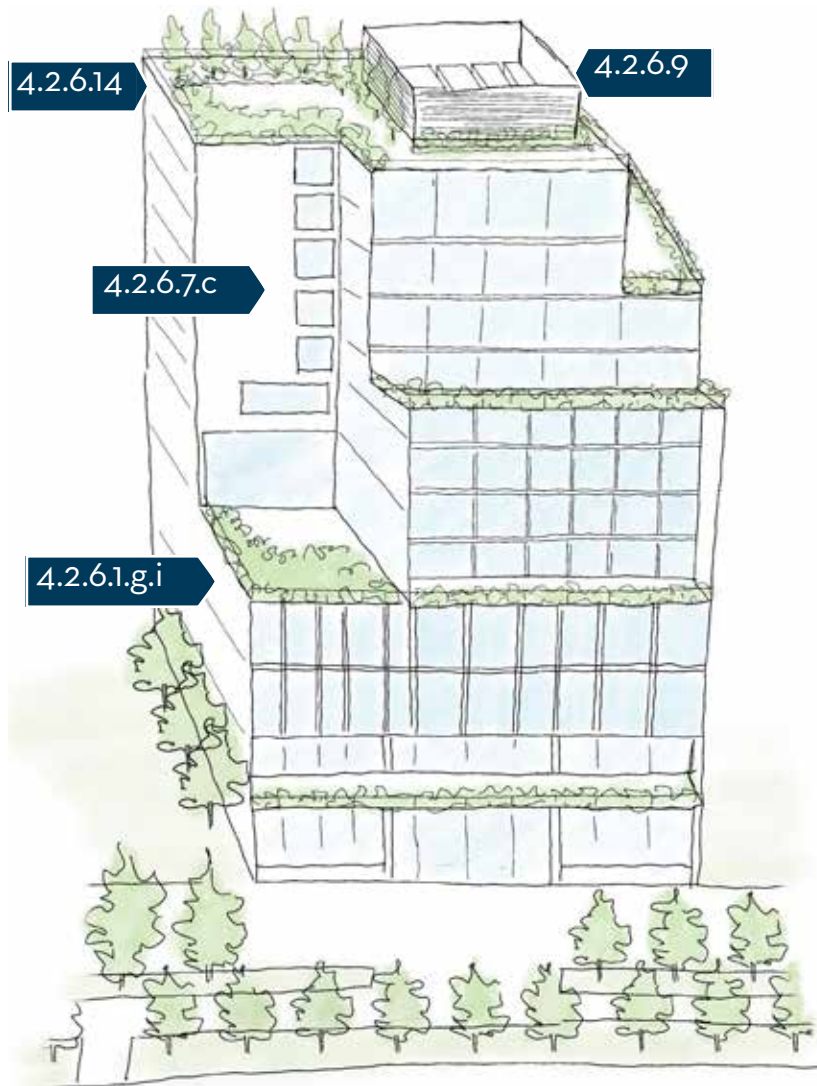


Figure 16. High-Rise Mixed Use Example

8. Exterior building design should utilize glazing and high-quality materials (such as stone, wood, brick, finished concrete, or other masonry) as the primary component of street-facing elevations. Reflective glazing is not permitted. Exterior materials are encouraged to complement the natural environment of West Kelowna and should be sufficiently durable to withstand the typical climate of the Okanagan Valley. Natural or cultured stone exterior walls or structures are encouraged and should not be painted or stained.
9. All roof top mechanical equipment and antennas should be screened from public view, including adjacent buildings, roads, and pedestrian corridors.
10. Lighting design shall utilize full cut-off, flat lens luminaries, or other lighting forms that minimize light trespass onto other properties and reduce glare or light pollution above the horizontal plane when lighting building exteriors, road and parking lots, as well as consider high efficiency low energy options.
11. All projects shall be designed according to the principles of **Crime Prevention Through Environmental Design (CPTED)** and should be prepared to demonstrate this adherence to the City.
12. Where possible, building design and materials should:
  - a. Explore the incorporation of green energy technologies like wind or solar, and incorporate them into the design if feasible;
  - b. Utilizing sustainable and locally sourced building materials; and
  - c. Consider adaptive reuse of existing building stock before considering demolition of existing buildings, where possible, or materials should be salvaged, recycled and reused wherever possible.
13. Development is encouraged to incorporate **green building** strategies and operational systems to reduce water use and waste, increase energy efficiency, and reduce **greenhouse gas (GHG)** emissions.
14. Consider providing landscaping on flat roofs or green roof technologies.
15. All development should maximize sun penetration to pedestrian levels and to outdoor activity areas, including the consideration options for stacked buildings to expose more units to sunlight, open space, and views.
16. Patio areas and balconies should be designed to provide privacy for residents and screen stored items.
17. In multi-unit residential developments, building forms and floor plans that maximize the number of corner units and dwellings with exterior access on two sides are strongly encouraged to facilitate natural ventilation and daylight access, while at the same time providing an interactive connection to the street.

## Ground Level Design and Relationship to the Street

18. The primary building façade should be positioned parallel to the primary street frontage contributing to a well-defined street edge and attractive street presence.
19. The ground-level design should contribute to an interesting and vibrant street experience that:
  - a. Does not position blank walls facing a public street;
  - b. Utilizes a high proportion of transparent glazing for the ground-level exterior wall, balanced with other materials, colours, and patterns to provide texture and variety along the facade, with consideration for reduced glazing requirements for residential only uses where permitted at the ground level of any building;
  - c. Incorporates building recesses and variations in the facade setback at the ground-level to create interesting reveals, pockets, and edges between units in the same building; and
  - d. Provides frequent entrances, at least one every 10 metres, into retail or commercial units at ground-level.
20. The main floor should also be accentuated through use of materials, paving, and architectural elements that visually “tie” the building together and anchor it to the ground by layering those materials and the



design through to the street. It is important on the main ground-level floor:

- a. To use materials (either different from the rest of the building or in a unique way) that differentiate and accent the main floor; and
  - b. Provide a strong visual base to the building.
21. Buildings will be placed and oriented on site to ensure good sight lines for vehicular and pedestrian traffic.
  22. Primary pedestrian routes and building accesses will be clearly visible and accessible from the public street, utilizing defining elements including sidewalks, landscaping, and lighting.
  23. Buildings should provide weather protection over all exterior pedestrian building entrances with adequate lighting for the comfort and protection of pedestrians, with the following consideration:
    - a. Awnings, light fixtures and other similar features should be architecturally integrated into the design of the building;
    - b. Development with ground-level commercial or institutional uses are encouraged to incorporate canopies or other structures along the building face to provide continuous shelter from rain and snow along the entire building frontage, with consideration for variation and architectural interest; and
    - c. Entrances to multiple unit residential buildings are encouraged to include also wind protection for pedestrians.
  24. Exposed concrete foundations are discouraged, and landscaping or finishing treatments are required to soften the visual impact of the foundation. Finishing treatments may also include texturing, colour matching to the building, or other architectural features.

### **What are the 5 Crime Prevention Through Environmental Design (CPTED) Principles?**

*The goal of applied CPTED principles is to prevent crime by designing a physical environment that positively influences human behaviour. The theory is based on five principles:*

1. *Natural Surveillance - the intended user can observe the property. Strategic lighting, trimming landscaping and visual permeability are examples of natural surveillance strategies.*
2. *Natural Access Control - controlling access points to a property to decrease crime opportunity. Fences, low walls, landscaping, and distance are examples that when combined with natural surveillance can reduce the desire to enter a property to engage in criminal activity.*
3. *Territorial Reinforcement - creating a clear delineation of space which separates your space from non-legitimate users. Avoiding the creation of dead spaces, and creating clear activity zones and transitional spaces are examples of strategies that can help define a space.*
4. *Activity Support - placing an activity where individuals become part of the natural surveillance. Supporting activities within shared spaces to encourage community connectivity, as well as infrastructure to support users is a key element of this principle.*
5. *Maintenance - regularly scheduled maintenance routine will ensure the property demonstrates a sense of ownership that is noticeable to a potential offender.*

### **How does CPTED help support the Community Vision?**

*By designing buildings and spaces that specifically consider these principles, we support safer spaces for all users which encourages people to interact with the building and spaces that they live in and move through, creating a more active, vibrant community.*

#### **4.2.7 Form and Character Low-Rise Building Height General Guidelines - All DPAs**

In addition to the other applicable guidelines, the following guidelines apply specifically to developments that are within a Form and Character DPA, and which are either:

- Mixed-use or commercial buildings of less than four storeys in height;
- Institutional uses; or
- Residential buildings of less than four storeys in height, and include three or greater dwelling units, or for three or greater duplex buildings.

#### **Low Rise Mixed-Use, Institutional and Commercial**

1. Further to the general guidelines related to ground-level design, these types of buildings should have an enhanced design focus on distinctive building detail and architectural features not just at the ground level but between the first and second storey. This should include incorporating business signage as part of architectural design elements, such as building projections, etc. such that signage is less obtrusive.
2. Low-rise mixed-use and commercial buildings will provide a sensitive transition to the surrounding planned and existing development by:
  - a. Transitioning front setbacks to align with adjacent uses.
  - b. Considering additional setbacks above the second or third storey when adjacent to lower buildings.

#### **Walk-Up Apartments (3 storeys or less)**

3. Buildings will address the primary public street frontage through the orientation of massing, entrances, primary windows, patios, and other features, as appropriate.
4. Developments are encouraged to include a publicly accessible front yard or amenity space between the building and the street.
5. Patios at the ground level, balconies on upper levels or other private outdoor amenity spaces should be provided.

#### **Townhomes (3 Units or Greater) and Duplexes (3 Buildings or Greater)**

6. Buildings will address the primary public street frontage through the orientation of massing, entrances, primary windows, patios, and other features, as appropriate.
7. Developments will include landscaped front yards between the building and street frontage.
8. Developments are encouraged to incorporate street-facing patios and private amenity spaces.
9. Buildings are encouraged to utilize articulation, varied materials, colours, and massing strategies to define individual units within the complex to create a visually interesting street appeal.
10. Building form and placement should sensitively address its surroundings through transitioning front setbacks and building heights to align with adjacent uses.
11. When accessed from a public street via private driveways, driveways should be paired to maximize uninterrupted landscape areas along the street and maximize on-street parking opportunities;





Figure 17. Low-Rise Mixed Use Example



Figure 18. Townhouse Example



#### 4.2.8 Form and Character Mid-Rise Building Height General Guidelines - All DPAs

In addition to the other applicable guidelines, these guidelines apply specifically to mid-rise developments that are within a Form and Character DPA, including all buildings that are 4 storeys or greater, but less than 7 storeys.

##### Building Form and Scale

1. Further to the general guidelines related to ground-level design to contribute to an interesting streetscape, mid-rise buildings must incorporate at minimum a 1.5 metre horizontal stepback above the third storey, on all sides which are unattached, to create the impression of a podium or base building distinct from the upper levels.
  - a. Developments are encouraged to utilize larger stepbacks than the minimum requirement to facilitate functional outdoor amenity space such as green roofs, terraces, or balconies, where feasible.
  - b. Developments will soften the scale and vertical impression of the podium building through vertical and horizontal articulation of the façade, setbacks, building recesses, use of varying materials and textures, and other architectural features.
  - c. Roof line architectural detailing should be used to complete the building and tie the design of the whole building together.
2. A Shadow Analysis may be required for all buildings in excess of 4 storeys, where adjacent to existing or anticipated low-rise development, or agricultural uses. Wind studies may also be required for development sites within Boucherie/ Westbank Centres and Neighbourhood Centres.
3. A Visual Impact Assessment that shows the impact of the building on views from adjacent neighbourhoods may be required.
4. Balconies or other private outdoor amenity spaces on upper levels of mid-rise buildings should be designed as integral parts of the building massing and design, and not appear as an additive feature.



Figure 19.

Mid-Rise Building Form Example



#### 4.2.9 Form and Character High-Rise Building Height General Guidelines - All DPAs

In addition to the other applicable guidelines, these guidelines apply specifically to high-rise developments that are within a Form and Character DPA, including all buildings that are 7 storeys or greater.

##### Building Form and Scale

1. For high rise buildings, incorporate at minimum a 1.5 metre horizontal stepback above the third storey, to create the impression of a podium or base building distinct from the upper levels.
  - a. Developments are encouraged to utilize larger stepbacks than the minimum requirement to facilitate functional outdoor amenity space such as green roofs, terraces or balconies, where feasible.
  - b. Developments will soften the scale and vertical impression of the podium building through vertical and horizontal articulation of the façade, setbacks, building recesses, use of varying materials and textures, and other architectural features.



Figure 20. High Rise Building Form Example

2. Further to the general guidelines on ground level design and podium design noted above, high-rise buildings should have an enhanced design focus on distinctive building detail and architectural features on the tower portions and not just at the ground and podium levels to ensure building interest extends upward from the **streetscape**, by continuing to incorporate features such as:
  - a. Utilizing a high proportion of transparent glazing on the tower portions of the buildings;
  - b. Including building recesses and variations in the façade setback which, for example, can create interesting reveals and edges between units in the same building; and
  - c. Providing variation and delineation through materials, colour palette, patterns, and textures along façades.
3. Tower designs (7 storeys or greater) above the podium level will incorporate consideration of building massing, siting and design to appropriately minimize the negative impacts they may have on adjacent properties and neighbourhoods, including shadowing, wind, and access to views to Mount Boucherie and Lake Okanagan. This should include the use of stepbacks, articulation, glazing and building separation, as well as other strategies. The applicant is required to submit the following studies in support of their application, where applicable:
  - a. Sun/ shadow study when the City determines there is the potential for shadows caused by the development to impact the use and enjoyment of surrounding and anticipated development.
  - b. View corridor impact analysis when the City determines there is potential to redesign the building or site to reduce any impact on views to Lake Okanagan and Mount Boucherie from adjacent properties.
  - c. Wind study when the City determines there is a risk of wind tunneling from the construction of a building or cluster of buildings on the surrounding and anticipated development.
4. High-rise buildings will maintain adequate light penetration and privacy for adjacent properties, typically in the form of a podium and tower configuration which avoids long, unbroken building spans and large, bulky tower elements.
  - a. Design of these buildings should include a base, middle and top tower elements using features like building stepbacks, transition in building shape, vertical and horizontal articulation, and distinguishing architectural elements.
  - b. Where two buildings (greater than 7 storeys) are proposed on the same site, the tower portions of the buildings should be separated by a minimum distance of 15 metres.
  - c. Building towers (greater than 7 storeys) should maintain a minimum separation distance of 20 metres to other towers on immediately adjacent properties, and/or 10 metres to the adjacent property line of a potential future high-rise site.
5. A Visual Impact Assessment that shows the impact of the building on views from adjacent neighbourhoods may be required.

#### 4.2.10 Accessibility General Guidelines - All DPAs

1. Site planning, building and sign design should incorporate Universal Design principles to accommodate people with different levels of mobility and sensory abilities.
2. All entries to public, commercial, institutional, and shared multi-family residential buildings will include grade accessible entries suitable for all users.
3. All **publicly accessible spaces** and private amenity spaces throughout developments must consider universal accessibility requirements.
4. In residential development:
  - a. A variety of residential units are encouraged to be universally accessible, or wheelchair accessible at minimum; and
  - b. Building design should consider flexible design or conversion options to accommodate universal accessibility requirements.







## 4.2.11 Pedestrian and Streetscape General Guidelines - All DPAs

### Access, Parking and Circulation

1. Development will provide designated and accessible pedestrian access routes that are safe and direct, with clearly defined routes from building entrances to public sidewalks, parking areas, common amenity areas, transit stops, and other highly utilized areas as applicable, in consideration of pedestrian desire lines.
2. Development will clearly delineate and provide separation between vehicular routes (especially loading/servicing and truck access) and pedestrian routes to minimize all potential conflicts and make pedestrian routes easy to distinguish. Where separation is not possible, special design treatment may be required to ensure safe pedestrian movement.
3. Where sites contain more than one building, buildings should be connected by internal sidewalks or pathways.
4. Pedestrian walkways and circulation routes should utilize varied paving/material treatment, raised walkways, pavement marking and signage, or similar features to distinguish them, and be developed with adequate lighting, street furniture, and landscaping to present a safe, universally accessible, attractive and comfortable environment.
5. Visitor parking, where required by the City's Zoning Bylaw, should be easily identifiable and located close to building entrances, or on large sites conveniently located throughout the site.
6. Parking areas are encouraged to provide for alternative modes of transportation, such as bicycle/e-bike storage and racks, motorcycle parking, preferential parking for carpool users, and electric vehicle charging stations.
7. All development that is required by the City's Zoning Bylaw to include bicycle parking for visitors and residents should locate it near building entrances and in areas that are accessible and highly visible from the public street, without negatively impacted pedestrian circulation.
8. Large, primary parking areas are encouraged to be provided in underground structures, at the rear or side of buildings, and in centralized parking facilities, or a combination thereof. Parking will not be permitted within the front yard setback of a development. Underground parking areas should include adequate safety features and weather-proofed access points.
9. Where surface or above-grade structured parking areas are visible from the public street, strategies including tree planting, berming, decorative walls, fencing, hedging, and architectural design elements should be used to screen or otherwise obscure these areas.
10. Where parking is permitted at the front of a building, the number of spaces should be limited to the minimum number required to accommodate client and visitor parking. Employee and service parking and all loading areas should be located to the side and rear of buildings, or underground.
11. Where larger surface parking is unavoidable, development is encouraged to break up large parking areas into smaller lots defined by landscaping to minimize the amount of paved surface area.
12. Maximize shading on site through landscaping or other design features, particularly in surface parking areas and pedestrian circulation routes to enhance the comfort of users and to reduce the heat island effect.
13. Surface parking areas are encouraged to provide on-site bio-retention facilities such as bioswales and rain gardens to manage stormwater runoff on site.
14. As per the City's Zoning Bylaw, surface parking areas will be:
  - a. Defined by concrete curbing; and
  - b. Constructed of a solid surface, or of a porous material such as permeable pavers/concrete which maximizes rainwater absorption. Permeable, granular surfaces may be acceptable if treated to prevent dust pollution.



#### 4.2.12 Landscape General Guidelines - All DPAs

In addition to the Landscape General Guidelines noted within this section, there are specific Hillside Revegetation and Renaturalization guidelines applicable to landscaping within a Hillside context. In some cases, the Hillside DPA Guidelines are meant to supercede the General Guidelines in order to address the unique challenges associated with landscaping on steep slope. Please refer to the Hillside DPA Guidelines as applicable.

#### Landscape Designs

1. Landscaping on private property should respect and improve the **streetscape** and **public realm**. All areas not used for buildings, parking stalls, driveways or outdoor storage should be landscaped.
2. Landscape plans must include the required minimum landscape **buffer** between commercial, residential, industrial or institutional development and lands designated as **Agricultural Land Reserve**, as per the City's Zoning Bylaw.
3. Development should utilize trees and landscaping throughout the site to define boundaries, reinforce circulation routes, enhance pedestrian conditions, and optimize stormwater management.
4. Development is encouraged to provide landscaping features that absorb on site stormwater runoff such as rain gardens and bioswales.
5. Where property is adjacent to a public road or public pedestrian corridor, street trees should be introduced in the front setback of a property. Trees species should be selected to be appropriate for their location, and planting should be provided as follows:
  - a. 25-30 m<sup>3</sup> of soil per tree is recommended, in areas with significant hard surfaces, the utilization of soil cells over structural soil is encouraged to meet this standard;
  - b. Tree species adjacent to boulevards should be high-branching deciduous trees to prevent sightline interference on the roadway; and
  - c. Trees must be irrigated by the private property owner and be located on private property.
6. Landscape designs should:
  - a. Complement the natural vegetation and hillsides of West Kelowna;
  - b. Integrate and augment existing landscape into the proposed site and landscape design, including the retention of any existing trees, wherever possible.
7. Planting plans should include a selection of local or adapted species to West Kelowna, prioritizing drought-tolerant species that provide habitat, nesting, pollination, or other biodiversity benefits.
8. Landscape elements that provide other municipal benefits such as stormwater retention or filtration, local food production, or user interaction are encouraged.

#### Water Conservation and Energy Efficiency

9. The following design elements should be incorporated into landscape plans to conserve the use of water:
  - a. **Xeriscaping** and drought-tolerant native landscape materials;
  - b. Irrigation, when used, should be an automated, underground system that conforms to IIABC standards;
  - c. The use of irrigated grass lawns should be minimized and used only for special effect and purpose (e.g. around a main entrance or where the lawn will be used as a play area), where grass lawns are used, explore the inclusion of artificial turf or drought-tolerant grass mixes; and
  - d. The use of human-made water features and fountains is discouraged. If used, human-made water features or fountains should utilize recirculated water or be connected to a cistern designed for the collection of natural rain water.
10. Where possible, utilize landscaping to reduce building energy consumption:
  - a. Incorporate deciduous trees that allow sunlight penetration in areas that need winter solar exposure;



**Figure 21.** General Guidelines Parking Example

- b. Use landscaping to shade buildings in summer; and
- c. Use green roof technologies and climbing vines to further insulate buildings.

### Landscaping in Parking Areas

11. Landscape plans for parking and traffic areas should include:
  - a. Concrete curbs to protect landscaping from adjacent parking or vehicular traffic. These curbs should include cuts to allow stormwater from parking areas to flow through the vegetation;
  - b. Sufficient planting zones that are designed to act as stormwater features, allowing for the goal of all stormwater accumulated within the parking lot to enter a vegetated zone before entry into the stormwater network;
  - c. Paving solutions that are permeable or direct water to planted zones;
  - d. Consideration of fire and building code requirements as well as pedestrian access and safety; and
  - e. Landscape islands located throughout parking areas to visually break up large expanses of parking, meeting the City's Zoning Bylaw requirements at a minimum, including:
    - i. A variety of trees/shrubs/perennials that provide shade and accommodate snow storage;
    - ii. Locations distributed throughout the parking areas (between internal collectors, aisles that provide direct access to parking stalls, and at the mid and end of parking stall aisles); and





**Figure 22. Landscaping in a Parking Area Example**

*iii. Landscaped areas between parking stalls provided at minimum intervals.*

12. As per the City's Zoning Bylaw, provide for snow deposition within parking areas in locations that do not impact landscaping. Additionally, where snow storage is planned for other hard surfaced areas, ensure the location does not impact required parking or site circulation.

## Technical Landscape Considerations

13. The preparation of landscape plans by a member of the B.C. Society of Landscape Architects or other Professional approved by the Director of Development is required. All plant material, preparations, requirements and contractor's work should meet or exceed the Canadian Landscape Standard, Latest Edition, published by the Canadian Society of Landscape Architects (CSLA) / Canadian Nursery Landscape Association.
14. Landscape plans should include a proposed planting plan indicating proposed and existing plant material, a grading/drainage plan indicating proposed and existing grades, and a materials plan indicating proposed surface treatment location of and specifications for fencing. Plans should also show the location of existing trees and landscaping, including retaining walls and landscape beds.
15. Landscape plans should show the following:
  - a. Unless a groundcover, all shrub material should be at least a 2 gallon (#2) size pot, coniferous trees a minimum of 1.5 metres in height and deciduous trees a minimum of 6.0 centimetre caliper dbh.
16. Except where the British Columbia Landscape Standard designates a greater depth based on severity of compaction and grading at the plant site, the following minimum depth of topsoil to amended organic soils on all landscaped areas of a property is required:
  - a. Shrubs – 45 centimetres.

- b. Groundcovers or grass/sod – 30 centimetres.
  - c. Trees – 30 centimetres around and to a depth of 60 centimetres for as large an area as possible.
  - d. Boulevards – should include minimum depths of 90 centimetres for planting beds that include street trees.
17. All landscape beds should be treated with a minimum 50 millimetre depth of landscape mulch which may include bark mulch, pea gravel or shredded mulch. Paving, gravel or mulch should not be considered primary landscaping elements.
  18. All replanting shall be maintained by the property owner for a minimum of 2 years from the date of completion of the planting. During this two-year time period, unhealthy, dying or dead stock will be replaced at the owner's expense in the next regular planting season.
  19. Certain types of plants may harbour damaging diseases or pests that can be transmitted to commercial orchards and vineyards in the Okanagan. To reduce the risk of disease or pest damage, the following types of plants are not permitted:
    - a. All trees of the genus MALUS (apples or crabapples, including all ornamental or flowering crabapples);
    - b. All trees of the genus PYRUS (pears, including Asian and ornamental pears);
    - c. All trees of the genus PRUNUS (flowering cherries and flowering plum);
    - d. All plants of the genus CYDONIA (quince);
    - e. All non-native plants of the genus JUNIPERUS (juniper);
    - f. All non-native trees of the genus CRATAEGUS (hawthorn);
    - g. The BERBERIS vulgaris (common barberry) plant;
    - h. All plants of the genus CHAENOMELES (flowering quince or japonica);
    - i. All plants of the genus AILANTHUS (s: altissima or tree of heaven or stinking sumac);
    - j. All plants as outlined in RDCO Noxious Weed Control Bylaw; and
    - k. Other detrimental species as may be defined from time to time by the Ministry of Agriculture, or other agencies as applicable.



#### 4.2.13 Fencing and Streetscape General Guidelines - All DPAs

1. Fencing and landscape edges should be used when territorial definition, privacy, and security are desired, but should also contribute positively to the **streetscape** and not detract from the **public realm**. The amount of visual screening an edge feature provides should be appropriate to its corresponding use.
2. Fencing will appear as an integrated feature of the site, utilizing a design and materials that complement the principal buildings on the site.
3. Between residential and industrial uses, or where residential use abuts a highway, decorative noise attenuation fencing may be desirable.
4. Landscaping is encouraged on the public-facing side of all fences to soften the visual appearance.

#### Screening

5. Fences and landscaped edges should be used to visually screen storage areas and unsightly land uses from view. When used to screen an area, fences should follow the following design guidance:
  - a. Be constructed of wood, stone, masonry or high quality composites.
  - b. When combined with a landscape screen, decorative metal and wrought iron is encouraged but must ensure that the design is wildlife friendly (i.e, no chance of impalement).
  - c. In industrial areas, when combined with landscaping, black coated chain link or galvanized chain link is acceptable.
  - d. Fencing materials must be consistent with the City's Zoning Bylaw, which generally prohibits the use of adhoc materials and barbed wire or other high security fencing except where necessary for agricultural or industrial settings.



Figure 23.

General Guidelines Fencing Example

#### 4.2.14 Signage General Guidelines - All DPAs

1. Signs should be consistent with the City's Sign Bylaw, and either complement or enhance the adjacent areas, utilizing materials and lighting that presents a quality aesthetic.
2. The location of all signs (including wayfinding markers) should be shown on application design drawings and landscape plans. Development on larger sites are encouraged to include:
  - a. Wayfinding markers to key areas, such as primary entrances and parking areas;
  - b. Signage at every entrance identifying the location of individual units for emergency service provision;
  - c. Complementary design features suitable to the proposed building design and use.
4. Entry signage for residential development, should be ground oriented and located within a landscaped area.
5. Sign lighting and illumination should be oriented so that it does not create light pollution above the horizontal plane, or glare on public roads, neighbouring buildings or residential areas.
6. Fascia signage should be designed as an integral part of the architecture of a building, or where a building is existing, signage design should be well-coordinated with building design.
7. Freestanding signs are encouraged to be ground oriented, mounted on a masonry base and should be unlit or externally lit.
8. Universal design principles should be incorporated to communicate to a range of ages and diversity of abilities.
9. All signage should be of similar size for multi-tenant buildings.
10. A comprehensive sign plan shall be provided as part of any form and character development permit application and should meet the intent and provisions of this section.
11. Where development is adjacent to key gateway corridors to the City, consideration of additional gateway signage to address community needs is encouraged, along with the potential for appropriate cultural and landscaping improvements.



Figure 24.

Signage Example



## 4.3 COMMERCIAL DPA GUIDELINES

### 4.3.1 Area

These guidelines apply to developments in lands zoned for commercial or commercial mixed-use within CWK that require a Development Permit. These guidelines must be read in conjunction with any other applicable guidelines.

### 4.3.2 Purpose

In accordance with the *Local Government Act*, Section 488(1)(f), the purpose of these guidelines is intended to inform the form and character of commercial development. They encourage opportunities for vibrant, safe and successful businesses that contribute to a pedestrian- friendly environment and integrate sensitively into their neighbourhoods.



### 4.3.3 Commercial DPA Exemptions

A Development Permit will not be required for any of the following:

1. Improvements or renovations to building interiors that do not result in a change to a property's parking requirement.
2. Minor exterior renovations, maintenance, repairs or replacements that involve no additions; and that do not change the general form and character of a building, or that make improvements to the form and character at the discretion of the City;
3. Additions up to 200 square metres to a principal building or 40 square metres to an accessory building, as defined by the City's Zoning Bylaw, provided that:
  - a. The addition results in less than a 10% increase in the floor area of the principal building;
  - b. There is no change to the required parking, landscaping, environmental measures, or access to the site; and
  - c. There is no change to the general form and character of a building, or it improves the form and character at the discretion of the City.

### 4.3.4 Commercial DPA Design Principles

The Commercial DPA Design Principles communicate the high-level intentions of these Development Permit Guidelines and reflect the vision and objectives of the OCP. All projects subject to a Development Permit under this area will support the following Principles:

1. Foster commercial development that is attractive to a diversity of both customers and businesses.
2. Encourage development that sensitively integrates and enhances the surrounding neighbourhood.
3. Improve the **streetscape** by requiring **pedestrian scale** design that will contribute positively to the pedestrian experience.

### 4.3.5 Commercial DPA Guidelines

In addition to the General Guidelines, these guidelines apply to all developments under the Commercial DPA.

#### Site Planning

1. Proposed Developments should be designed to integrate sensitively into the existing and planned scale and aesthetic of the surrounding area, considering the existing and planned features of the surrounding area, including building massing, height, and siting or setbacks.
2. Commercial development adjacent to residential uses should have an enhanced focus on the sensitive transition to neighbouring residential areas, as well as ensuring parking, servicing and utility areas are located away from or visually screened from public and neighbouring views. At a minimum, this should include special consideration of:
  - a. Thoughtful site design and building siting to mitigate the impact of traffic, noise, lighting, and other environmental conditions; and
  - b. Fencing and landscape/screening.
3. Any commercial development on West Kelowna's waterfront must create and maintain public access to the waterfront, while mitigating any negative impacts of new development through appropriate siting and setback to ensure public enjoyment of the waterfront is maintained and significantly enhanced.

#### Building Form and Scale

4. Building forms and floor plans that maximize the number of corner units and units with exterior access on two sides are strongly encouraged to facilitate natural ventilation and daylight access.
5. In addition to the general guidelines related to mid-rise buildings requiring a 1.5 metre horizontal stepback above the third storey, in the Commercial DPA enhanced design focus is encouraged to ensure the





**Figure 25. Commercial Guidelines Example**

stepback area is utilized as space for balconies or other amenities.

6. Commercial development should utilize high quality materials that reflect or enhance the character of the adjacent area, such as brick, metal, wood, and stone and avoid materials such as vinyl panels and stucco, with consideration for coordination of the materials within any proposed site signage.

### Ground Level Design and Relationship to the Street

7. Further to the general guidelines related to ground level design, development within the Commercial DPA should pay additional consideration to how building design integrates with the surrounding neighbourhood given that these areas may be located within unique settings adjacent to non-commercial uses.
8. Development on corner lots should include the following:
  - a. Facades that include street entrances and windows along both street elevations.
  - b. A corner focal point, such as a corner entrance, bay window, tower or similar design feature.
9. Notwithstanding the general guidelines related to canopies along the full building frontage of ground-level commercial development, in the Commercial DPA, the focus is on ensuring that weather protection is provided over all exterior pedestrian building entrances with adequate lighting for the comfort and protection of pedestrians, rather than along the entire building face. As this type of commercial

development is located outside of the Centres, this reduced standard is based on the likelihood of a lesser volume of pedestrian traffic along the public street.

10. Notwithstanding the general guidelines related to fencing, in the Commercial DPA decorative metal fencing or screening through landscaping is the preferred method when fencing is necessary, and chain link fencing is generally not permitted in commercial developments, especially along high visibility street frontages.

## Circulation and Parking

11. Notwithstanding the general requirements related to parking, parking areas in between the development and primary public street are not permitted in new commercial developments. Parking should be located underground, at the rear of buildings, or in central parking facilities. Larger, multi-building developments may develop a shared surface parking lot within the interior of the site that is adequately screened from the public street to the satisfaction of the City.
12. Providing bicycle storage areas and end-trip facilities such as showers and change rooms for employees is encouraged, even where not required by the City's Zoning Bylaw.

## Amenity Space

13. Developments are encouraged to provide enough space within their setback to accommodate an outdoor patio/display area for businesses to act as public gathering spaces and amenities in support of the commercial development.
14. Where a mixed-use within the Commercial DPA has more than 20 residential units, the development must include the provision of outdoor recreational facilities and amenities.
  - a. Facilities such as an outdoor children's play space, senior's outdoor amenity areas, and community gardens should be matched to the intended users, and should be scaled in size and complexity to match the scope and scale of the proposed development.
  - b. Balconies or other private outdoor amenity spaces on upper levels should be designed as integral parts of the building massing and design, and not appear as an additive feature.
15. For a tourist commercial development within the Commercial DPA, the development should include facilities and amenities for the tourists that they draw to the area as well as for the benefit of the surrounding local community.



## 4.4 INDUSTRIAL AND BUSINESS PARK DPA GUIDELINES

### 4.4.1 Area

The Industrial and Business Park Development Permit Area (DPA) applies to all development under the Industrial and Business Park land use designations. These DPA Guidelines must be read in conjunction with any other applicable guidelines.

### 4.4.2 Purpose

In accordance with the *Local Government Act*, Section 488(1)(f), the purpose of these Guidelines is to inform the design and character of employment-focused development to realize functional, safe and attractive industrial and business park environments throughout West Kelowna. This includes capitalizing on opportunities to diversify employment types and attract new economic development supported by improvements to design and functionality of the street and pedestrian infrastructure, compatibility with neighbouring land uses, and taking advantage of centrally located lands along the Highway 97 corridor and identified key streets.





### 4.4.3 Industrial and Business Park DPA Exemptions

A Development Permit will not be required for any of the following:

1. Improvements or renovations to building interiors that do not result in a change to a property's parking requirement.
2. Repairs or minor renovations to building exteriors that do not alter the form or character of the building or impact surrounding properties.
3. Additions of up to 200 square metres to a principal building or 40 square metres to an accessory building, as defined by the City's Zoning Bylaw, provided that:
  - a. The addition results in less than a 10% increase in the floor area of the principal building; and
  - b. There is no change to the required parking, landscaping, environmental measures, or access to the site.

### 4.4.4 Industrial and Business Park DPA Design Principles

The Industrial and Business Park DPA Design Principles communicate the high-level intentions of these Development Permit Guidelines and reflect the vision and objectives of the OCP. All projects subject to a Development Permit under this area will support the following Principles:

1. Promote and reinforce efficient use of industrial lands through site design of vacant sites or redevelopment of under-utilized sites, with a focus on access, site circulation and building design for large-scale primary industrial activities.
2. Maintain and enhance the Business Park by exploring opportunities in building design and form to accommodate new and emerging employment types which may include research and technology, light manufacturing and production, studios, laboratories, and ancillary commercial offices.
3. Use high-quality building and landscape design to attract investment and new uses to the Industrial and Business Park land use base.
4. Encourage flexible design which can respond to evolving community and market conditions to support the Industrial and Business Park land use base.
5. Development or re-development of existing smaller lots (as compared to larger industrial parcels of the area) is encouraged, where appropriate, to allow building forms that would accommodate smaller scale uses such as "incubator" facilities or "maker" spaces and other start-up, high-tech, and creative industries.
6. Enhance the pedestrian, transit and cycling environment through site planning, landscaping and built form to create a safe and comfortable experience for all users.
7. Utilize building design to minimize adverse impacts on adjacent properties and create appropriate transitions to other surrounding land uses.

### 4.4.5 Industrial and Business Park DPA Guidelines

In addition to the General Guidelines, these guidelines apply to all developments under the Industrial and Business Park DPA.

#### Site Planning and Landscaping

1. Notwithstanding the general requirement for outdoor storage areas to be located to the rear of sites, consideration may be given within the Industrial and Business Park DPA for outdoor storage areas to be located in other locations on the site where the:
  - a. Entire site is being used for outdoor storage; or
  - b. Outdoor storage area does not encroach upon the required minimum setbacks, and landscape buffers are proposed to adequately screen the use from the public street; or
  - c. Outdoor storage materials being stored are 2.0 metres or less in height, and landscape buffers are



proposed to adequately screen the use from the public street.

2. Given the potential for larger buildings and impervious surface area within this DPA, site planning should incorporate accessible greenspace and landscaped green roofs, where appropriate, to help manage stormwater runoff, reduce heat island effect, and improve site amenity.
3. Smaller lot development may be considered, where appropriate, to facilitate the establishment of uses including light/small-scale manufacturing, incubator facilities or “maker” spaces, start-up businesses, or other creative industries that support the primary industrial- employment use.

### Ground Level Design and Relationship to the Street

4. Notwithstanding the general requirements for form and character as it relates to site and building design, the focus within the Industrial and Business Park DPA is on the areas along a public street, or where viewed from a public street.
5. Office, reception, or sales components of a development, where present, should be located closest to the street to enhance visibility and pedestrian access, with the plant, warehouse, or similar component positioned towards the rear of site.
6. Loading and service doors are encouraged to be oriented away from the public street frontage, either to the rear or side of a street-facing building.
7. Existing street trees should be maintained, and new tree plantings encouraged, to enhance street edge definition and enhance visual screening and noise attenuation.
8. Chain link fencing along high visibility street frontages is generally discouraged. If necessary for security, a chain link or solid fence should include dense landscape screening such as a hedge, or other beautification measures, on the street side of the fence within the property boundary.

### Access, Parking and Circulation

9. Notwithstanding the general requirements related to the location for parking, within the Industrial and



Figure 26. Industrial & Business Park Example

Business Park DPA, consideration may be given for alternate surface parking locations where required operationally, and all landscaping and buffering requirements have been met.

10. Notwithstanding the general requirements related to surface treatment and curbing requirements related to parking areas, within the Industrial and Business Park DPA, consideration may be given to allow permeable, granular surfaces if treated to prevent dust pollution, and reduced curbing requirements when located to the rear of the site.
11. Additional focus within the Industrial and Business Park DPA should be given to ensure the safe separation of loading/servicing and truck access from pedestrian routes to minimize all potential conflicts.

### Building Form and Materials

12. Notwithstanding building form and material requirements within the general guidelines, within the Industrial and Business Park DPA, consideration may be given to more simple design features to accommodate operational requirements related to industrial uses, such as larger or boxier buildings, larger doors and garage doors, more building openings, and/or specific access/circulation patterns. Where these design features are utilized, proof of the operational requirement must be provided with the development application.
13. The use of different exterior materials to distinguish between components of a building (for example, a plant/warehouse from offices/sales area) is encouraged.
14. Metal siding will not be permitted for street-facing and high visibility components of a development (sales, offices, reception areas) but may be permissible for industrial buildings provided that it is incorporated into a high-quality overall design and aesthetic. In general, untreated concrete block, and vinyl or plastic siding is not permitted.
15. Multi-storey, mixed-use buildings (such as those containing industrial and commercial office/sales components) should be designed to accommodate industrial uses on the ground floor by providing generous first floor heights of at least 5.5 metres.

### Transition to Sensitive Land Uses

Where an industrial or intensive business park use is adjacent to another land use including residential,



Figure 27. Industrial & Business Park Example



institutional, parks and open space, or other uses determined to be sensitive, the following guidelines will apply:

16. Mitigation measures, including separation distance, landscaping and screening, and other siting and design strategies, are encouraged to create an appropriate transition. Where more intense impacts are anticipated, an impact study to determine potential impacts and propose mitigation measures may be required. Mitigation measures could include:

- a. Providing landscaping, berms, decorative walls, fencing or other measures to reduce noise, fumes, light, and other potential impacts on adjacent uses, which may be in addition to any screening requirements in the City's Zoning Bylaw;
  - b. Locating parking and site entrances for heavy vehicles, service vehicles and trucks at an appropriate distance from residential properties;
  - c. Increasing the horizontal separation of acute noise, emissions, odour or dust producing sources within an industrial development from adjacent residential and other sensitive uses;
  - d. Considering the specific size, dimensions, intensity or other characteristics of the individual site and operation during development of the site and building design; and
  - e. Utilizing available technologies to reduce/eliminate the impacts of noise, odours, dust, **greenhouse gases** and other emissions, and to protect the environment through consideration of impacts on air, water, and soil quality.
17. Industrial buildings located on corner lots, lots adjacent to residential or institutional properties or next to public spaces should be stepped down in height toward the adjoining street(s), adjacent building(s), or public space, and/or use architectural elements and detailing to give the effect of a stepped down or reduced mass.
  18. Office, reception and sales areas, or other non-industrial components of a development, may contribute to the creation of a **buffer** between industrial activities and adjacent sensitive uses. Similarly, smaller scale businesses which do not produce noxious or undesirable impacts on surrounding properties—such as offices, studios, technology, or light manufacturing—may serve as part of a transitional **buffer** to sensitive land uses.

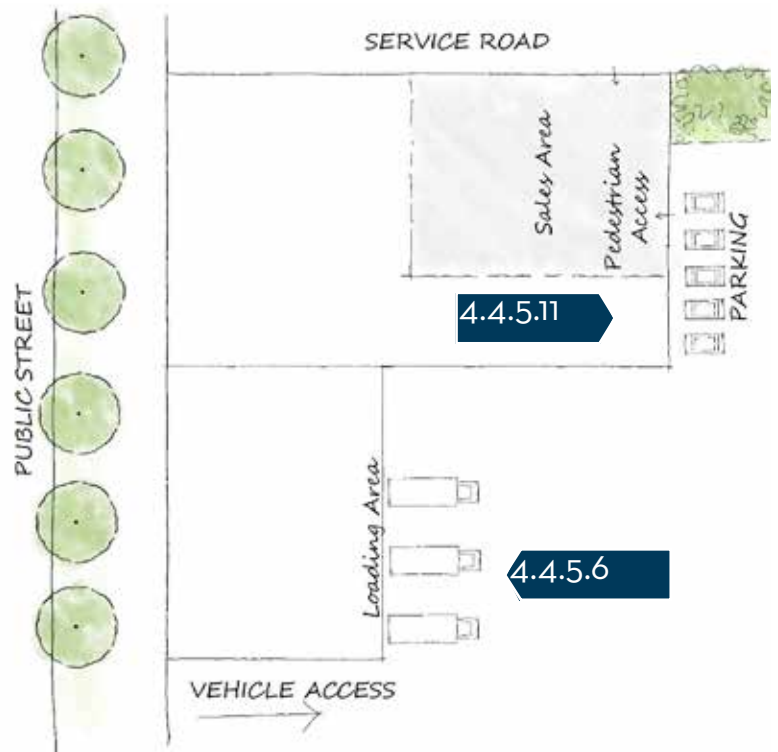


Figure 28. Industrial and Business Park Example - Relation to Street

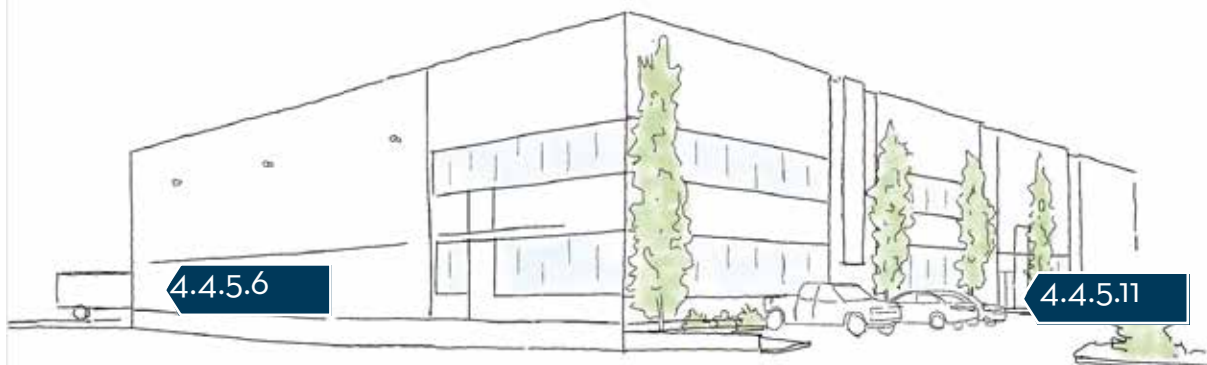


Figure 29. Industrial and Business Park Example - Relation to Street

## Additional Form and Character Considerations for Business Park Buildings

In addition to the Industrial and Business Park DPA Guidelines, these guidelines apply specifically to all developments with a Business Park land use designation.

20. Where building heights are in excess of 3 storeys, the fourth storey and all stories above should be noticeably stepped back to reduce the impact of building mass on the **streetscape**.
21. Maintain and enhance the Business Park as a hub for various employment uses and ancillary services, including but not limited to equipment sales, light production/manufacturing, offices, show rooms, warehousing/storage, research and technology/biotechnology laboratories, media production and studios (film/television/news). Siting for any ancillary light Industrial uses should be located where appropriate and impacts to adjacent properties can be mitigated.
22. Alternative or atypical building form and design may be considered for the development of new and emerging employment types in the Business Park to provide flexibility for uses including those identified under Design Principles (Section 4.4.4.2).
23. Development will improve the public street interface by requiring **pedestrian scale** design and infrastructure, where appropriate. This may include widening the pedestrian network in places to create public or **privately owned publicly accessible spaces (POPS)**, where appropriate, to enhance the **streetscape** and provide areas for local employees as a social gathering area.





## 4.5 WESTBANK URBAN CENTRE DPA

### 4.5.1 Area

The Westbank Urban Centre Development Permit Area (DPA) applies to all developments on lands designated as Westbank Urban Centre, including the Mixed-Use Corridor, Commercial Core, and Residential Shoulder Land Use Designations. These guidelines must be read in conjunction with any other applicable guidelines.

### 4.5.2 Purpose

In accordance with the *Local Government Act*, Section 488(1)(d), (e), (f), and (j), the purpose of these guidelines is to shape the form and character of development within the Westbank Urban Centre, fostering an attractive, dense, and walkable urban district that offers a full range of residential, commercial, institutional/civic, and recreational uses.



### 4.5.3 Westbank Urban Centre DPA Exemptions

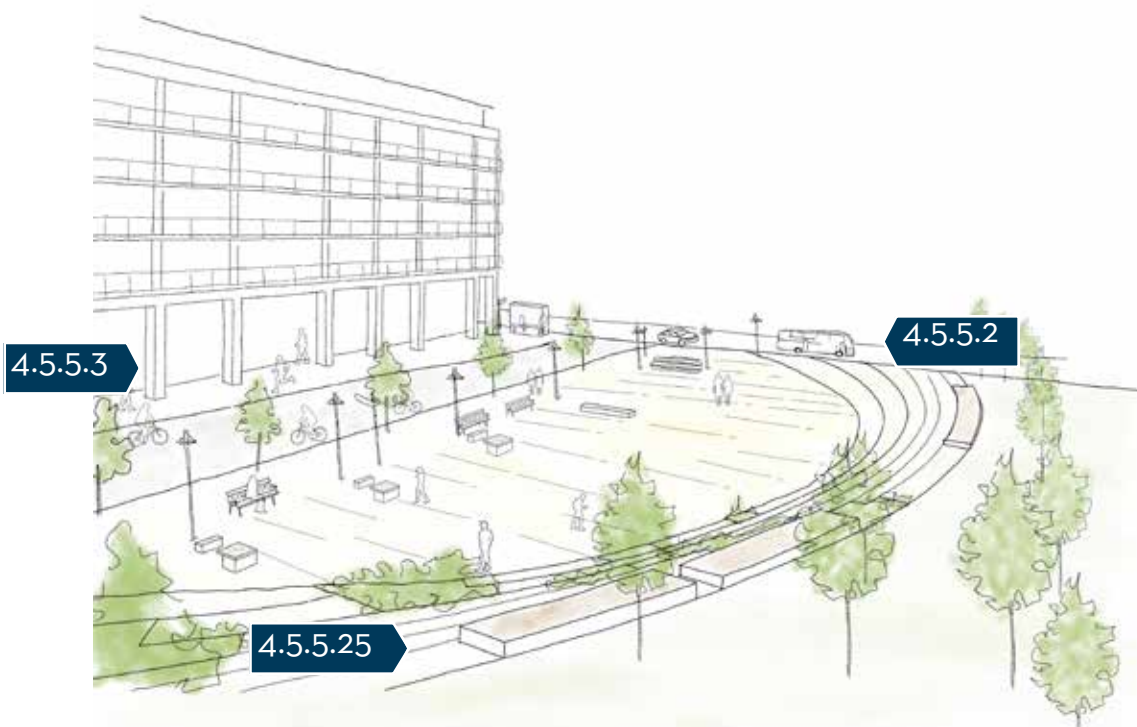
Within this Development Permit Area, a Development Permit will not be required for the following:

1. Improvements or renovations to the interior of a building that do not result in a change to a property's parking requirement.
2. Repairs or minor renovations to the exterior that do not alter the form or architectural elements of the building and do not impact surrounding properties.

### 4.5.4 Westbank Urban Centre DPA Design Principles

The Westbank Urban Centre DPA Design Principles communicate the high-level intentions of these Development Permit Guidelines and reflect the vision and objectives of the OCP. All projects subject to a Development Permit under this Area will support the following Principles:

1. Development and built form contribute to a vibrant, walkable, and mixed-use Urban Centre, which benefits the broader community and fosters a sense of civic pride.
2. Development recognizes, complements, and enhances the existing character of the areas surrounding the Westbank Urban Centre, both in terms of architectural scale and design.
3. Site and building design facilitate the use of active and public transportation, supporting increased access and connectivity to these networks and infrastructure where possible, including key infrastructure such as the Boucherie Mountain Transit Exchange.
4. Exterior and interior spaces, and connections to adjoining spaces, are designed to be accessible for people of all ages and abilities.
5. Development prioritizes a pedestrian-orientated ground level and generous **public realm**, creating a highly engaging, comfortable, and safe experience appropriate to an urban centre.
6. Development responds to and sensitively transitions to areas surrounding the Westbank Urban Centre DPA.
7. Alternative design considerations may be supported for the development of **affordable housing** projects.



**Figure 31.** Illustration showing publicly accessible gathering spaces in a Westbank Urban Centre setting with active transportation options.



## 4.5.5 Westbank Urban Centre DPA Guidelines

In addition to the General Guidelines, these guidelines apply to all developments under the Westbank Urban Centre DPA.

### Site and Building Design

1. Site planning and design will respond to the opportunities and challenges presented by the site location and context, including views, open spaces, street networks, lot size and shape, and natural landscapes to promote attractive and welcoming spaces.
2. New development will create consistent connections and/or extensions, as appropriate, to the surrounding pedestrian, vehicular, and cycling networks through site design and site access points.
3. Buildings will be oriented and designed to front on the primary public street, with additional focus on street-facing entrances and architectural features that contribute to an engaging and attractive pedestrian experience.
4. Development on larger sites and which may be located within long city blocks may be required to provide a mid-block pedestrian connection through the site to promote a finer-grain urban experience. Mid-block connections should include:
  - a. A concrete sidewalk at least 2.0 metre wide;
  - b. Appropriate lighting and landscaping along the entire connection; and,
  - c. Building frontage that contains commercial and/or residential with primary entrances.
5. New buildings that are sited adjacent to a public park, recreation area or privately-owned, **publicly accessible open spaces** may be encouraged where appropriate to design the face of the building to create an active frontage including building entrances and architectural detailing such as a high proportion of glazing or other features which create a physical and/or visual connection to the space. At the discretion of the City, certain public parks or other public spaces may be considered inappropriate based on conflicting uses and/or other operational considerations.
6. Development adjacent to Highway 97 or on the Brown Road Mixed Use Corridor should utilize attractive landscaping, architectural detail, and other strategies to present an aesthetically appealing street edge in the Westbank Urban Centre. Parking areas and outdoor storage yards between buildings and Hwy 97

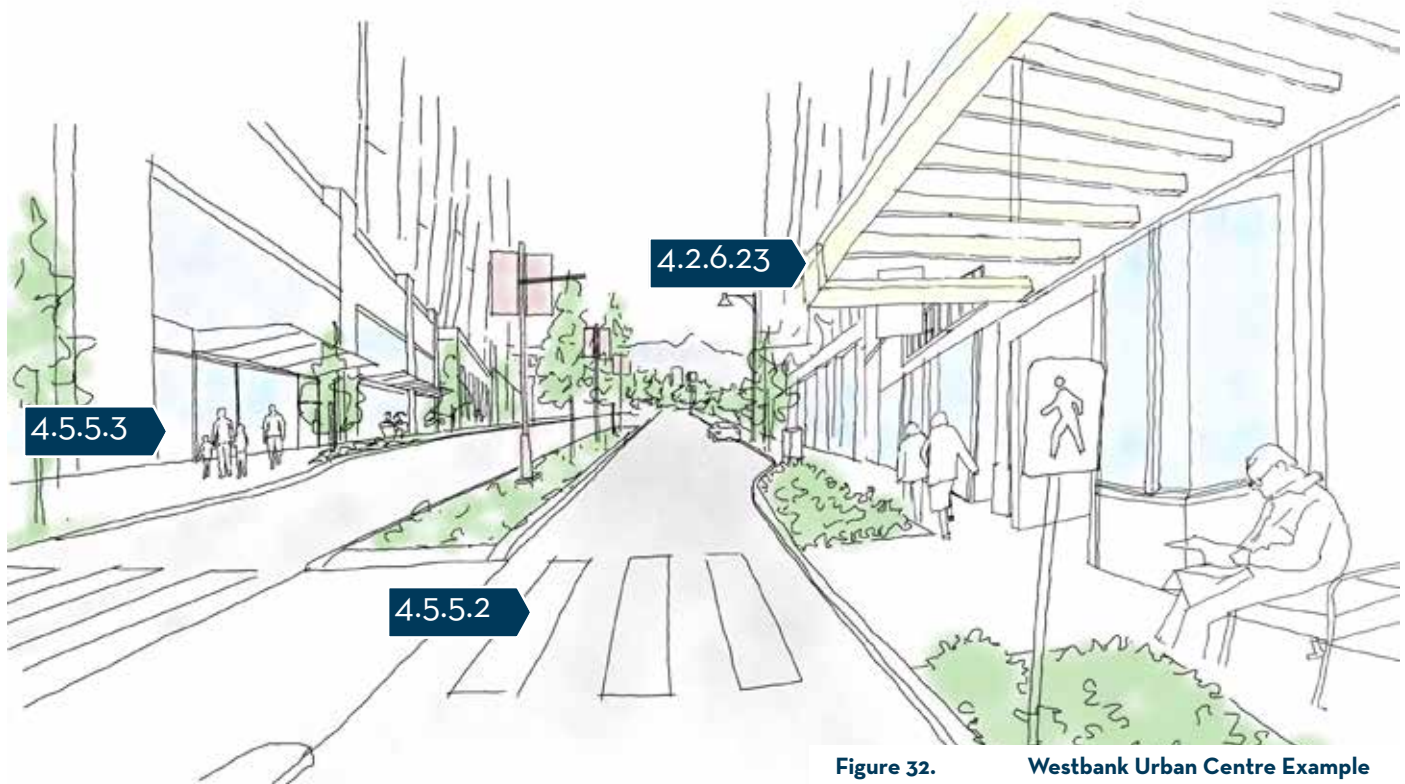


Figure 32. Westbank Urban Centre Example

or Brown Road will not be permitted in new development and should be located at the rear of the site, unless in the case of development on larger sites with multiple buildings, where co-location of parking within the interior of the site is permitted.

## Access, Parking and Circulation

7. Parking uses will not be permitted between the primary public roadway and a street-facing building entrance, except where:
  - a. Permitted within road right-of-way; or
  - b. Adequately screened to the satisfaction of the City and part of a co-located parking lot between buildings within the interior of the site.
8. Developments on larger sites with multiple buildings are permitted at the discretion of the City to co-locate their parking, servicing, and utility areas (including garbage and recycling) in a location within the interior of the site, that is and is further visually screened through landscaping or fencing.
9. Vehicular accesses should be designed to allow the potential for future shared access with neighbouring properties to minimize the number of access points and impact to traffic flow.
10. Development will provide drop-off, loading areas, and barrier free parking stalls near main building entrances and locate servicing, general parking, and utility uses at the rear of buildings to avoid conflict with pedestrian circulation and comfort.
11. Parking for mid- and high-rise development in the Westbank Urban Centre will be provided underground or at the rear of the site, and obscured from view from the public street frontage, multi-building developments may co-locate a surface parking lot within the interior of the site.

## Building Form and Scale

12. Development with long, continuous building spans along the public street frontage will break-up the physical and visual mass through articulation of the building mass and features such as entrances, projections, recesses, and mid-block connections. Buildings of all sizes should incorporate architectural detailing to create a sense of interest.
13. Architectural features including the building style, colour and materials should be utilized to enhance and complement the character of the adjacent and wider neighbourhood context.
14. Buildings should introduce visual appeal through use of high-quality materials such as masonry, wood, glass, steel, and concrete. The use of less durable and resilient materials such as stucco or vinyl paneling should be minimized.
15. Buildings should incorporate high-quality and durable landscaping into their design, including the use of native species, which will be resilient over time in higher-traffic areas.
16. Building entrances will be oriented to the **public realm** and clearly defined using architectural and wayfinding features to be easily identifiable, including to those with limited vision or other abilities.
17. With regard to building height and scale, development will generally transition down towards surrounding lower density areas and land uses, including from the Mixed Use Corridor and Commercial Core to the Residential Shoulders.

## Ground Level Design

18. Base or podium buildings will provide a street wall, to a maximum height of three storeys, which frames the public right-of-way at a **pedestrian scale**, shaping the ground level experience through use of architectural features and detailing, high quality materials, and creation of visual contrast from tower components, where applicable.
19. Development will provide a comfortable pedestrian experience with adequate space between the building and adjacent road for sidewalk and street furnishings. Developments with ground-level commercial space should include an area within the setback for businesses to create outdoor patios or displays, without encroaching into the pedestrian thoroughway.
20. Street level building design should incorporate features providing for the all-season comfort of pedestrians, including canopies, awnings, overhangs, and other structures providing protection from the





**Figure 33. Westbank Urban Centre Example**

elements.

21. Building entrances will be directly linked to the **streetscape** and pedestrian network through appropriate pathways, which are to be universally accessible.
22. Ground level commercial and institutional uses on corner lots should feature:
  - a. Facades that include street entrances and windows along both street elevations.
  - b. A corner focal point, such as a corner entrance, bay window, tower, or similar design feature.
23. Developments with ground-level residential uses should contribute to an active and vibrant street life by utilizing:
  - a. Street-facing windows, entrances, high-quality landscaping, and other design features that contribute to a more engaging experience.
  - b. Front yards and/or porches and amenity areas.
24. Mid- and high-rise buildings will emphasize the street level and its architectural treatment as distinct from



the tower component of a building, with particular attention to the pedestrian experience.

### Amenity Space

25. Higher density mid to high-rise development must consider provision of the following amenities, which are scaled in size and complexity to match the scope and scale of the proposed development to ensure a quality experience for visitors and residents:
  - a. High-quality, functional public outdoor amenity space, such as a plaza, park or other gathering spaces, which are accessible to all and directly connected to the **public realm**. Such spaces will be designed and maintained at the cost of the developer/property owner.
  - b. Private indoor and outdoor amenity spaces including courtyards, social/ event rooms, accessible terraces or green roofs, gyms, or other facilities. Such spaces should be accessible to occupants of all ages and abilities.
26. All developments with multi-unit residential or multi- unit commercial uses are required to create a secure and easily accessible bicycle parking/storage area as per the City's Zoning Bylaw and encouraged at the ground level. Multi-unit commercial uses are encouraged to include end-trip facilities such as showers and changerooms for commercial tenants, even where not required by the City's Zoning Bylaw.



## 4.6 BOUCHERIE URBAN CENTRE DPA

### 4.6.1 Area

The Boucherie Urban Centre Development Permit Area (DPA) applies to all developments on lands designated as Boucherie Urban Centre. These guidelines must be read in conjunction with any other applicable guidelines.

### 4.6.2 Purpose

In accordance with the *Local Government Act*, Section 488(1)(d), (e), (f), and (j), the purpose of these guidelines is to shape the form and character of development within the Boucherie Urban Centre, creating a vibrant, mixed-use neighbourhood that offers a variety of housing, commercial services, recreational uses, and connections to Mount Boucherie.



Figure 35. Boucherie Urban Centre Example

### 4.6.3 Boucherie Urban Centre DPA Exemptions

Within this Development Permit Area, a Development Permit will not be required for the following:

1. Improvements or renovations to the interior of a building that does not result in a change to a property's parking requirements.
2. Repairs or minor renovations to the exterior that do not alter the form or architectural elements of the building and do not impact surrounding properties.

### 4.6.4 Boucherie Urban Centre DPA Design Principles

The Boucherie Urban Centre DPA Design Principles communicate the high-level intentions of these Development Permit Guidelines and reflect the vision and objectives of the OCP. All projects subject to a Development Permit within this Area will support the following Principles:

1. Development contributes to a welcoming mixed-use neighbourhood and the evolution of an alternate urban centre on the east side of West Kelowna.
2. Development recognizes, respects, and enhances the unique natural characteristics and civic appeal of the Mount Boucherie area.
3. Exterior and interior spaces, and connections to adjoining spaces, are designed to be accessible for people of all ages and abilities.
4. Site and building design support the use of active and public transportation, including enhanced connectivity to these networks and infrastructure where possible, including key infrastructure such as the Boucherie Mountain Transit Exchange.
5. Development prioritizes a pedestrian-oriented ground plane and generous **public realm**, creating an engaging, comfortable, and safe experience for all.
6. Development supports the establishment of a community event and entertainment hub in and around the arena at the base of Mount Boucherie.
7. Development responds to and sensitively transitions to areas surrounding the Boucherie Urban Centre Development Permit Area.
8. Development fosters the establishment of Ross Road, Cameron Road and Westgate Road as lively and attractive high streets.
9. Alternative design considerations may be supported for development of **affordable housing** projects.

### 4.6.5 Boucherie Urban Centre DPA Guidelines

In addition to the General Guidelines, these guidelines apply to all developments under the Boucherie Urban Centre DPA.

#### Site and Building Design

1. Site design will respond to the opportunities and challenges presented by the site location and context, including views, open spaces, street networks, lot size and shape, and natural landscapes to promote attractive and welcoming spaces unique to the Boucherie DPA.
2. Development adjacent to Highway 97 or Westgate Road should have an enhanced focus on presenting an attractive and pedestrian-oriented street edge, including use of siting, landscaping and architectural elements. Parking areas and outdoor storage yards between buildings and Highway 97 will not be permitted and should be located at the rear or interior of the site where sufficiently screened.
3. Mid-rise buildings will reduce the impact on the street, including shadowing the street and adjacent uses, using setbacks, stepbacks, and articulation.
4. All development adjacent to Mount Boucherie must maintain a visible and welcoming public access to any existing trails or access points, as well as consider strategies to appropriately minimize any negative



impacts that development may have resulting from shadowing, wind, or access to views of Mount Boucherie.

5. Site design will ensure buildings are oriented to front and engage the public street, where:
  - a. Buildings that are along Ross Road, Cameron Road, or Westgate Road shall be designed to address these streets with primary entrances and allow a setback to create public space that can be used by pedestrians or ground-level businesses. Development that is located on the corners of two of these roads are encouraged to utilize corner entrances to facilitate continuity between the two streets.
6. New development will create consistent connections and/or extensions, as appropriate, to the surrounding pedestrian, vehicular, and cycling networks through site design and site access points.
7. Site planning on lots adjacent to or near the Boucherie Mountain Exchange should include convenient and direct pedestrian and cycling connections between Ross Road and the Boucherie Mountain Exchange to encourage transit-supportive development. These linkages should be welcoming, integrated into the larger pedestrian network, and:
  - a. Be of sufficient width for an urban environment.
  - b. Include appropriate lighting.
  - c. Be well landscaped or have commercial uses fronting directly onto the connections.
  - d. Include design elements such as street furniture, decorative paving materials, wayfinding markers and public art, where appropriate.
8. New buildings that are sited adjacent to a public park, recreation area or privately-owned, **publicly accessible open spaces** may be encouraged where appropriate to design the face of the building to

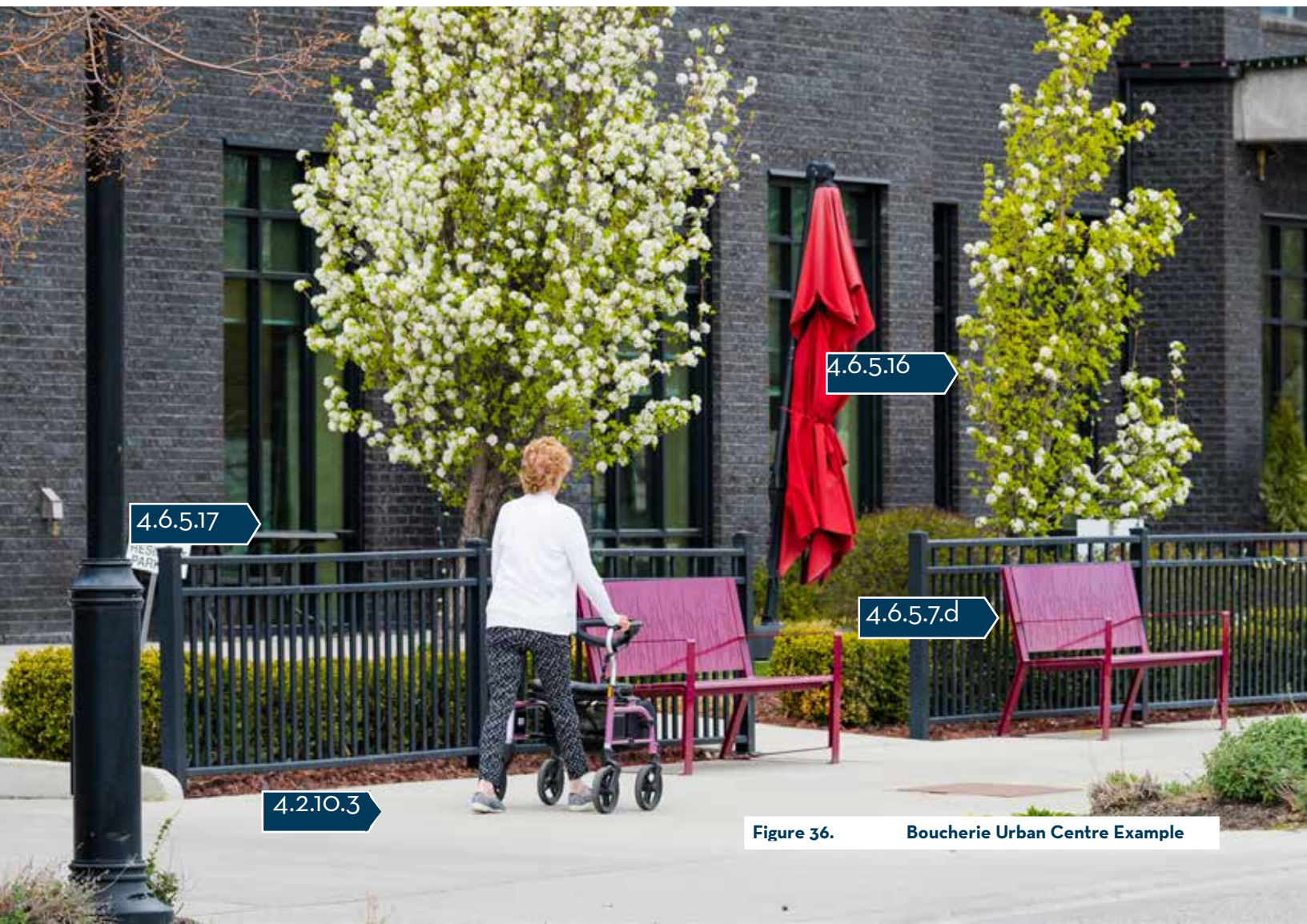


Figure 36.

Boucherie Urban Centre Example

create an active frontage including building entrances and architectural detailing such as a high proportion of glazing or other features which create a physical and/or visual connection to the space. At the discretion of the City, certain public parks or other public spaces may be considered inappropriate based on conflicting uses and/or other operational considerations.

### Access, Parking and Circulation

9. Parking uses will not be permitted between the primary public roadway and a street-facing building entrance, except where:
  - a. Permitted within road right-of-way; or
  - b. Adequately screened to the satisfaction of the City and part of a co-located parking lot between buildings within the interior of the site.
10. Development will provide drop-off, loading areas, and barrier free parking stalls near main building entrances and locate servicing, general parking, and utility uses at the rear of buildings to avoid conflict with pedestrian circulation and comfort.
11. For mid-rise buildings:
  - a. The appearance of garage and service entrances should be minimized by integrating or recessing them into the architectural façade and setting them behind main building entrances.
  - b. Parking must be provided underground or at the rear of the site, and not within view from the public street frontage. Developments on large sites with multiple buildings may co-locate parking within the interior of the site.

### Building Form and Scale

12. With regard to building height and scale, development will generally transition mass and height downward as it approaches lower density areas and land uses outside the Boucherie Urban Centre, encouraging the use of:
  - a. Stepbacks and setbacks along upper levels to minimize shading/overlook;
  - b. Transitions down in height to reduce massing as it approaches the lower density areas; and
  - c. Increased horizontal separation at the base of buildings, where necessary to provide a **buffer** to sensitive uses.



Figure 37.

Boucherie Urban Centre Commercial Example



13. Development with long, continuous building spans along the public street frontage will break-up the physical and visual mass through articulation of the building mass and features such as entrances, projections, recesses, and mid-block connections. Buildings of all sizes should incorporate architectural detailing to create a sense of interest.
14. Architectural features including the building style, colour, and material palette should be utilized to reflect and enhance the natural features of Mount Boucherie, including the prominent use of timber and stone, and massing which respects views to Mount Boucherie.
15. Building design should incorporate high-quality living and working environments in residential and commercial units, with access to daylight, amenity space, natural ventilation, and privacy.

## Ground Level Design and Relationship to Street

16. Further to the general guidelines related to ground level design, an enhanced focus in the Boucherie Urban Centre DPA will ensure buildings contribute to an attractive street wall, which frames the public right-of-way at a **pedestrian scale**, shaping the ground level experience through use of architectural features and detailing, high quality materials components, as applicable to the building use.
17. Development will provide a comfortable pedestrian experience with adequate space between the building and adjacent road for sidewalk and street furnishings. Developments with ground-level commercial space should include an area for businesses to create outdoor patios or displays, without encroaching on pedestrian thoroughway.
18. Buildings should incorporate landscaping that features generous plantings, including native species and, where suitable, the use of the existing topography to weave the natural appeal of Mount Boucherie into the Urban Centre.
19. Multi-unit and commercial building entrances will be oriented to the **public realm** and clearly defined using architectural and wayfinding features to be easily identifiable, and designed with universal design best practices.
20. Ground level commercial uses on corner lots should feature:
  - a. Facades that include street entrances and windows along both street elevations.
  - b. A corner focal point, such as a corner entrance, bay window, tower, or similar design feature.
21. Developments with ground-level residential uses should contribute to an active and vibrant street life by



**Figure 38.** Illustration showing street relationship elements preferred in Boucherie Urban Centre

utilizing:

- a. Street-facing windows, entrances, high-quality landscaping, and other design features that contribute to a more engaging experience.
- b. Front yards and/or porches and amenity areas.

## Amenity Space

22. Medium density mid-rise development (or higher density high-rise where permitted) must consider provision of the following amenities, which are scaled in size and complexity to match the scope and scale of the proposed development to ensure a quality experience for visitors and residents:
  - a. High-quality, functional public outdoor amenity space, such as a plaza, park or other gathering spaces, which are accessible to all and directly connected to the **public realm**. Such spaces will be designed and maintained at the cost of the developer/property owner.
  - b. Private indoor and outdoor amenity spaces including courtyards, social/ event rooms, accessible terraces or green roofs, gyms, or other facilities. Such spaces should be accessible to occupants of all ages and abilities.
23. All developments with multi-unit residential or multi- unit commercial uses are required to create a secure and easily accessible bicycle parking/storage area as per the City's Zoning Bylaw and encouraged at the ground level. Multi-unit commercial uses are encouraged to include end-trip facilities such as showers and changerooms for commercial tenants, even where not required by the City's Zoning Bylaw.



## 4.7 NEIGHBOURHOOD CENTRE DPA

### 4.7.1 Area

The Neighbourhood Centre Development Permit Area (DPA) applies to all developments on lands designated as a Neighbourhood Centre. These guidelines must be read in conjunction with any other applicable guidelines.

### 4.7.2 Purpose

In accordance with the *Local Government Act*, Section 488(1)(d), (e), (f), and (j), The purpose of these guidelines is to shape the form and character of development within the Neighbourhood Centre DPA's, intending to create local, mixed-use nodes within walking distance of existing neighbourhoods. Neighbourhood Centres will provide a variety of housing types, retail, services, and public amenities. These areas will be lower-scale and more localized than the Urban Centres, serving the day-to-day needs of nearby residents, while still containing a mix of uses and densities that contribute to complete communities and attractive destinations throughout West Kelowna.



Figure 39. Neighbourhood Centres Example

### 4.7.3 Neighbourhood Centre DPA Exemptions

Within this DPA, a Development Permit will not be required for the following:

1. Improvements or renovations to the interior of a building that do not result in a change to a property's parking requirement.
2. Repairs or minor renovations to the exterior that do not alter the form or architectural elements of the building and do not impact surrounding properties.

### 4.7.4 Neighbourhood Centre DPA Design Principles

The Neighbourhood Centre DPA Design Principles communicate the high-level intentions of these Development Permit Guidelines and reflect the vision and objectives of the OCP. All projects subject to a Development Permit under this area will support the following Principles:

1. Create a lively, walkable Neighbourhood Centre offering local services, amenities, and employment opportunities, which is sensitively integrated into the surrounding neighbourhood.
2. Develop a low- to mid-rise, mixed-use character of moderate density to encourage an active street life and **public realm**.
3. Utilize architectural and urban design that is reflective of and enhances the character of the existing community.
4. Introduce a higher density of commercial uses and housing types that support daily trips comfortably achieved within the neighbourhood and through active and public transportation from nearby areas.
5. Integrate publicly accessible gathering spaces and recreational opportunities that directly serve residents of the adjacent neighbourhoods.
6. Development responds to and sensitively transitions to areas surrounding the Neighbourhood Development Permit Area.
7. Alternative design considerations may be supported for development of **affordable housing** projects.

### 4.7.5 Neighbourhood Centre DPA Guidelines

In addition to the General Guidelines, these guidelines apply to all development within the Neighbourhood Centre DPA's.

#### Site and Building Design

1. Site planning and design will respond to the opportunities and challenges presented by the site location and context, including views, open spaces, street networks, lot size and shape, and the natural landscape (including topography, vegetation, and waterways) to promote attractive and welcoming spaces unique to each Neighbourhood Centre.
2. Site development on lands with no previous development activity should introduce a pedestrian- oriented street grid that integrates with the surrounding transportation network.
3. Buildings will be orientated to face the primary public street, utilizing street-facing entrances and architectural features that contribute to an engaging and attractive pedestrian experience. Multi-building developments that utilize a parking lot at the interior of the site should also be designed with entrances that face the interior.
4. New buildings that are sited adjacent to a public park, recreation area or privately-owned, **publicly accessible open spaces** may be encouraged where appropriate to design the face of the building to create an active frontage including building entrances and architectural detailing such as a high proportion of glazing or other features which create a physical and/or visual connection to the space. At the discretion of the City, certain public parks or other public spaces may be considered inappropriate based on conflicting uses and/or other operational considerations. Where feasible, all development shall maintain a barrier-free access point to any park, trail, or other open space that was accessible from the public street prior to development.



5. Significant natural and recreational areas within Neighbourhood Centres will be preserved unless otherwise directed by a specific area plan or policy, or a privately-owned, publicly-accessible open space is provided to the satisfaction of the City. Development will be encouraged to take advantage of such community assets by facilitating access where possible.
6. The natural topography of lands within the Neighbourhood Centre DPA's should be preserved and highlighted as much as possible.

### Access, Parking and Circulation

7. Site redevelopment should be oriented such that the existing street pattern of the adjacent neighbourhood is maintained or that a new pattern demonstrates an improved network and pedestrian condition. For example, introducing a more fine-grain grid pattern within a curvilinear street network, or providing additional mid-block crossings could be considered an improved condition.
8. Multi-building developments should provide public, universally accessible pedestrian access that is safe and convenient throughout the site.
9. As a condition of receiving a Development Permit, a development may be required to coordinate with the City to provide space for a future bus connection, including room for benches, shelter, signage, and a pull-out lane.
10. Driveways and garages that face the primary public street are discouraged, and should be located at the rear or interior of the site where feasible.
11. Surface parking lots will not be permitted between the primary public roadway and street-facing building entrances.
12. Developments are encouraged to coordinate and co-locate parking and site access in one location, preferably underground in or in a structure, rather than having separate locations for each development, in order to minimize the overall land use, urban design, and financial impacts of dedicated parking uses.
13. Provide drop-off, loading areas and barrier free parking stalls near main building entrances, and locate servicing, general parking and utility uses at the rear of buildings to avoid conflict with pedestrian circulation and comfort.

### Building Form and Scale

14. All development at the edge of neighbourhood centres should employ site and building design strategies to sensitively transition between the Neighbourhood Centre and the surrounding neighbourhood, minimizing impact from noise and other activity.
  - a. Multi-building development should transition to shorter, less dense building forms as it approaches the edge of the neighbourhood centre. This can be accommodated through reductions in height, stepbacks, setbacks, and site planning.
  - b. Single building development should utilize setbacks, stepbacks and other building design strategies as it approaches the edge of the Neighbourhood Centre.
15. Development with long building spans along public street frontage will break up the physical and visual mass through articulation of the building and features such as entrances, projections, recesses, breezeways, and mid-block connections, where appropriate.
16. Architectural features including the building style, colour, texture, and materiality should be utilized to complement and enhance the character of the adjacent and wider neighbourhood context. Buildings should introduce visual appeal through use of high- quality materials such as masonry, wood, glass, steel, and concrete. The use of less durable and resilient materials such as stucco or vinyl paneling should be minimized.

### Ground-Level Design and Relationship to the Street

17. Building entrances will be oriented to the **public realm** and clearly defined using architectural and wayfinding features to be easily identifiable and universally accessible.
18. Developments with at-grade commercial uses that are adjacent to low-density residential areas outside of the Neighbourhood Centre DPA will mitigate the impacts of sound, light, and traffic through design,

utilizing strategies such as:

- a. Orientation of patios, entrances, and other high-activity areas away from low-density residential uses that are directly beside (does not include uses separated by a roadway) the development;
  - b. Use of landscaping, topography, fencing or other strategies to screen and **buffer** adjacent properties; and
  - c. Maintaining an appropriate setback or separation distance between properties.
19. Buildings will have sufficient front setbacks to create animated street-facing spaces, including areas places for street furniture, patios, display areas and front yards.
  20. Development with ground-level commercial or institutional uses will incorporate canopies to provide shelter from rain and snow along the building frontage.
  21. Ground level commercial and institutional uses on corner lots should feature:
    - a. Facades that include street entrances and windows along both street elevations.
    - b. A corner focal point, such as a corner entrance, bay window, tower, or similar design feature.
  22. Developments with ground-level residential uses should contribute to an active and vibrant **streetscape** by utilizing:
    - a. Street-facing windows, entrances, high-quality landscaping, and other design features that contribute to a more engaging experience.
    - b. Front yards and/or porches and amenity areas.
  23. Retail and commercial uses will typically be located at grade and in the lower level(s) of buildings, with residential uses located above.
  24. The appearance of garage and service entrances should be minimized by integrating or recessing them into the architectural façade and setting them behind main building entrances.

## Building Design Specific to Mid-Rise Buildings in Neighbourhood Centres

In addition to the Neighbourhood Centre DPA Guidelines, the following guidelines apply specifically to developments that are over three storeys within the Neighbourhood Centre DPA.

25. Notwithstanding the general guidelines related to mid-rise buildings requiring a 1.5 metre horizontal stepback above the third storey, in the Neighbourhood Centre DPA all mid-rise buildings that are 4 storeys or greater will require the 1.5 metre horizontal stepback above the second storey. This is to ensure that the building form creates a less imposing feature, and supports a neighbourhood scale that is differentiated from those within Urban Centres.
26. Mid-rise buildings will reduce the impact on the street, including shadowing the street and adjacent uses, using setbacks, stepbacks, and articulation. Mid- rise development adjacent to low-density residential uses will transition down in height as it approaches the lower density areas and may be required to employ horizontal separation to provide a **buffer** in some cases.
27. The massing of the building should introduce setbacks and stepbacks to minimize sun/shading on adjacent areas, transition building mass and height towards smaller-scale development, and reduce any impact on views to Lake Okanagan and Mount Boucherie from adjacent properties.
  - a. Applicants may be required to submit a sun/ shadow study when the City determines there is the potential for shadows caused by the development to impact the use and enjoyment of adjacent properties.
28. Building design should incorporate high-quality living and working environments in residential and



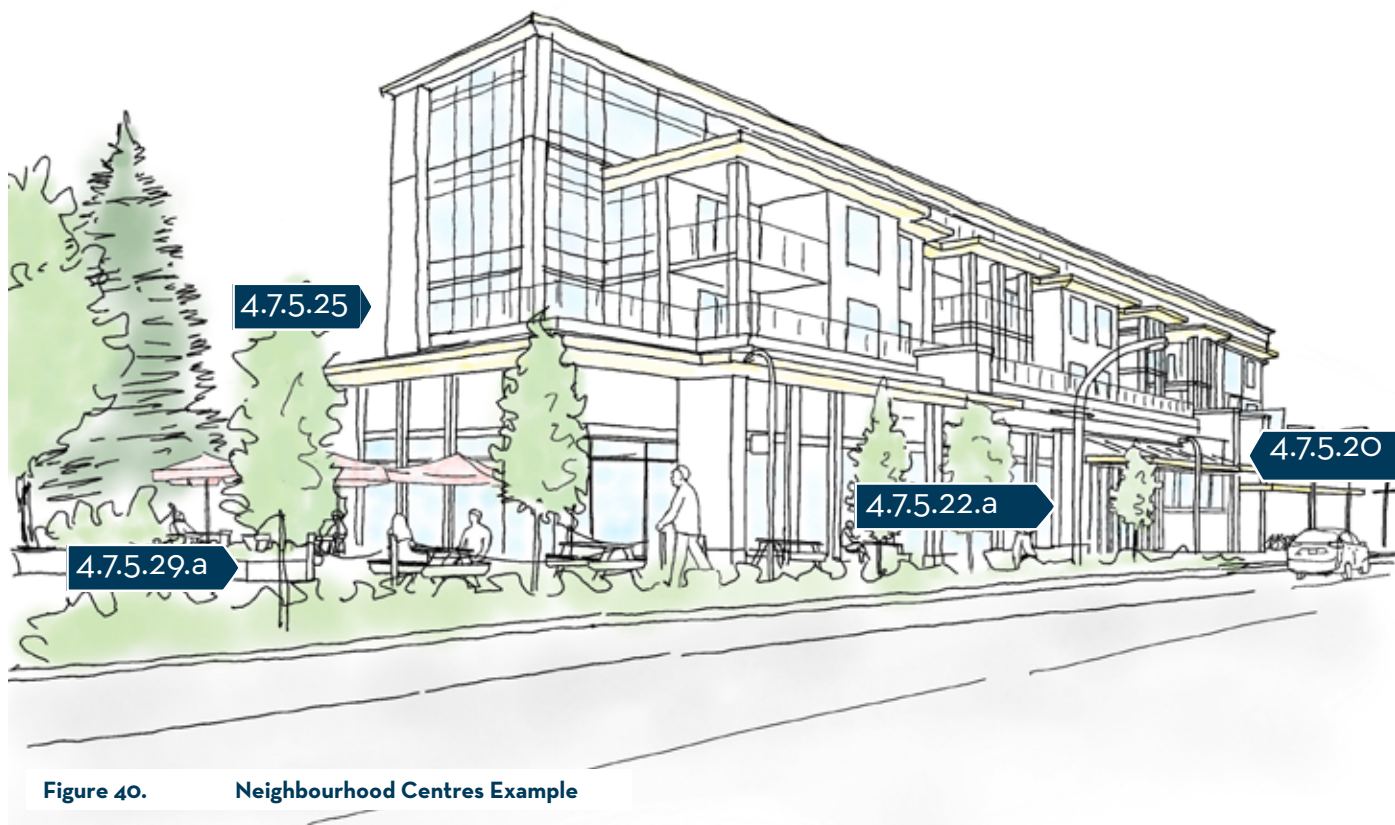


Figure 40. Neighbourhood Centres Example

commercial units, with access to daylight, amenity space, natural ventilation, and privacy.

## Amenity Space

29. Medium density mid-rise development (or higher density high-rise where permitted) must consider provision of the following amenities, which are scaled in size and complexity to match the scope and scale of the proposed development to ensure a quality experience for visitors and residents:
  - a. High-quality, functional public outdoor amenity space, such as a plaza, park or other gathering spaces, which are accessible to all and directly connected to the **public realm**. Such spaces will be designed and maintained at the cost of the developer/property owner.
  - b. Private indoor and outdoor amenity spaces including courtyards, social/ event rooms, accessible terraces or green roofs, gyms, or other facilities. Such spaces should be accessible to occupants of all ages and abilities.
30. All developments with multi-unit residential or multi- unit commercial uses are required to create a secure and easily accessible bicycle parking/storage area as per the City's Zoning Bylaw and encouraged at the ground level. Multi-unit commercial uses are encouraged to include end-trip facilities such as showers and changerooms for commercial tenants, even where not required by the City's Zoning Bylaw.

#### 4.7.7 Neighbourhood Centre Guidelines Specific to Gellatly Neighbourhood Centre

These guidelines apply specifically to all development that requires a Development Permit under this section and which is located within the Gellatly Neighbourhood Centre designation.

1. All development in the Gellatly Neighborhood Centre directly adjacent to Gellatly Road should contribute to an active **streetscape**, including commercial uses at the ground level that provide services and amenities to both residents and the general public to support and promote enjoyment of the public waterfront.
2. Development on lands within the Gellatly Neighbourhood Centre should continue the look and feel established by the multi-use path along Gellatly Road and support pedestrian-focused streets.
3. Development should consider beach shading and view impacts to Lake Okanagan and utilize massing and siting to maintain existing views from other properties and public spaces. This includes stepping down heights as development gets closer to Gellatly Road, allowing for greater heights internal to the site.
4. Developments should utilize architecture and design that is reflective of a vibrant lakeside street including:
  - a. Windows, balconies and entrances facing the lake;
  - b. Larger front yard setbacks and building stepbacks to accommodate seating, patios, terraces, landscaping, display areas and other functional space.
  - c. Unique and attractive paving patterns for public walkways
4. Developments are encouraged to co-locate their parking into a shared parking structure, either below or above ground, that is adequately screened from the public street, either in the rear or interior of the site.
5. Developments are encouraged to include structured parking areas to accommodate public parking to support and promote enjoyment of the public waterfront, and commercial services and amenities within the proposed and anticipated development within the larger neighbourhood.

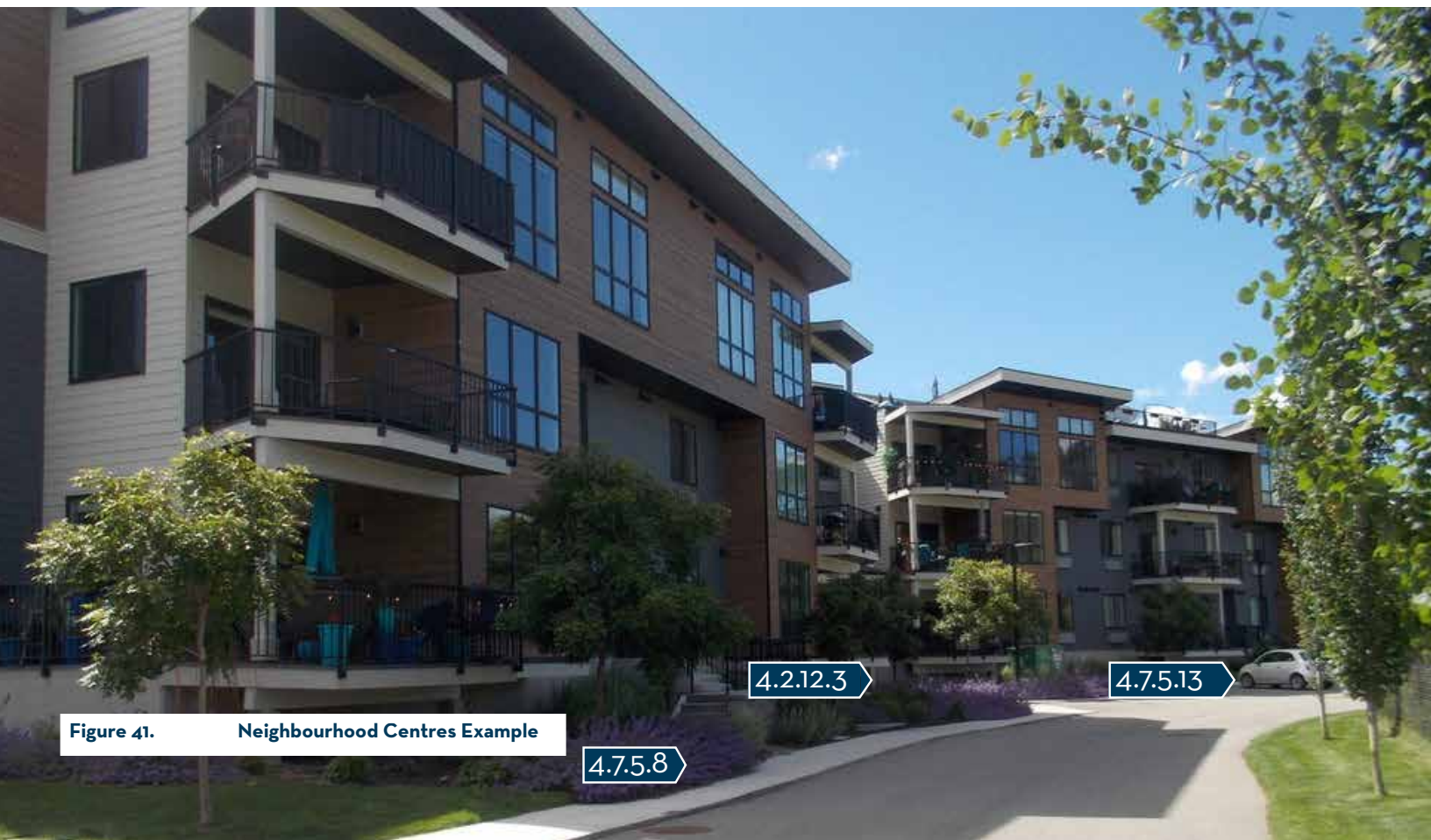


Figure 41. Neighbourhood Centres Example



## 4.8 MULTIPLE FAMILY AND INTENSIVE RESIDENTIAL DPA

### 4.8.1 Area

The Multiple Family and Intensive Residential Development Permit Area (DPA) applies to all lands within CWK where multiple family and intensive residential development is permitted outside of Urban and Neighbourhood Centres. This includes townhouses, multiple family residential, and bare land strata development with three or more units, and for duplexes with three or more buildings.

### 4.8.2 Purpose

In accordance with the *Local Government Act*, Section 488(1)(e), (f), and (j), the purpose of this Development Permit Area is to ensure that new multiple family and intensive residential development and redevelopment is attractive, incorporates a **pedestrian scale**, protects the natural environment and appropriately reflects the design values of both specific neighbourhoods and West Kelowna as a whole, while considering the context of hazardous conditions where applicable and promoting water and energy conservation in concert with consideration of reduction of **greenhouse gas** emissions. Multiple family and intensive residential design should incorporate good urban design principles for the transition between public and private realms, as well as adjacent uses.

### 4.8.3 Multiple Family and Intensive Residential DPA Exemptions

Within this DPA, a Development Permit will not be required for the following:

1. Improvements or renovations to the interior of a building that do not result in a change to a property's parking requirement.
2. Repairs or minor renovations to the exterior that do not alter the form or architectural elements of the building and do not impact surrounding properties.
3. Additions of up to 200 square metres to a principal building or 40 square metres to an accessory building, as defined by the City's Zoning Bylaw, provided that:
  - a. The addition results in less than a 10% increase in the floor area of the principal building; and
  - b. There is no change to the required parking, landscaping, environmental measures, or access to the site.

### 4.8.4 Multiple Family and Intensive Residential DPA Design Principles

The Multiple Family and Intensive Residential DPA Design Principles communicate the high-level intentions of these Development Permit Guidelines and reflect the vision and objectives of the OCP. All projects subject to a Development Permit under this area will support the following Principles:

1. Ensure that residential development is well designed, and sensitively transitions to and integrates with the surrounding neighbourhood through the use of architectural and urban design that is reflective of and enhances the character of the existing community.
2. Improve the **streetscape** by requiring **pedestrian scale** design and ensuring that all new development contributes positively to the pedestrian experience and adds to the **sense of place** aspects of the neighbourhood.
3. Consider how the design of new residential development can support transit and active transportation modes such as walking and cycling.
4. Ensure the provision of on-site amenities, services and gathering places to support the development.
5. Encourage sustainable design, green building practices and high quality construction.
6. Incorporate energy and water efficiency measures into residential developments.

#### 4.8.5 Multiple Family And Intensive Residential DPA Guidelines

In addition to the General Guidelines, the following guidelines apply specifically to all Multiple Family and Intensive Residential development located outside of any identified Urban or Neighbourhood Centres.

##### Site Planning

1. Where multiple family and intensive residential development is located adjacent to single-family residential development or public space, the development should include special design treatment to create separation between the more and less intensive use, as follows:
  - a. Provide sufficient setback treatment between multiple family or intensive residential and single residential uses.
  - b. Include fencing, landscaping, berming and driveways between multiple family or intensive residential and single residential uses. Where possible, use elevation changes, rather than walls, to create a sense of privacy.
  - c. To create a feeling of openness and connection between the site and its surroundings, fence panels should be open and decorative (e.g. wrought iron or custom made wood lattice, or a combination of solid posts and decorative panels) rather than solid and visually impermeable.
2. Development should maintain a strong orientation to the street and be sensitive in scale, height and setbacks to existing development.
3. Where development is located adjacent to agricultural or industrial uses, the development should create separation and screening between the uses using the City's Zoning Bylaw requirements as a minimum.
4. To reduce the potential spillover effect onto adjacent streets, multiple unit residential complexes should have an enhanced focus on:
  - a. Identification of loading areas that can accommodate large scale moving trucks and the needs associated with moving, including site circulation considerations; and
  - b. Provision of visitor parking at convenient locations distributed throughout the site, including universally accessible stalls, that considers the City's Zoning Bylaw requirement as a minimum. Where townhouse developments do not provide driveways of adequate length to accommodate additional parking in front of a garage, visitor parking should be given additional consideration.



Figure 42. Illustration showing townhouse development with orientation to the street



## Building Form and Scale

5. Development should reflect the positive design and **sense of place** aspects of the existing neighbourhood. Design aspects of an existing neighbourhood that must be considered include building heights, form, massing, colours and materials, lighting, roof form, signage and landscaping.
6. The design should minimize overlook into neighbouring single-family residential homes and yards through strategic placement of windows and balconies on upper floors, increasing setbacks and stepping down the height of development where it is adjacent to single-family residential development.
7. Further to general guidelines regarding distinctive character elements for multi-unit development, for larger scale developments in the Multiple Family and Intensive Residential DPA special consideration should be given to variety versus continuity of the building design to ensure appropriate visual interest is achieved over the site.
8. Notwithstanding the general guidelines regarding building materials, within the Multiple Family and Intensive Residential DPA, acceptable materials may include stone, wood, acrylic, stucco, fibre cement siding, and cultured stone. In general, untreated concrete block and metal siding is unacceptable.

## Amenity Space

9. Where a multiple unit complex has more than 20 residential units, outdoor recreational facilities and amenities should be encouraged. Facilities such as an outdoor children's play space, senior's outdoor amenity areas, and community gardens should be matched to the intended users. Townhouse developments may provide for this requirement within designated private at-grade back or front yard areas where the designated at grade space is 25 m2 or greater.



Figure 43. Multiple Family Example



## 4.9 HILLSIDE DPA

### 4.9.1 Area

The Hillside Development Permit Area (DPA) designation applies to all **steep slopes** with a slope angle of 20% or greater for a minimum horizontal distance of 10 meters, as generally identified on Schedule 3 Hillside and Wildfire Interface Development Permit Areas. This Area also applies where site development proposes manufactured slopes with a slope of 20% or greater for a minimum horizontal distance of 10 meters and/or that may result in the creation of hazardous conditions to people or property. A development permit is also required under this area for multiple tier retaining walls and any retaining wall over 1.2 metres in height.

(Note that the exact boundaries of a DPA may need to be determined on a site-specific basis prior to development).

### 4.9.2 Purpose

In accordance with the *Local Government Act*, Section 488(1)(a), and (b), the purpose of this DPA is to ensure that development is safe from hazardous conditions and does not adversely affect the natural environment or surrounding people or property. Hazardous conditions may be avoided when appropriate design management techniques are in place prior to development. Stormwater, erosion, and groundwater management techniques should be utilized where necessary. Innovative and flexible development patterns are encouraged where they concentrate development in less sensitive areas of **steep slopes** and where natural grades permit. Development on slopes over 20% may occur, but require site-specific consideration and a Development Permit (DP). Development on slopes greater than 30% is discouraged.

Council is not required to issue a Development Permit where existing or potentially hazardous conditions have not been satisfactorily addressed.





### 4.9.3 Hillside DPA Exemptions

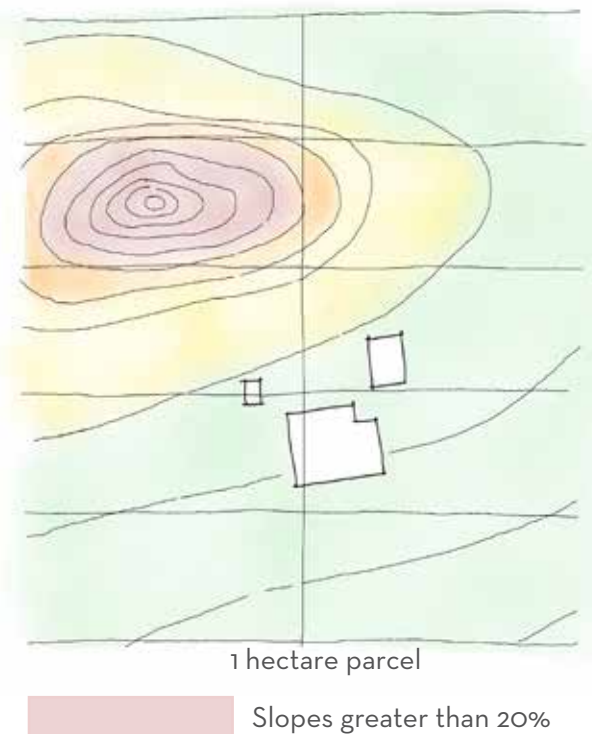
A Hillside Development Permit is not required when it has been confirmed by the City where:

1. A parcel is less than 1 hectare in area, and less than 10% of the site contains hillsides and site modifications do not adversely impact adjacent parcels.
2. The proposed development does not include areas of 20 % slope or greater, as identified by a qualified professional.
3. A property has permanent protection of slopes greater than 20 % and has fenced or delineated this area to the satisfaction of the City.
4. There is a renovation of a building in which that building footprint and any required off street parking space or structure is not altered.
5. Construction entails only fences, solid screens or a single-tier retaining wall less than 1.2 metres in height (Note: where multiple tiers of retaining wall are required, a development permit is required).
6. A slope naturalization/ landscape plan has been submitted to the satisfaction of City staff prior to the submission of a building permit application for the construction of a retaining wall(s) on a single parcel. The plan must be consistent with the Development Permit Guidelines.

### 4.9.4 Hillside DPA Design Principles

The Hillside DPA Design Principles communicate the high-level intentions of these Development Permit Guidelines and reflect the vision and objectives of the OCP. All projects subject to a Development Permit under this Area will support the following Principles:

1. Protect people and property from hazardous conditions in the natural environment.
2. Prevent the creation of hazardous conditions resulting from development on hillsides.
3. Protect the natural environment, its ecosystems and biological diversity on hillsides.
4. Preserve significant natural features and landscapes within the Community (e.g. rock outcroppings, talus slopes, **ravines**, hilltops and ridgelines).
5. Ensure that development on hillsides is monitored for DP compliance and that an adequate level of safety is maintained during the construction phase of an approved development plan.



**Figure 44.** Diagram identifying where a development permit would not be required as less than 10% of the entire 1 hectare parcel is greater than 20% slope.

### 4.9.5 Hillside DPA Guidelines

In addition to the General Guidelines, the following guidelines apply specifically to all development within the Hillside DPA.

#### Monitoring

1. A **Qualified Environmental Professional (QEP)** is required to monitor development activities during the construction and regular reporting may be required by the City.

#### Subdivision and Site Design

2. Hillside development should be designed to fit the site, rather than alter the site to fit the development. This requires site planning that:
  - a. Minimize the alteration of natural grades and the removal and/or disturbance of a natural vegetation;
  - b. Gives priority to limiting site disturbance over achieving maximum parcel yields;
  - c. Uses variations in parcel sizes and subdivision layout to reflect natural site contours; and
  - d. Reduces the need for cuts and fills and minimizes road widths and lengths wherever possible.
5. Protect in perpetuity natural features including rock outcroppings, ridgelines gulleys, **ravines**, escarpments, columns, cliff faces and talus slopes through registration of a covenant, park dedication, or other means as approved by the City.



**Figure 45.** Diagram illustrating the preference for clustering of development, retention of natural areas, and protection of hillside slopes [See 4.9.5.5, 6 & 9]



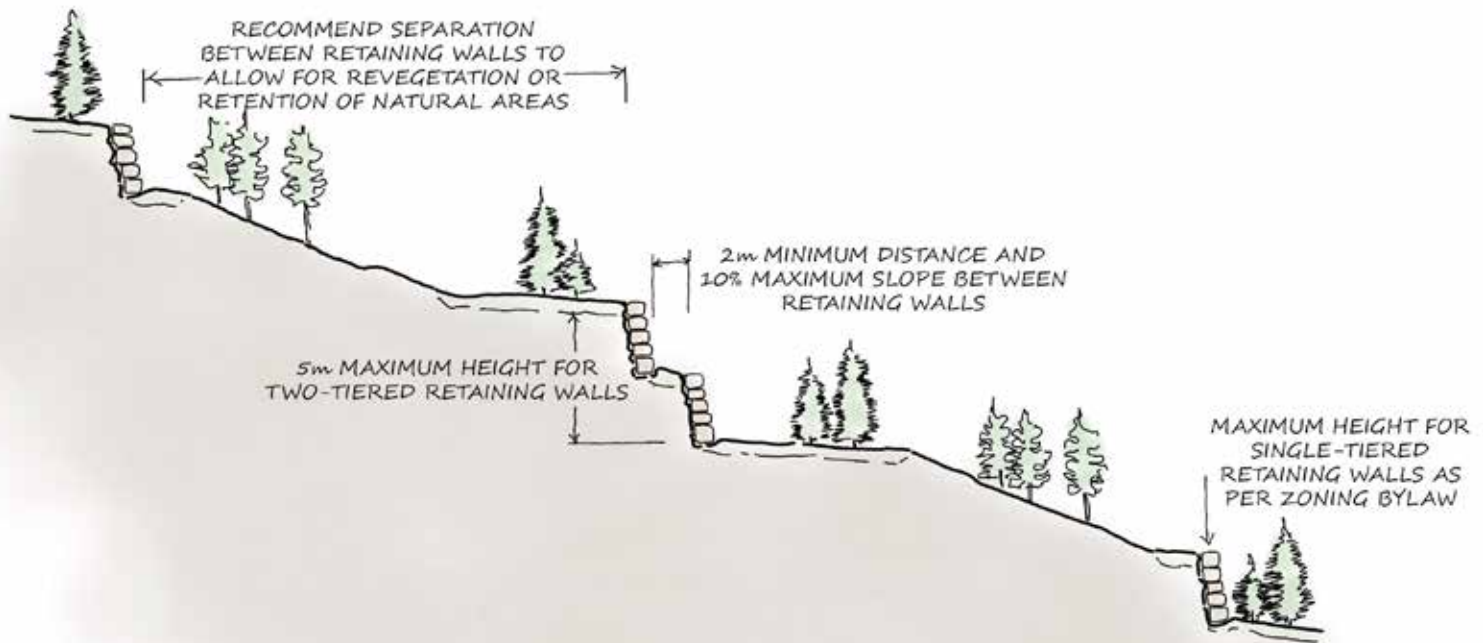
6. Development should be concentrated in flatter areas of the site.
7. A Geotechnical Report prepared by a qualified geotechnical engineer will be required with a Hillside DP application. Where rock fall mitigation or rock cut is unavoidable, the report should provide recommendations for modifications, including blasting techniques, and to verify overall slope stability, hazard mitigation and long term maintenance requirements.
8. Rockfall protection areas shall not be located on City rights-of-ways unless approved by the City.
9. Cluster development is encouraged so units or parcels are concentrated on a portion of a development site and the remainder of the site is left in its natural state. Shared driveways and parking areas are encouraged where they will minimize grading and site disturbance.
10. Panhandles can serve to reduce unnecessary earthworks on hillsides and may be considered in certain circumstances in accordance with the City's panhandle policy.
11. Roads and other routes of public access should not be situated adjacent to cliff faces, talus slopes or rock outcrops unless an acceptable level of safety is certified by a geotechnical engineer and approved by the City.
12. Where appropriate connect roads rather than creating long cul-de-sacs using alignments that minimize hillside impacts.
13. Utilize trails where topography prevents direct linkages to schools, parks and other community destinations through the road network.
14. Hillside development may necessitate roads that have a single row of houses fronting the street, split roads or access lanes to minimize undue disturbance to protect **steep slopes**.
15. Buildings and structures shall be situated on hillsides in accordance with setbacks required by City bylaws or greater setbacks as determined by a geotechnical engineer and approved by the City.
16. The City will require construction activities to be monitored and approved by a geotechnical engineer.

## Drainage

17. Development should occur in cooperation with natural drainage patterns and associated vegetation where possible. Modifications must not cause adverse impacts on adjacent lands.
18. Surface drainage systems are encouraged to be designed to function and serve as open space corridors or passive recreation spaces. These spaces will not be considered as meeting park dedication requirements.
19. Ensure erosion and sediment controls consider the construction process with ongoing monitoring and maintenance of control measures specific to on-site drainage. The plan should consider all phases of construction, recognize changing seasons, include temporary holding ponds and drainage corridors, and update drainage plans required for different phases as necessary.

## Grading and Retaining

20. Site grading plans and sediment and erosion control plans should include measures to:
  - a. Protect 'non-disturbance areas' during the construction phase;
  - b. Keep development entirely outside of potentially hazardous or unstable areas of the site;
  - c. Limit unnecessary disturbance of or exposing large areas of sub-soil and parent material;
  - d. Phase the clearing and removal of trees and vegetation;
  - e. Monitor the site for invasive species during the entire duration of works, and include a plan to identify and efficiently control and prevent the spread of weeds;
  - f. Not undertake earthworks directly following an extreme weather event; and

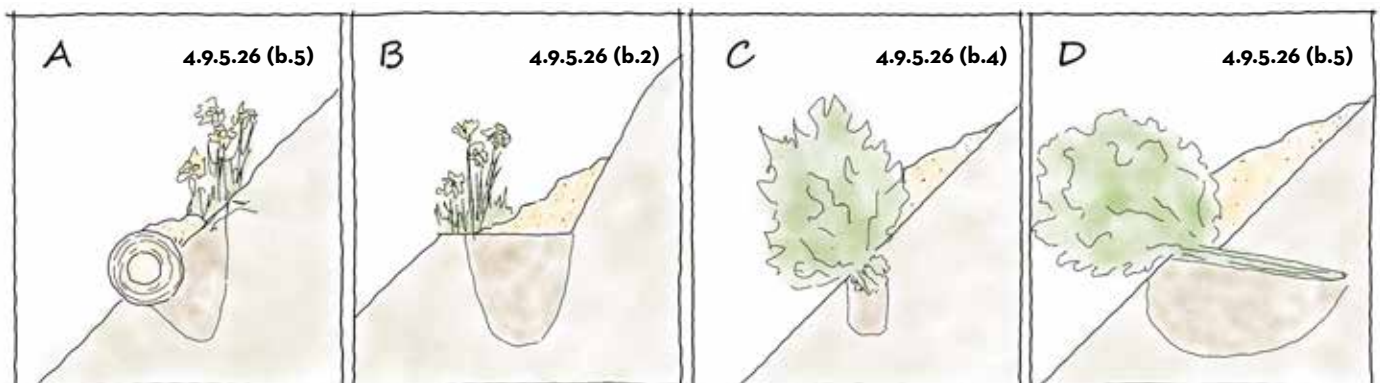


**Figure 46.** Diagram indicating Grading and Retaining requirements for a retaining wall [See 4.9.5.22 & 23]

- g. Control sediment and erosion during construction including mitigative measures to avoid the deposit of materials onto adjacent roads and rights-of-ways, as well as off-site airborne movement (i.e. dust control).
21. The creation of manufactured slopes should occur only where necessary, and their design may require additional consideration when located adjacent to existing development, dedicated road right of way, or other public lands. Hillside design and construction must consider the following:
- a. Manufactured slopes will be designed at a maximum 2V:1H slope or less to promote stabilization, re-vegetation, and naturalization, unless otherwise approved by the City, and should be rounded or benched to produce a more natural appearance.
  - b. Where the final slope will be greater than 2V:1H, re-naturalization of the slope must be designed and completed under the supervision of a **QEP** and include coordination with a geotechnical engineer, including the following considerations:
    - i. Slopes over 1.5V:1H are essentially not able to be revegetated and should be avoided in all circumstances, except under variable rock conditions where considered under geotechnical recommendation; and
    - ii. It should be acknowledged that the area will not support any revegetation or renaturalization efforts, and other mitigation efforts should be considered where possible. This could include vegetative screening along the base of the slope, which may require a wider area to allow for rock catchment and clean out access as necessary, as well as the vegetative screening.
  - c. Minimize the impact to adjacent parcel through:
    - i. Retention of natural features between parcels;
    - ii. Increased setbacks between parcels; and
    - iii. Installation of landscaping buffers
  - d. Larger manufactured slopes should be screened by structures or other landscape features to the satisfaction of the City in order to reduce the appearance of grading from the street and adjacent areas;



- e. Identify existing vegetated areas and any critical structural elements such as rock outcrops, friable soils, coarse woody debris, concentrations of boulders to remain undisturbed, and specifically note instructions as to how the area is to be protected during all phases of construction;
  - f. Wire mesh, shot-concrete and other forms of visually intrusive mechanical stabilization is not permitted, unless required by a qualified geotechnical engineer and approved by the City; and
  - g. Re-naturalization of slopes should occur as soon as possible to minimize potential for erosion and/or slope failure.
22. Any required site grading and retaining must be designed to minimize changes in height between a development site and adjacent parcel(s). Engineered retaining walls may be considered where they are:
- a. Well-integrated into the existing terrain and serve to minimize site disturbance; and
  - b. Subtle and respect the natural character of the site and be of color(s), texture(s) and material(s) that complement the natural landscape.
23. Where retaining walls are deemed suitable and multiple tiers are permitted in accordance with the City's Zoning Bylaw, they must be designed:
- a. With a minimum width of 2.0 metres between tiers and no greater than 10% slope between tiers to accommodate screening and/or re-naturalization when designed at the maximum height; and
  - b. To allow for planting pockets at the base of the walls and between the tiered retaining walls to allow screen planting on several levels.
24. Retaining walls and geogrids shall not be located on City right of ways unless approved by the City.
25. Railway ties and pressure treated wood are not considered acceptable materials for building retaining



**Figure 47.** Diagram illustrating planting methods more appropriate to a hillside setting

structures. Larger inter-locking blocks are not considered acceptable materials for building retaining structures in or adjacent to residential areas.

## Hillside Revegetation and Renaturalization

Notwithstanding the Landscape General Guidelines applicable to all DPAs, the following additional landscaping requirements apply specifically to hillside revegetation and renaturalization. In some cases, the Hillside Guidelines are meant to supercede the General Guidelines in order to address the unique challenges associated with landscaping on a steep slope. Figure 46 provides planting examples in a hillside setting.

26. Unless approved by the City, hillside revegetation and renaturalization plans should:
- a. Be designed and completed under the supervision of a qualified professional and specifically include plant species native to the location, specific solar aspect, and topography, promote plant health, minimize erosion, enhance slope stability, consider irrigation or watering methods appropriate to a hillside setting, and minimize wildfire risk;
  - b. Include reference to a coordinated site grading plan with specific instructions for the construction of a maximum 2V:1H slope using grading and planting methodologies to increase the ability to revegetate the slope, including the following considerations:

- i. Utilize grading and slope preparation methodologies that support revegetation efforts, such as:
  - 1) Ensuring grading equipment operators are well-versed in the intended final slope preparation requirements;
  - 2) Creating benches along the slope to prevent erosion and aid in planting and weed management;
  - 3) Horizontal scarification or surface roughening at base grade to aid in soil retention of final slope cover in combination of controlling equipment movement to avoid surface compaction during final slope preparation;
  - 4) Creating planting pockets at different levels within the slope at base grade to allow for deeper planting in less compacted soils, in-sloped to capture water runoff and provide moisture to the plantings, and clustered to aid in weed management; and
  - 5) Installing and anchoring large woody debris staggered across the slope in combination with live-stakes and plantings, as well as fiber rolls, straw waddles or coir logs, etc.
- ii. Utilize planting methodologies that support plant viability in steep slopes, such as matting logrolls, tree wells, planting pockets, reduced plant sizes to support on-site development of plant hardiness, increased plant densities to account for mortality, consideration of watering during stressful times, regular weeding to remove moisture competition, etc.;
- iii. Topsoil should be retained or replaced to cover all cut and fill slopes to a minimum depth of 150 mm (6"), as directed by a qualified professional; and
- iv. Rock finish or top dressing is not permitted on manufactured slopes where revegetation and/or renaturalization plans are required, except in the following circumstances:
  - 1) The rock finish or top dressing covers only portion of the slope and has been specifically included in the planting plan and final grading instructions for the finished slope; and
  - 2) Has been required by a geotechnical engineer as part of a recommendation related to slope stabilization.
- c. On manufactured slopes up to 5 metres in vertical height, hydro seeding must occur at a minimum.
- d. On manufactured or disturbed slopes greater than 5 metres in vertical height, with the exception of vertical rock faces, the slope must be re-naturalized to mimic natural conditions under the guidance of a qualified professional and to the satisfaction of the City.



## 4.10 AQUATIC ECOSYSTEM DPA

### 4.10.1 Area

The Aquatic Ecosystem Development Permit Area (DPA) designation applies to all land as generally identified on Schedule 4 Aquatic and Terrestrial Ecosystem Development Permit Areas.

### 4.10.2 Purpose

In accordance with the *Local Government Act*, Section 488(1)(a), and (b), the purpose of this Development Permit Area is to protect the environmental and habitat value of **watercourses** and their adjacent **riparian areas**, address flood issues, and to control erosion. **Watercourses**, **riparian areas**, fish and wildlife habitat, and travel corridors act as natural water storage, drainage and purifying systems. **Riparian areas** need to remain in a largely undisturbed state in order to maintain healthy **watercourse** environments as well as protect private property from flooding and potential loss of land due to channel erosion and instability.

### 4.10.3 Aquatic Ecosystem DPA Exemptions

An Aquatic Ecosystem Development Permit is not required when it has been confirmed by the City where:

1. A notice of the Development Permit has already been registered on property title for a permit dealing with all aquatic ecosystem issues pertaining to the current proposed development of the site, the conditions of the permit have been met, and the existing Development Permit protects the entire identified **riparian area**.
2. The Aquatic DP area has been:
  - a. Identified by a **Qualified Environmental Professional (QEP)**;
  - b. Permanently protected through registration of a restrictive covenant, return to Crown Land, or dedication to CWK as public park; and
  - c. Marked by a British Columbia Land Surveyor and fenced to the satisfaction of the Director of Development, or designate.
4. There is a renovation of a building in which the building footprint is not altered, and the riparian area is protected from any new disturbance.
5. The activity involves a provincial tenure or permit process on Crown Land that is conducted under the auspices of the B.C. Provincial Government.
6. The activity involves a Section 11 approval under the *Water Sustainability Act*, and is consistent with the Aquatic DP Guidelines.
7. The activity has been determined to require and has received Provincial approval through a *Riparian Areas Protection Regulation (RAPR)* Assessment.

### 4.10.4 Aquatic Ecosystem DPA Design Principles

The Aquatic DPA Design Principles communicate the high-level intentions of these Development Permit Guidelines and reflect the vision and objectives of the OCP. All projects subject to a Development Permit under this Area will support the following Principles:

1. To broadly protect, restore and enhance aquatic ecosystems (water, wetland, riparian and broadleaf woodland).
2. To protect vital fish and wildlife features and functions, including, but not limited to, habitat, travel corridors, places of refuge and breeding areas.
3. To implement the *Provincial Riparian Areas Protection Regulation (RAPR)*, or equivalent, for the protection of fish habitat.
4. To protect water quality and quantity.
5. To discourage development in areas that are susceptible to flooding as a result of proximity to a **watercourse** that could flood, as identified by the Province.

#### 4.10.5 Aquatic Ecosystem DPA Guidelines

In addition to the General Guidelines, the following guidelines apply specifically to all development within the Aquatic Ecosystem DPA.

##### Site Design

1. Site design and development should be consistent with an **Environmental Report** prepared in accordance with guidelines contained in this section.
2. Minimum **buffers** for sensitive aquatic ecosystems should generally be thirty (30) metres. Alternate **buffers** may be explored where based on professional on-site assessment by a Qualified Environmental Professional (QEP), as outlined in Provincial RAPR. **Buffer** distances should reflect the objectives and guidelines of current Provincial Best Management Practices.
3. All CWK infrastructure and private development proposals will adhere to the following sequence of management objectives:
  - a. Mitigate impacts to **watercourse** protection areas through appropriate project siting and design;
  - b. Minimizing disturbance, and repairing or restoring damaged aquatic habitat to the former state or better; and
  - c. Restore areas if repair or removal of structures or vegetation is proposed within areas of human disturbance, as defined under RAPR.
4. Where possible, maintain entire intact ecosystems.
5. For land fronting Lake Okanagan, provision may be made in the development permit for recreational access and docks, in accordance with the Provincial Best Management Practices. A plan must be prepared that indicates how sediment, erosion and construction control measures will protect the **streamside protection and enhancement area (SPEA)**. Restoration or enhancement of the **SPEA** will be required should it be damaged during construction.
6. For large development areas, site plans should demonstrate how access will be managed to minimize damage to any identified **watercourses** or aquifers from uncontrolled access by recreational vehicles and other activities (i.e. mountain bikes, ATVs, hiking) into unplanned and unmaintained trails, bridges, and natural areas. Use of fencing, railings, barriers, groomed or marked trails may also assist in mitigating impact.



Figure 48. Aquatic Ecosystem DPA Example



7. To maintain natural connectivity, roads, land bridges, driveways and utility corridors should not be located along, parallel to, or across riparian ecosystems. Where it can be demonstrated that alternatives are not possible, design crossings that are narrow and perpendicular to **riparian areas** and elevated in order to maintain connections.
8. Manage and minimize the impact of livestock crossings and livestock access to water on **riparian areas** and aquatic ecosystems.
9. Changes to surface and ground water flow can negatively impact aquatic, riparian, and wetland ecosystems. Trails, roads, construction and development should be designed to maintain the hydrology of these ecosystems. Inflow and outflow **streams** should not be dyked or dammed.
10. Where construction will occur on existing parcels adjacent to streams or lakes that may be impacted by flooding, buildings shall meet elevation and setback requirements as outlined in the City's Zoning Bylaw, as well as the Provincial flood management guidelines.

## Environmental Report

11. Applicants must provide an **Environmental Report** prepared by a **QEP** that includes the following:
  - a. A Riparian Assessment addressing the RAPR, and establishing the **SPEA**.
  - b. A statement of how the proposal addresses the Provincial Best Management Practices guidelines and assessment methodologies pertaining to aquatic habitats, groundwater management and drinking water protection.
  - c. Assessment from an environmental perspective of the proposed drainage, sediment and erosion control, storm drainage systems, and slope stability (consistent with the City's Works and Services Bylaw).
  - d. Identification and assessment of **sensitive ecosystems** on the site (include references to the City's Sensitive Ecosystem Inventory and Sensitive Habitat Inventory and Mapping).
  - e. Assessment of the wildlife values of the site. The consultant or team of consultants should have an understanding of wildlife biology, especially for species at risk, geomorphology, environmental assessment, and development planning in British Columbia. Specific expertise in Okanagan Valley wildlife species, wildlife habitat, and ecosystems is highly preferred.

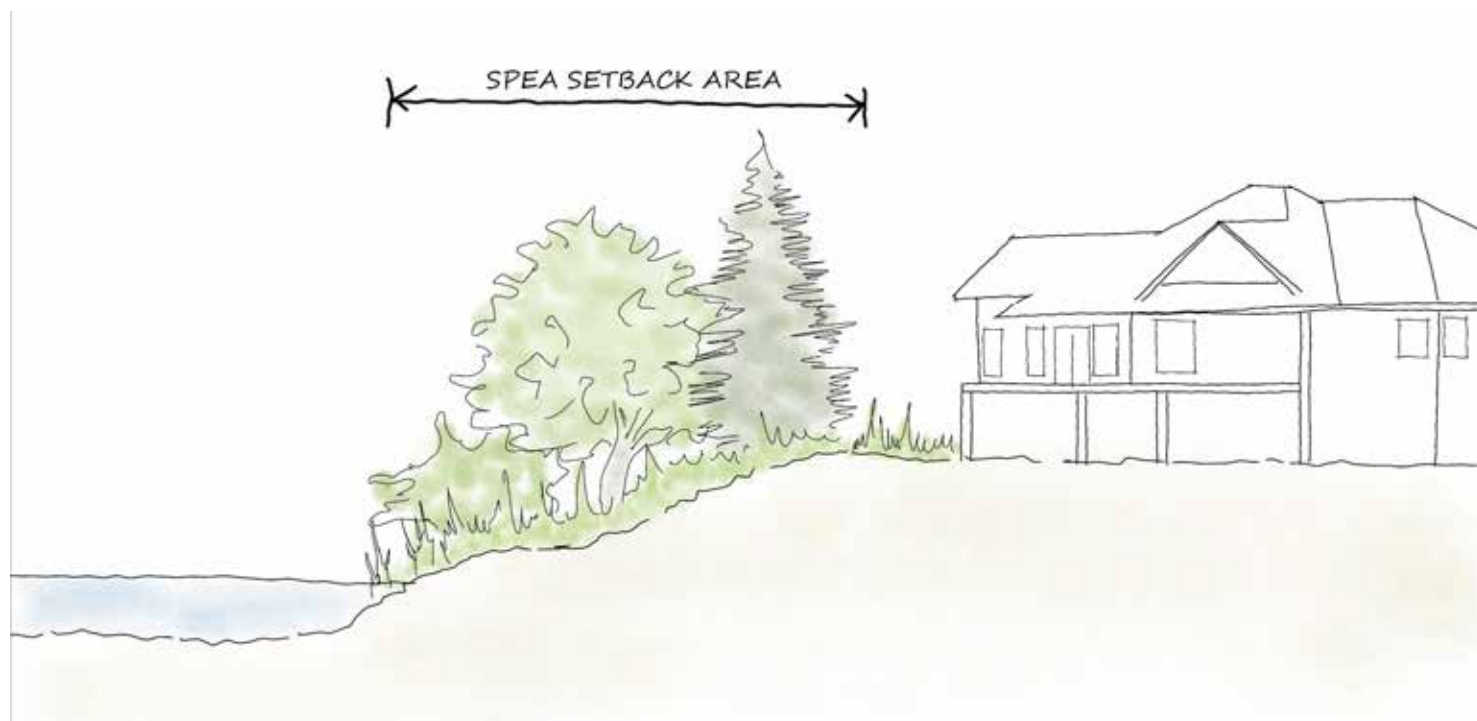


Figure 49.

Aquatic Ecosystem DPA Riparian Setback Example

- f. Identification of, and measures required to protect active bird nests and the nests of eagles, falcons, ospreys, owls or herons, including minimum **buffers** in accordance with the Provincial Environmental Best Management for Urban and Rural Land Development.
- g. Where wetlands or **riparian areas** exist within the development area, include mechanisms to ensure the proper hydrological function is maintained, as prepared by a hydrologists and/or hydro-geologist.
- h. A report prepared by a professional hydrologist may be required in circumstances where the hydrological condition has been or may be significantly disturbed.
- i. Demonstrate how post-development the site will maintain normal wetland and water processes such as flooding, seasonal drawdown, and groundwater recharge.
- j. Where a development site has erosion potential or slope stability hazards, assessment of measures to address these issues by a professional geoscientist.
- k. Identification of the location of intact riparian vegetation, as well as plans for maintenance of the vegetation, or restoration where the site has been disturbed or where invasive weeds have intruded.
- l. Determination of a suitable **leavestrip** for the development site - see **Leavestrips** below
- m. A plan for connectivity of **leavestrips** and natural areas. Networks of **leavestrips**, natural areas and foreshore may provide for public access where such access is designed in a way that is not detrimental to the natural environment.
- n. The timing of site work and rehabilitation.
- o. An environmental monitoring plan.

## Leavestrips

- 12. A leavestrip for the protection and restoration of the riparian ecosystem is to remain undisturbed near watercourses. The leavestrip is intended to protect and restore the riparian ecosystem, and to accommodate the dynamic nature of the hydrologic system, maintain water quality, base flows, and natural drainage patterns. The leavestrip should remain untouched by development and left in its natural condition, or, if damaged by previous use or construction, the leavestrip ecosystem should be restored or enhanced.
- 13. A leavestrip, at minimum, is inclusive of the **SPEA** if determined as part of a riparian assessment, where the location and width of a leavestrip should be determined by a **QEP** in accordance with the following:
  - a. The minimum requirements of the Provincial RAPR;
  - b. Whether the **watercourse** is fish bearing;
  - c. Whether the **watercourse** has downstream water intakes;
  - d. The proximity to **stream** or shore spawning areas;
  - e. The location of natural wetland and riparian ecosystem communities;
  - f. The location of important denning or nesting habitat;
  - g. Ecosystem continuity off site and in the larger area;
  - h. The potential impact of existing and proposed land uses on the subject property;
  - i. Confirmation of the existence of any unauthorized fill and/or retaining structures;
  - j. The potential impact of existing and proposed land uses on adjacent lands;



- k. Where applicable, potential impact of livestock storage, onsite septic disposal, fuel storage, aggregate extraction, or other sources of potential surface or groundwater contamination;
  - l. The extent of land clearing, berming, or removal of vegetation and topsoil;
  - m. The natural slope of the land;
  - n. For agricultural operations, Ministry of Agriculture Best Management Practices for agricultural building setbacks from **watercourses** in farming areas; and
  - o. other Aquatic Ecosystem DP Guidelines.
14. When determining the natural boundary of a **watercourse**:
- a. where a lake is gauged, the **QEP** may use the high water mark;
  - b. where indicators on the shoreline show that high water mark is not applicable at that site, a technical rationale must be provided by the **QEP** for determining the natural boundary on a site-specific basis and in accordance with the Provincial RAPR methodology; and
  - c. where the **QEP** has determined the site is subject to unauthorized fill, the **QEP** must use the historic natural boundary in determination of the leavestrip on Okanagan Lake.
15. All **leavestrips** may be required to be identified along their perimeter during all phases of construction, by means such as brightly coloured snow fencing, in order to prevent any accidental disturbance.

## 4.11 SENSITIVE TERRESTRIAL ECOSYSTEM DPA

### 4.11.1 Area

The Sensitive Terrestrial Ecosystem Development Permit Area (DPA) designation applies to all land as generally identified on Schedule 4 Aquatic and Terrestrial Ecosystem Development Permit Areas as having upland environmental values that require consideration and protection but that have not already been designated in Aquatic Ecosystem DPA.

### 4.11.2 Purpose

In accordance with the *Local Government Act*, Section 488(1)(a), and (b), the purpose of this Development Permit Area is to protect rare and fragile terrestrial ecosystem types located within the boundaries of West Kelowna.

The central Okanagan basin of British Columbia is an area of great ecological significance within both the province of B.C. and Canada as a whole. It is an area with high biodiversity values, and many rare and endangered ecosystems, plant and animal species. This DPA is intended to protect habitat for endangered species of native, rare vegetation or wildlife, and provide wildlife corridors and secondary habitat within West Kelowna.

### 4.11.3 Sensitive Terrestrial Ecosystem DPA Exemptions

A Sensitive Terrestrial Ecosystem Development Permit is not required when it has been confirmed by the City where:

1. A site inspection and professional report has been completed and submitted by a **Qualified Environmental Professional (QEP)** with experience in rare and endangered species demonstrating that all **sensitive ecosystem** attributes of the site have been lost due to previously approved development.
2. A notice of the development permit has already been registered on property title dealing with terrestrial ecosystem issues pertaining to the current proposed development of the site, and the existing development permit protects the **sensitive ecosystem** identified on site.
3. The Sensitive Terrestrial DP area has been:
  - a. Identified by a **QEP**;
  - b. Permanently protected through registration of a restrictive covenant, return to Crown Land, or dedication to CWK as public park; and
  - c. Marked by a British Columbia Land Surveyor and fenced to the satisfaction of the Director of Development, or designate.
4. There is a renovation of a building or structures in which the building footprint is not altered more than 10 square metres in area.
5. The activity involves water management works conducted under the auspices of the Regional Water Manager.



4.11.5.9.e

4.11.5.3

Figure 50.

Sensitive Terrestrial Ecosystem DPA Example



#### 4.11.4 Sensitive Terrestrial Ecosystem DPA Design Principles

The Sensitive Terrestrial Ecosystem DPA Design Principles communicate the high-level intentions of these Development Permit Guidelines and reflect the vision and objectives of the OCP. All projects subject to a Development Permit under this Area will support the following Principles:

1. To identify, protect and minimize the disturbance of sensitive terrestrial ecosystems within the City.
2. To preserve rare and endangered native vegetation, wildlife and wildlife habitat.
3. To ensure that land development is carefully planned to protect environmentally sensitive areas.
4. To ensure that wildfire management strategies are implemented in an ecologically sensitive manner which mimics the effect of historic natural fire cycles in the region.
5. To conserve sensitive terrestrial ecosystems in a relatively natural state while supporting rural and urban land uses.

#### 4.11.5 Sensitive Terrestrial Ecosystem DPA Guidelines

In addition to the General Guidelines, the following guidelines apply specifically to all development within the Sensitive Terrestrial Ecosystem DPA.

##### Site Design

1. Ensure development considers relevant provincial legislation, such as the *Migratory Bird Convention Act*, *BC Wildlife Act* and *Species at Risk Act*.
2. Site design and development should be consistent with an **Environmental Report** prepared in accordance with the guidelines contained in this section.
3. Settlement, construction, land disturbance, and other development are discouraged within sensitive terrestrial ecosystems.
4. For large development areas, site plans should demonstrate how access will be managed to minimize damage to any identified sensitive terrestrial ecosystems from uncontrolled access by recreational vehicles and other activities (i.e. mountain bikes, ATVs, hiking) via unplanned and unmaintained trails, bridges, and natural areas. Use of fencing, railings, barriers, groomed or marked trails may also assist in mitigating impact.
5. Developments and subdivisions should be designed to protect endangered, threatened, or vulnerable species and plant communities, including critical habitat and consideration of **buffered** areas.
6. Where disturbance cannot be mitigated, compensation for on-site loss may be acceptable with the intention of no net loss of critical habitat overall in the vicinity of the project.
7. Where possible, development should be designed to conserve snags, standing dead trees and potential wildlife recruitment trees, especially located within or adjacent to areas of higher ESA values.
8. Avoid the creation of isolated islands of ecosystems. Corridors should be provided between sensitive terrestrial ecosystems to create interconnectedness especially for critical wildlife travel routes.
9. Applicants must provide an **Environmental Report** prepared by an **QEP** together with other professionals, as the project warrants, that includes the following:
  - a. Assessment from an environmental perspective of the proposed drainage, sediment and erosion control, storm drainage systems, and slope stability (consistent with CWK's Subdivision and Development Bylaw).
  - b. Identification and assessment of **sensitive ecosystems** on the site (include references to CWK's Sensitive Ecosystem Inventory).
  - c. Identification of stands of trees and individual trees where they have environmental value, and include mechanisms for protection during and post construction.

- d. Assessment of the wildlife values of the site. The consultant or team of consultants should have an understanding of wildlife biology, especially for species at risk, geomorphology, environmental assessment, and development planning in British Columbia. Specific expertise in Okanagan Valley wildlife species, wildlife habitat, and ecosystems is highly preferred.
- e. Identification of the location of **buffers** required to protect sensitive terrestrial ecosystems, including recommendations for fencing along **buffers** where adjacent development and activity is anticipated.
- f. Identification of, and measures required to protect active bird nests and the nests of eagles, peregrine falcons, ospreys, burrowing owls or herons, including minimum **buffers** in accordance with the Provincial Environmental Best Management for Urban and Rural Land Development.
- g. Where wetlands, **riparian areas**, and broadleaf woodlands exist within the development area, include mechanisms to ensure the proper hydrological function is maintained, as prepared by a hydrologists and/or hydro- geologist.
- h. Include an assessment of how the development site can help restore the natural cycle of low intensity fire once common to the Okanagan prepared by a qualified professional with experience in mitigating wildfire risk.
- i. Where a development site has erosion potential or slope stability hazards, assessment of measures to address these issues by a professional geoscientist.
- j. A plan for restoration of the site where the site has been disturbed or where invasive weeds have intruded.
- k. The timing of site work and rehabilitation.
- l. An environmental monitoring plan.



Figure 51.

Sensitive Terrestrial Ecosystem DPA Example



## 4.12 WILDFIRE INTERFACE DPA

### 4.12.1 Area

The Wildfire Interface Development Permit Area (DPA) designation applies to new residential construction and large residential additions on all lands identified on Schedule 3 Hillside and Wildfire Interface Development Permit Areas.

### 4.12.2 Purpose

In accordance with the *Local Government Act*, Section 488(1)(a), and (b), the purpose of this Development Permit Area is to identify areas that may be affected by wildfire and reduce the risk that new residences and large residential additions that may be negatively affected by wildfire. The Okanagan has a naturally dry climate and there are many large forested areas within West Kelowna. Because of this, wildfire is an ever-present threat. Reducing wildfire hazard involves a multi-layered approach that includes education, community prevention activities, as well as subdivision design, and building and landscape design that include **FireSmart** measures. This Development Permit Area is only one of the tools necessary to address wildfire risk in CWK.

### 4.12.3 Wildfire Interface DPA Exemptions

A Wildfire Development Permit is not required when it has been confirmed by the City where:

1. An applicant has submitted building permit plans for construction of principal buildings or structures that show compliance with these guidelines, and the owner has entered into a restrictive covenant for compliance with the plans submitted which has been registered on the title of the property;
2. The proposal is for construction of or alterations to accessory buildings or structures where the building footprint is no larger than 10 square meters in area; or
3. A covenant has already been registered on property title for wildfire hazard reduction, and the conditions in the covenant have all been met and will not be affected by the current proposed activity.

### 4.12.4 Wildfire Interface DPA Design Principles

The Wildfire Interface DPA Design Principles communicate the high-level intentions of these Development Permit Guidelines and reflect the vision and objectives of the OCP. All projects subject to a Development Permit under this Area will support the following Principles:

1. To regulate development so as to protect life and property from wildfire hazard.
2. To reduce the susceptibility to wildfire of new construction or large additions near the provincial forest interface, or the interface with large forested parcels or parks.
3. To encourage wildfire hazard reduction methods that support restoration of natural environment, and mimic the effect of historic natural fire cycles. Such as, thinning and spacing trees and vegetation, removal of debris and dead material from the ground, removal of lower tree branches and using fire as a fuel management tool.
4. To support measures designed to improve forest health on Crown lands (eg. tree spacing, control of pin beetle) and encourage complementary measures on rural lands adjacent to provincial and municipal forested areas.
5. To support **FireSmart** measures with design guidelines based upon the following 3 typical priority zones as outlined in “FireSmart, FireSmart begins at Home Manual”:
  - a. Priority 1A zone of 1.5 meters (Non-combustible zone) and Priority 1 zone of 10 metres from the building established for flat land. While these guidelines represent some minimum requirements, it is advisable to consider a larger Priority 1 zone for properties on a slope, especially on the downhill side.
  - b. Priority 2 zone begins 10 metres (30 feet) from a building and extends to 30 metres (100 feet) depending upon topography. The more the land slopes, the more the zone should be extended.

- c. Priority 3 zone begins 30 metres from a building and extend to 200 metres or more. High intensity crown fires that occur in this zone may be a potential high source of burning embers.

#### 4.12.5 Wildfire Interface DPA Guidelines

In addition to the General Guidelines, the following guidelines apply specifically to all development within the Wildfire Interface DPA, where the guidelines may reduce the level of the threat to structures from wildfire but do not eliminate it.

1. Wildfire Hazard Rating - Site design and development should be consistent with a Wildfire Hazard Assessment prepared by a qualified registered professional forester or professional engineer with experience in fire safety and prepared in accordance with guidelines contained in this section. Where development or construction is proposed, the report must indicate recommendations to reduce the Wildfire Hazard rating to a low to moderate risk. Any works required to reduce the risk to the required level must be completed as a condition of development.
2. Roofing - Roof covering shall conform to Class A, B or C fire resistance as referenced in the BC Building Code as a critical action to reduce the number one cause of building losses during a wildfire event. Roofing material has several classifications with Class A being the most fire resistant. Some materials that either fall within the rating system or, can be obtained in forms that meet Class A, B or C requirements, include composite (asphalt and fibreglass) shingles, concrete or clay tile, metal roofing, and factory treated wood shake roofing.



Figure 52.

Wildfire DPA Materials Example

3. Exterior Wall Finishes - Any material used for exterior wall finishes should be non-combustible or ignition resistant siding material such as stucco, metal siding, brick, rock, cement shingles, concrete block, poured concrete, logs or heavy timbers as defined in the BC Building Code, and as described in the “Fire Smart Home Development Guide” to reduce the second highest risk factor associated with building materials during a wildfire event.
4. Chimneys - All chimneys should have spark arrestors made of 12 gauge (or better) welded or woven wire mesh with mesh openings of less than 12 millimetres to reduce the hazard as source of sparks, and as a way for burning embers to enter a building.





Figure 53.

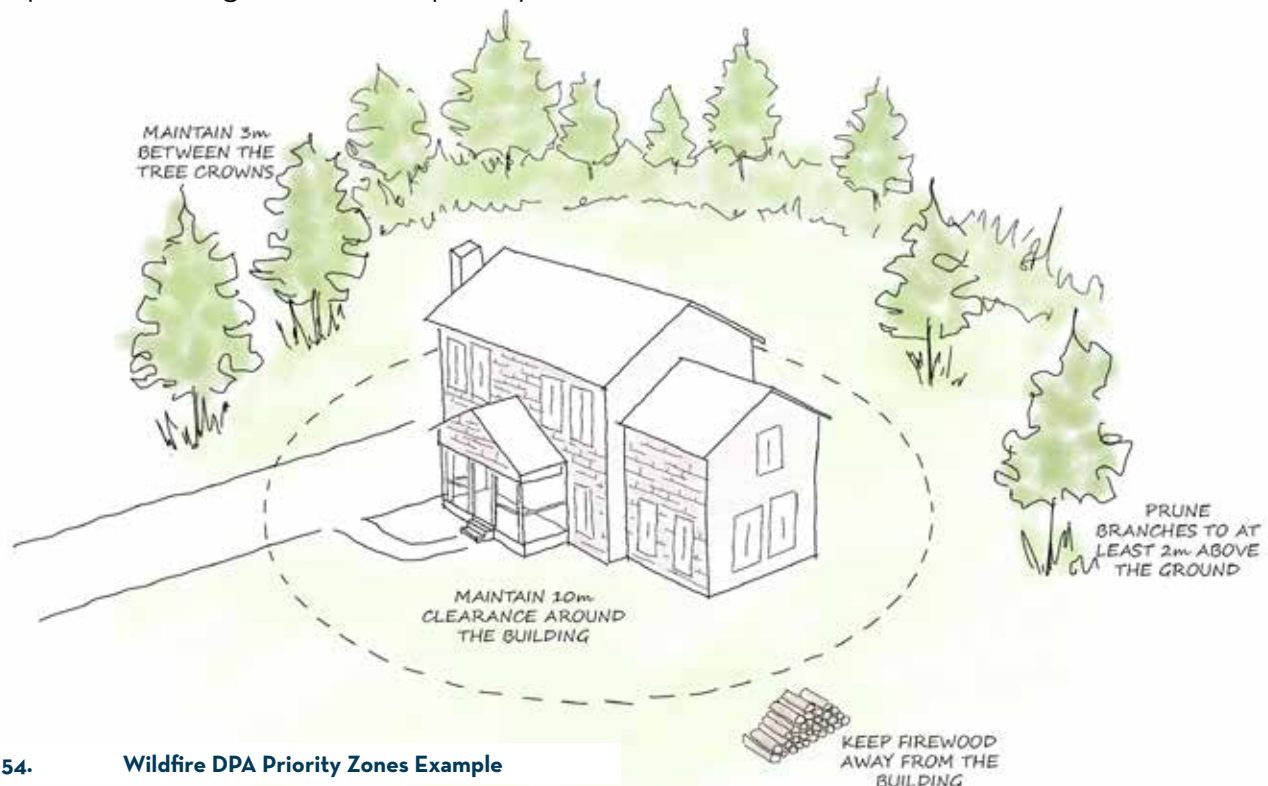
Wildfire DPA Ember Resistance Example

5. Eaves, vents, and openings - Install screen over or behind all vents with 3 millimeter non-combustible mesh OR install ember-resistant ASTM (American Society for Testing and Materials) rated vents. Unprotected eaves can allow burning embers to enter and also allow flames that are spreading up a wall to penetrate into the roof structure.
6. Windows and glazing - All windows should be double-paned or tempered to increase the ability to withstand glass shattering from the heat of a fire and reduces the potential to create openings for fire and burning debris to enter the building.
7. Balconies, decks and porches -
  - a. Decks, balconies, patios, porches and similar building extensions attached to, or within 10 meters of a home should have a continuous, ignition resistant or non-combustible top surface, and also consideration of vulnerability of decks to fire from below.
  - b. Manufactured homes should be skirted with a fire resistant material as outlined in the previous guideline for exterior wall finishes.
8. Wildfire Mitigation - To reduce wildfire hazard, complete modification of vegetation within Priority Zones as follows:
  - a. Priority Zone 1A - Non-Combustible Zone, the most important, is 0-1.5 meters from the perimeter of the structure and its extensions, including under projections (balconies, porches, decks, cantilevered floors, pier foundations). The key focus in this zone should be on the use of non-combustible surface materials, such as mineral soil, pavement, concrete, concrete pavers, and stone/rock.
  - b. Priority Zone 1 - is within 10 meters of the building. Without fuel modification in this critical area, the fire intensity and the rate of spread can make firefighting difficult or impossible. The key focus in this zone should manage cultivated/natural vegetation to minimize ember ignition, minimize surface fire spread and manage the short distance radiant heat transfer by:
    - i. Using appropriate plant selection by:
      - Choosing plants that are less combustible and burn with less intensity, such as deciduous shrubs (shrubs that lose their leaves in the winter), broad-leaved evergreen shrubs (such as bearberry, Oregon grape, cotoneaster or rhododendrons), perennials, annuals and trimmed grass.
      - Not planting evergreen trees and shrubs such as junipers, mugo pines or coniferous evergreen hedges within the 10 meter zone;

- ii. Creating breaks in vegetation and organic surface continuity, such as increased plant spacing within the 10 meter zone and use non-combustible landscape mulches/surface materials;
- iii. Reducing heavy vegetation concentrations; and
- iv. Maintaining distance between vegetation and structure;
- v. Ensuring combustible fuel sources are not located next to a building, such as firewood or pruning debris.

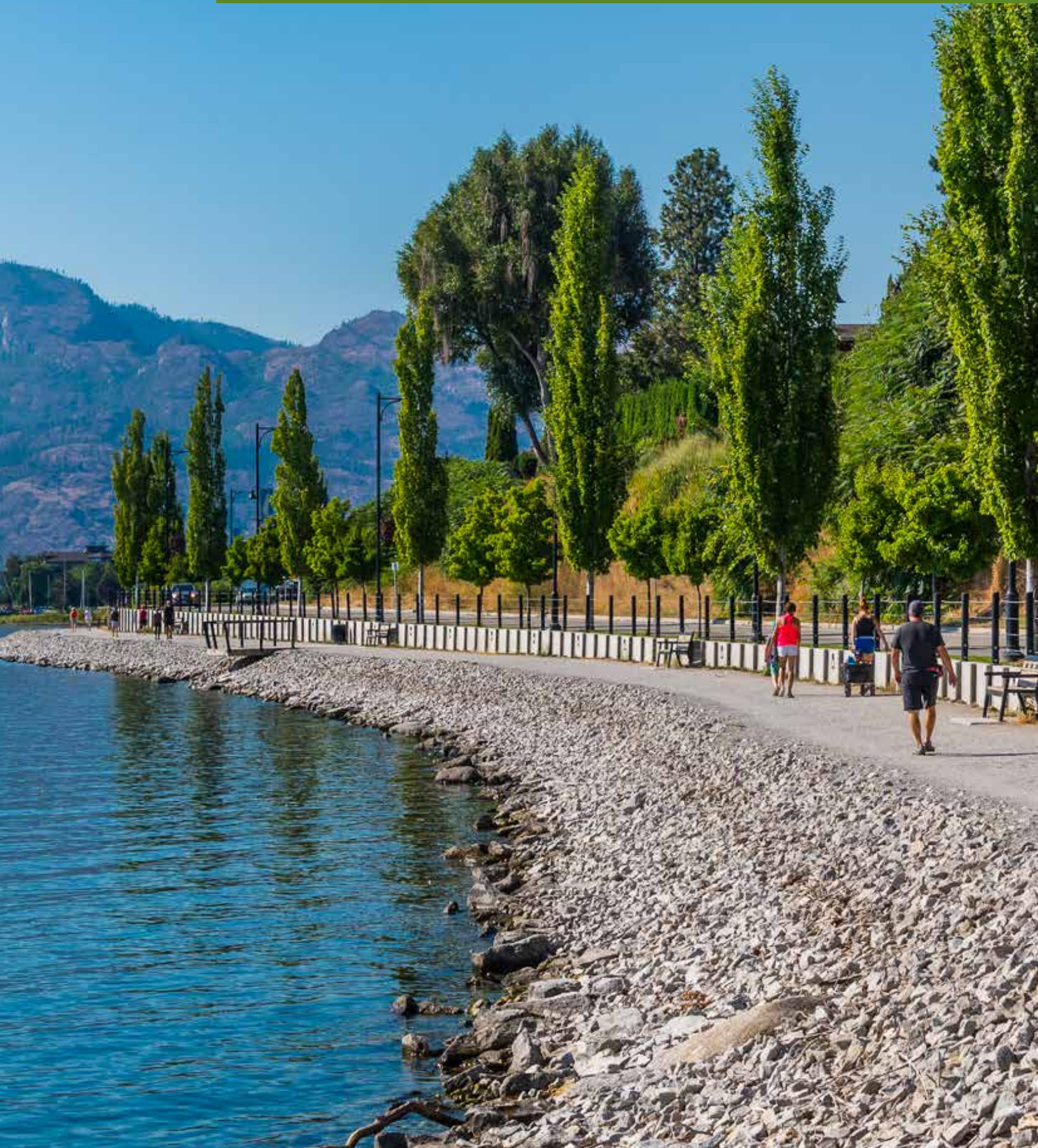
Mitigation of this zone must be appropriate for topography and surrounding fire environment conditions, including conditions of Priority Zones 2 and 3.

- c. Priority Zone 2 - begins 10 metres (30 feet) from a building and extends to 30 metres (100 feet) depending upon topography. The more the land slopes, the more the zone should be extended. Radiant heat and burning embers originating from an area this close to a structure may cause it to burn. Vegetation and potential fuels in this area should be managed to reduce fire intensity and rate of spread by methods such as removing dead needles, dead wood and combustible debris from the ground, removing any tree limbs within 2 metres of the ground, and spacing trees so that no tree limb is closer than 3 metres to the next.
9. Existing Trees - It is not advisable to retain existing mature coniferous evergreen trees within 10 meters (Priority 1 zone) of the building. Any coniferous evergreen trees that are to be retained on the property that lie within 10 meters (Priority 1 zone) of the building should:
- a. Have limbs pruned such that they are at least 2 meters above the ground.
  - b. Be spaced so that they have 3 meters between crowns. (In other words, the tips of the branches of a tree are no closer than 3 metres to the tips of the branches of another).
  - c. No limbs should be within 3 meters of the building or attachments such as balconies.
  - d. Should the choice be made to retain pre- existing evergreen trees in the Priority 1 area, white pine, ponderosa pine and western larch have a medium flammability while most other coniferous evergreens have high flammability.
10. Where development or construction is proposed to vary from the Wildfire Interface Design Guidelines, a report by a registered professional forester or a professional engineer with experience in fire safety will be required indicating that the susceptibility to wildfire has not increased.





# IMPLEMENTATION 5





## 5.1 IMPLEMENTATION OVERVIEW

This Official Community Plan (OCP) establishes objectives and policies related to growth management, objectives and policies to regulate land use and servicing, and outlines the relationship between the plans and bylaws that govern development (see Figure 55). The implementation of this OCP requires a comprehensive application of the interconnected policies at increasing levels of specific detail.

The following section provides an overview of the steps necessary to implement the OCP following adoption and details how this comprehensive hierarchy of policies and regulations will be executed within the larger regulatory planning framework. It also includes recommendations for monitoring and outlines future steps to ensure that the plan will stay current with community interests. A summary of action items identified throughout the Plan and a glossary of terms has been provided for convenience.

## 5.2 REGULATORY PLANNING & DEVELOPMENT APPROVALS FRAMEWORK

As described in Section 1 Introduction, an Official Community Plan (OCP) establishes objectives and policies that direct future land use and servicing decisions, and guide the plans, bylaws and processes that govern land development. While respecting the larger regional context, the OCP fits within the City's established hierarchy of policies and regulations for land use and development proposals. Figure 55 Regulatory Planning and Development Approvals Framework outlines this hierarchy.







Figure 55.

## 5.3 IMPLEMENTATION POLICIES

### 5.3.1 General Implementation Policies

1. The City will ensure consistency with the policies of the West Kelowna Official Community Plan based on other Master Plans, when considering land use, servicing and development decisions.
2. Prior to the consideration of amendments to OCP Land Use Designations or to the City's Zoning Bylaw, the City may require preparation of an Area Plan or Comprehensive Development Plan (See Section 5.4 for a general overview of an Area Plan or a Comprehensive Development Plan).
3. In order to evaluate development applications such as Subdivision, Zoning Amendment, Development Permit, Area Plans and Comprehensive Development Plans, and pursuant to the *Local Government Act*, the City may require an applicant to provide reports and impact studies prepared by qualified professionals, and in accordance with the City's Terms of Reference for Professional Reporting. These may include but are not limited to studies such as the following:
  - a. Environmental Report or Environmental Impact Assessment;
  - b. Biophysical constraints;
  - c. Geotechnical Assessment;
  - d. Traffic Impact Assessment;
  - e. Traffic and Circulation Analysis;
  - f. Site access and servicing (including sensitive habitat and natural hazards, accessibility, energy and water conservation);
  - g. Visual Impact Assessment;
  - h. Stormwater Management Study;
  - i. Wildfire Hazard Assessment;
  - j. Local Infrastructure Assessment;
  - k. Municipal Infrastructure Impacts;
  - l. Tree Assessment Study
  - m. Servicing Report; and
  - n. Other studies as deemed necessary.
4. On Schedule 1 Land Use Plan, where a map boundary between Land Uses does not follow a legally defined line such as a road right- of-way or property line, the location of the boundary is outlined on Schedule 1 and can only be precisely determined by West Kelowna staff through the City's Geographic Information System, as applicable.
5. Where a survey plan approved by the Surveyor General indicates the adjustment of a parcel boundary due to consolidation of an adjacent road closure, the land use designation applicable to the land parcel is deemed to extend to the new parcel boundary despite the lack of land use of the previous dedicated road area on Schedule 1.
6. Where a survey plan approved by the Surveyor General indicates the adjustment of a parcel boundary due to accretion, the land use designation applicable to the land parcel is deemed to extend to the new parcel boundary despite the land use designation of the accreted area on Schedule 1.
7. Public utilities, public parks and the use of Comprehensive Development Zones (zones written specifically for a particular site in consideration of OCP policies) may be considered in any Land Use Designation.
8. The entire City of West Kelowna municipality is designated as an area where Temporary Use Permits may be considered based upon the following guidelines:
  - a. The use must be clearly temporary or seasonal in nature;
  - b. The use should not create an unacceptable level of negative impact on surrounding permanent uses;



- c. An applicant must submit an outline detailing when and how the use in that location will be ended, the buildings to be used, the area of use, the hours of use, appearance, landscaping and **buffering**, and site rehabilitation. The City may require security to ensure compliance;
- d. Temporary use permits for industrial uses will be discouraged for sites located within any of the Urban Centre, Neighbourhood Centre, Residential or Natural Areas and Public Parks Land Use Designations.
- e. A temporary use permit may not exceed three years and may only be renewed as per the *Local Government Act*.

### 5.3.2 Community Amenity and Infrastructure Implementation Policies

1. It is recognized that growth imposes a financial burden on the community by creating a need or demand for new or upgraded public facilities or amenities, especially where West Kelowna has known historical servicing and infrastructure deficiencies. Applicants who are applying for a zoning amendment may be requested to address this unique financial burden by making contributions to the appropriate City amenity reserve fund to assist in the funding of new or upgraded public facilities or amenities. Community amenity contributions negotiated during the zoning amendment application process will be rationally connected to and proportional to the proposed development.
2. Community amenity contributions will be established:
  - f. During the consideration of a new zone that includes options for amenity contributions as per Section 482 of the *Local Government Act*;
  - g. As part of a Phased Development Agreement as per Section 483.1 of the *Local Government Act*; or
  - h. As a condition of zoning amendment.

Community Amenities could take the form of an in-kind amenity, for example a child care facility or park space, as a cash contribution toward an off-site amenity, or as an off-site improvement such as the construction of key infrastructure or transportation linkage.

3. In recognition of the need for the provision of public amenities to keep pace with development, the provision of priority amenities will be encouraged through the zoning amendment process, and will include items such as:
  - i. Community, cultural, school, library, recreation, or emergency services facility or facility improvements;
  - j. Child care, youth, children or family facility or facility improvements;
  - k. Provision of cultural and event amenities, such as an outdoor stage or venue, art gallery, wayfinding signage, community information kiosks or public art;
  - l. Acquisition and/or public access to waterfront land; and
  - m. Affordable, rental, or special needs housing or land for the housing.
4. Preferred amenities for each project will be determined on a case by case basis. Criteria for determining the priority among amenity contribution options may include, but are not limited to (not in order of priority):
  - a. Site characteristics such as natural features that are environmentally, historically or archaeologically sensitive and needing protection, **views**scapes, and outdoor recreational opportunities;
  - b. Development type (such as for seniors or family), size, physical context and/or potential impacts of the proposed development;
  - c. Needs of the surrounding neighbourhood(s); and
  - d. Other priorities as identified in the OCP, Master Plans, Area Plans, and other West Kelowna Plans.

### 5.3.3 Implementation Action Items

1. Consider the development of a Community Amenity Contribution Policy.







## 5.4 AREA PLANS AND COMPREHENSIVE DEVELOPMENT PLANS

As part of the regulatory approvals framework, Area Plans and Comprehensive Development Plans, as defined below, shall be prepared for areas where either Council has been requested to review development potential within a specified area or a proponent is contemplating a proposal which:

- Does not conform to the purpose and intent of the Official Community Plan, including development lying outside the **Growth Boundary**;
- Has implications for population, number of units, servicing, social impact or economic burden for the City sufficient enough to warrant a comprehensive analysis;
- Has been identified by Council as a Comprehensive Development Area;
- In Council's view may affect adjacent properties, land use or the natural environment;
- In Council's view may be affected by hazardous conditions;
- In Council's view may affect municipal heritage sites, or a revitalization area; or
- Includes other matters unique to the plan area under consideration that raise potential implications for quality of life in the community.

### 5.4.1 Area Plans

Area Plans are plans, prepared by the City, that address land use, design, environmental, servicing and transportation issues for specified large areas of land at a finer level of detail than that provided in this OCP, and provide the link between the OCP and an actual development proposal and potential zoning amendment application. An Area Plan may be undertaken at the direction of Council, where there are multiple land owners in areas of West Kelowna experiencing pressure for development or re-development. Area Plans will address the subject lands as well as the interface with adjacent areas, including surrounding Land Use Designations to ensure appropriate transition in scale, form and character. Area plans should also specifically consider building height and maximum density, site coverage, setbacks and parking requirements to ensure that efficient development, access to amenities and viable business operations can be achieved.

Area Plans are non-statutory documents that must be endorsed by Council to become valid, and only specific OCP related policy changes, Land Use Designation changes or development permit areas and guidelines will be brought forward as an OCP amendment. Other regulatory amendments may also be required in order to fully enact the Area Plan, such as zoning amendments at the discretion of Council.

### 5.4.2 Comprehensive Development Plans

Comprehensive Development Plans (CDPs) are plans prepared for one or more parcels of land by a single applicant as a private landowner or group of adjoining land owners that address land use, design, environmental, servicing and transportation issues. Where applicable, the City may require land owners to work collaboratively and prepare a joint application between adjoining landowners to ensure comprehensive development planning for a specific area. Comprehensive Development Plans must be completed by a Registered Professional Planner (RPP) as the lead agent, and are non-statutory documents that must be endorsed by Council to become valid, and only specific OCP related policy changes and Land Use Designation changes will be brought forward as an OCP amendment.

### 5.4.3 Area Plan and Comprehensive Development Plan Process and Policies

1. Consideration of land for development as an Area Plan or Comprehensive Development Plan may only occur as authorized through resolution of Council.
2. Prior to furthering development concepts and timelines for these areas, a study must be completed that includes a detailed evaluation of the site specific constraints in consideration of the City of West Kelowna's anticipated growth and the results of City's land use inventory. Although development of these lands may not be anticipated within the life of this OCP, there has been some expressed desire to more adequately assess these lands for feasibility of future development.
3. Prior to commencement of a Comprehensive Development Plan, terms of reference will be prepared by the Director of Development, and brought forward to Council for consideration. The Terms of Reference will outline the general and specific requirements for the Comprehensive Development Plan including, but not limited to the following requirements:
  - a. Community input and consultation;
  - b. Evaluation of the current and future potential land uses in the surrounding areas, and recommended **buffers**, where necessary, including consideration of **buffering** and setbacks between urban uses and **ALR** lands as applicable;
  - c. Evaluation of future transportation requirements including road, pedestrian, transit and cycling networks with detailed analysis of future collector and arterial roads, truck and transit routes, access to lands beyond, corridors and connections between new neighbourhoods, town centres and amenity areas such as Okanagan Lake to support the proposed development, as well as any off-site impacts or improvements necessitated by the development;
  - d. Evaluation of infrastructure requirements such as community water supply and water quality protection, community sewer including wastewater collection, treatment and disposal, and stormwater management;
  - e. Evaluation of the requirements and needs for community services, amenities and parks in new residential neighbourhoods as well as surrounding area (the approximate location of community amenities and services such as fire stations, police services, schools, parks, community centres and daycares, extended care facilities and commercial centres in the plan area);
  - f. Phasing plans for new neighbourhoods that will occur in phases that match the availability of full urban services - connection to established community run systems will be preferred;
  - g. Evaluation of natural drainage patterns, downstream impacts and geotechnical constraints, significant environmental features, and ecosystem connectivity on and offsite;
  - h. Identification of historical, archaeological and landscape features with an adequate response to those features through the design of the plan;
  - i. Evaluation of natural hazards (such as wildfire, geotechnical, flooding, or other hazard);
  - j. Indication of the areas to remain undeveloped, the areas to be retained as agriculture or resource use, and the proposed land uses within the future settlement areas;
  - k. Indication of the areas for housing and the mix of housing to be included within those areas;
  - l. Evaluation of the proposed development in accordance with the requirements of any development permit objectives and guidelines that apply to the area;
  - m. Evaluation of the opportunities to design for water conservation and reduce rates of water use on a neighbourhood level;
  - n. Analysis and incorporation of amenity zones and density transfer, which will be considered and encouraged for purposes such as environmental protection, obtaining or preserving open space and public areas, and rental or special needs accommodation, as per discretionary zoning principles;
  - o. Plans showing concentration and clustering of development on lands that are not environmentally or



visually sensitive, or identified as needed for additional community open space;

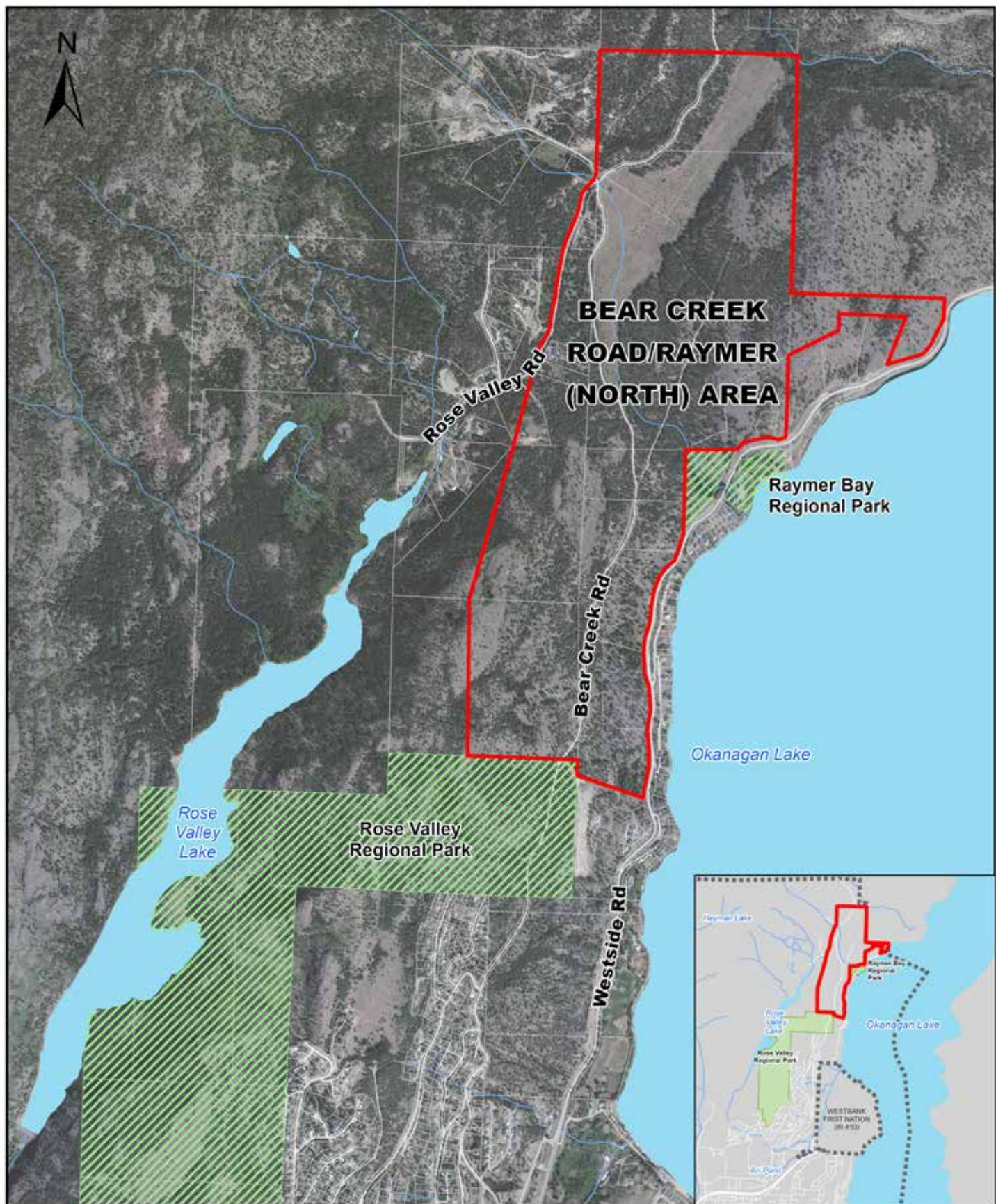
- p. Where possible, endeavour to achieve a minimum of:
    - i. 20% of hillside to remain as natural landscape in areas that are designated for development; and
    - ii. 20% of the settlement land base as dedicated parkland; and
  - q. Where appropriate, endeavor to protect natural areas for its conservation values through park dedication.
4. All Area Plans will be developed with community input and will include as a minimum the following general components:
- a. Assessment of the plan area with respect to historical/archaeological features, significant landforms, hydrological function and downstream impacts, geotechnical constraints, environmentally sensitive areas, significant habitat and wildlife corridors including opportunities for off-site corridor connections;
  - b. Identification of areas proposed for dedication as park land or to be protected as natural open space through public dedication and/or restrictive covenants;
  - c. Evaluation of the current and potential future land uses in the surrounding areas to address any requirements for connectivity, **buffering** and/or transitional land uses;
  - d. Specification of areas for each land use type, identification of their associated density, form and character;
  - e. Assessment of the servicing requirements, availability, and future upgrades required to support the plan area;
  - f. Identification of possible community linkages, including a hierarchy of interconnected trails, pathways, emergency connectors and streets;
  - g. Evaluation of local needs for community services, amenities and parks;
  - h. Evaluation of opportunities to design for water conservation and reduced rates of water use on a neighbourhood level; and
  - i. Identification of phasing for new neighbourhoods, including proposed phasing for services and connections to established servicing infrastructure.
5. Given that additional development lands may not be required within the life of this OCP, and the expressed desire to ensure the feasibility of adequate lands for the long-term future development potential of the City, development of an Area Plan or a CDP for lands located outside the **Growth Boundary** should only be considered where:
- a. The proposed development area lies immediately adjacent to the existing **Growth Boundary**, municipal services and transportation infrastructure can be extended in a contiguous and sequential fashion to the area by the developer, and the **Growth Boundary** is being considered for adjustment as part of the application process; or
  - b. Detailed studies have been completed regarding the City's anticipated growth in relation to land use inventories indicating the need for further community development based on absorption rates within the City, and where:
    - i. An evaluation of the site specific constraints for the proposed development area indicates feasibility of the site to meet the growth projection; and
    - ii. The proposed urban expansion is based on a coordinated, phased approach in conjunction with the timely or phased extension of services in a sequential and cost effective manner.

#### 5.4.4 Bear Creek Road/Raymer (North) Area

The larger Bear Creek Road/Raymer (North) area located to the north of the Raymer (South) CD Area was previously included in a larger Raymer CDP Area as part of a historical development application with the City. Given the significant preliminary technical information provided with the previous application, the following policies have been identified to address future potential development within the Bear Creek Road/Raymer (North) area (as shown in Map 3), recognizing that the area is now located outside the Growth Boundary.

1. The general Bear Creek Road/Raymer (North) area is a large area comprised of a large number of parcels with multiple landowners, where future development should be guided by significant comprehensive planning to address the known transportation, community infrastructure, environmental, geotechnical, archaeological and other constraints to determine to what extent it can accommodate any urban expansion and as to potential land uses.
2. In addition to the specific Area Plan or Comprehensive Development Plan policies noted above, any future development proposal within this area should consider the following:
  - a. An evaluation to determine the potential impact on the adjacent Crown parcels (i.e. Regional parklands, potential acquisition for road, servicing and infrastructure connections, or WFN interests) and potential management considerations;
  - b. A recreational trail network between Crown land, provincial and regional parks and connection to existing neighbourhoods and other Centres;
  - c. Should zoning amendments be contemplated for the area, density transfer and bonusing concepts may be explored where it is in the City's interest to achieve community goals through such things as the protection of environmentally sensitive areas and the provision of community amenities;
  - d. Technical consideration of:
    - i. Important Viewscapes, such as those from Okanagan Lake and Kelowna City Centre;
    - ii. Environmentally sensitive areas, wildlife corridors and ecosystem connectivity maintenance and protection;
    - iii. Access, including identification of additional or upgraded affected access routes and the impact of traffic on existing roads and neighbourhoods; road network improvements as outlined in West Kelowna's Transportation Master Plan, and the transportation section of the OCP; Emergency access/egress;
    - iv. Wildfire hazards;
    - v. The direction of surface and ground water drainage including assessment of water table and ground water hydrology; stormwater discharge considerations; consideration of raising of Rose Valley reservoir to "full pool", in order to protect the Rose Valley drainage basin; hydrological survey to identify natural springs;
    - vi. Historic and archaeological site identification and preservation;
    - vii. Institutional requirements as part of a compact, complete community philosophy; and
    - viii. Status of **ALR** lands and appropriate use of the Agricultural land use designation.





## 5.5 MONITORING AND PERFORMANCE INDICATORS

### 5.5.1 Monitoring and Performance Indicators

Successful implementation of the OCP requires action beyond the date of adoption. This includes monitoring of key performance indicators to evaluate progress towards #OurWK Community Vision. While conditions may change over the coming decades, awareness of key indicators ensures steady progress towards overarching goals. As such, we recommend monitoring in the following areas.

#### 1. Our Places

West Kelowna is a vibrant community with unique neighborhoods, waterfronts, and public spaces. To protect these spaces for the enjoyment of current and future generations, the city will monitor natural assets, agricultural, and development opportunities including:

- a. Maintaining the parks asset inventory to reflect public space availability;
- b. Number and area of conservation covenants registered for the protection of sensitive areas; and
- c. Amount of land included and excluded from the Agricultural Land Reserve.

#### 2. Our People

West Kelowna is home to a diverse population with residents of various ages, backgrounds, and lifestyles who have chosen to make the city home. To accommodate these varied needs, the city will monitor housing and cultural opportunities including:

- a. New residential units by types and tenure, and other relevant housing data;
- b. Local food access including community gardens and plots; and
- c. Amount and type of services provided by new community facilities.

#### 3. Our Connectivity

West Kelowna is a growing community intertwined with others across the Okanagan. To ensure residents feel connected with each other and the greater community, the city will monitor infrastructure and active transportation opportunities including:

1. Transit trips and service hours per capita; and
2. Kilometers of sidewalks, cycle routes and trails constructed annually.

#### 4. Our Adaptability

West Kelowna is susceptible to ever changing economic, social, and environmental contexts in the broader region. To remain adaptable and prepared for change, the city will monitor energy outputs and servicing opportunities including:

- a. Capacity of water treatment facilities across the city;
- b. Water, electricity, and natural gas consumption per capita; and
- c. Kilometers of upgrades to sewer, storm, and road infrastructure annually.

#### 5. Our Prosperity

West Kelowna is home to a lively economy characterized with industrial, agricultural, and commercial opportunities. To attract and retain businesses that create meaningful jobs in the community, the city will monitor public health and economic opportunities including:

- a. Emergency response and crime rates throughout the community;
- b. Local businesses and job availability; and
- c. Amount of grants applied for and awarded.



## 5.5.2 Monitoring and Performance Indicator Action Items

1. Endeavour to complete a regular review of key performance indicators in order to monitor OCP implementation outcomes and the effectiveness of specific policy alignment to the Community Vision.
2. Consider implementing a regular Land Use Inventory to review the status of vacant and developed land compared to population projection as it relates to planning for infrastructure, servicing, and community services and amenities.

## 5.6 REVIEW TIMELINE AND PROCESS

The Plan is not a static document and the City may amend the Plan in accordance with the Local Government Act to adapt to new trends and changing conditions in the community at the discretion of Council.

Changes to the OCP may be required in response to significant changes in trends or shifting community priorities. Where such changes are consistent with the community vision and guiding principles of the OCP, Council may wish to approve an amendment to the OCP. Where the changes are substantial or are inconsistent with the community vision and identified policies and objectives of the Plan, Council may wish to conduct a comprehensive review and update of the Official Community Plan. The OCP will act as a key guide to consider and to evaluate applications for OCP amendments.

A comprehensive review and update of the Official Community Plan is intended to be initiated every five years, and with the direction of Council. Community participation and consultation will be sought during the update process, as well as a review of the effectiveness of the growth concept model and impacts to the community.



## 5.7 SUMMARY OF IDENTIFIED OCP ACTIONS

The following table is a summary of action items identified throughout the OCP reflecting recommended future projects, plans and research or analytical initiatives to support the implementation of the Plan. Although, the action items have been categorized into short, medium and long term ranks, their priority and operational status is subject to future Council consideration through the annual strategic planning and budgetary process. These identified actions do not necessarily commit the City to future timelines or priority statements about the actions.

Action Item	Section Number	Potential Department Responsible	Potential Supporting Departments	Short Term	Medium Term	Long Term
<b>Urban Design and the Public Realm Action Items</b>						
Update the Westbank Centre Revitalization Plan to reflect the new goals and priorities established in the OCP. This may include an updated set of Urban Design Guidelines for the Westbank Urban Centre to address specific public realm elements, energy and water efficiency standards to an adequate level of detail within the Development Permit Area guidelines. New guidelines may also include the Boucherie Urban Centre and Neighbourhood Centres to reflect a consistent implementation of the Community Vision between all the identified Centres. Detailed design standards may also be developed to address the specifics of the expanded Urban Design Guidelines for inclusion in the Works and Services Bylaw.	3.1.6.1	• Planning	<ul style="list-style-type: none"> <li>• Engineering</li> <li>• Development Engineering</li> <li>• Parks</li> <li>• Public Works</li> </ul>			
Develop and implement a Boucherie Centre Plan, which follows the guidance provided in this OCP's Land Use Designations, if not already addressed through design guideline review associated with the Urban Centre review with the Westbank Centre Revitalization Plan update.	3.1.6.2	• Planning				
Existing roads and locations in the Urban and Neighbourhood Centres will be identified for improvements to promote increased active transportation and universal accessibility to implement new road and walkway design standards as outlined in the TMP. These will be implemented through new street-related development, including City infrastructure projects.	3.1.6.3	<ul style="list-style-type: none"> <li>• Engineering</li> <li>• Planning</li> </ul>	• Public Works			
Development of City requirements for boulevard street tree and planting programs will be considered through review of the Works and Services Bylaw, consistent with applicable Development Permit Guidelines in Section 4.	3.1.6.4	<ul style="list-style-type: none"> <li>• Development Engineering</li> <li>• Engineering</li> </ul>	<ul style="list-style-type: none"> <li>• Planning</li> <li>• Public Works</li> <li>• Parks</li> </ul>			
A Tree Management Plan will be established that: -Prioritizes streets for tree plantings, and includes planting specifications and location standards; -Identifies tree species, inventories, locations, type and life expectancy of trees in the City of West Kelowna's Street Tree Program;and -Outlines a systematic tree maintenance program	3.1.6.5	• Parks	<ul style="list-style-type: none"> <li>• Public Works</li> <li>• Development Engineering</li> <li>• Engineering</li> <li>• Planning</li> </ul>			
Continue to explore incentives will be explored for public participation in tree planting programs in new and existing developed areas with a shortage of street trees.	3.1.6.6	<ul style="list-style-type: none"> <li>• Parks</li> <li>• Communications</li> </ul>				
A Community Tree Canopy Target and Street Tree Policy and Plan will be developed to establish and implement the target.	3.1.6.7	<ul style="list-style-type: none"> <li>• Parks</li> <li>• Planning</li> </ul>	• Engineering			
A review of fencing and street interface policies within the Development Permit Guidelines will be conducted to ensure they reflect best practices and the proposed Street Tree Policy and Plan, once developed.	3.1.6.8	• Planning	<ul style="list-style-type: none"> <li>• Parks</li> <li>• Development Engineering</li> </ul>			

**Table 7. OCP Action Item Summary**



Action Item	Section Number	Potential Department Responsible	Potential Supporting Departments	Short Term	Medium Term	Long Term
<b>Transportation Action Items</b>						
Explore new and expanded initiatives through BC Transit – Kelowna Regional Transit System which respond to the OCP Growth Concept, supporting transit-oriented development and potential for regional connections.	3.2.4.1	• Engineering • Planning				
Support the Greenbelt and Greenways Concept by identifying implementation steps for the potential acquisition, development and maintenance of Greenways identified in the OCP on Schedule 2, Community Greenbelt and Greenway Concept, or as integrated within the City's Transportation Master Plan, as well as the Park and Recreation Master Plan which should also identify additional Greenbelts.	3.2.4.2	• Parks	• Planning • Engineering			
Create and sustain a network of parks, linear corridors and green spaces within West Kelowna through designation of Greenbelts and Greenways.	3.2.4.3	• Parks • Planning	• Engineering • Other Dept's as Necessary			
Prioritize and develop the active transportation network as outlined in the Transportation Master Plan.	3.2.4.4	• Engineering	• Planning			
Work with the Ministry to shift Highway 97 in Westbank Urban Centre to advocate to transition Dobbin Road to a two-way highway to allow Main Street to convert to a two-way town centre street with a community / commercial focus.	3.2.4.5	• Engineering	• Planning			
Develop mobility hubs at Westbank and Boucherie Mountain transit exchanges to increase transportation options and transit ridership.	3.2.4.6	• Engineering • Planning				
Develop guidelines or a process to accommodate shared parking in Urban and Neighbourhood Centres.	3.2.4.7	• Planning	• Engineering			
<b>Community Infrastructure and Servicing Action Items</b>						
Regularly review the Development Cost Charges Bylaw to ensure new development fairly funds growth related infrastructure.	3.3.8.1	• Development Engineering				
Explore options to support low density residential infill development to increase housing availability with subsidized or reduced utility and development charge expense for water, stormwater, and sewer upgrades.	3.3.8.2	• Planning • Engineering				
Investigate infrastructure systems and technologies to improve energy efficiency and resource reuse. Look for opportunities for capturing waste heat, heat exchange, energy generation, and rainwater reuse.	3.3.8.3	• Engineering • Public Works • Facilities				
Evaluate opportunity for green infrastructure specifications and best management practices for incorporation into regulatory tools such as zoning and subdivision and development servicing bylaws	3.3.8.4	• Planning • Development Engineering				
Update the Stormwater master plan in support of proposed growth concept in OCP.	3.3.8.5	• Engineering	• Public Works • Planning			
Update the Sanitary Sewer Master Plan in support of the proposed growth concept in the OCP and in consideration of unserviced areas within the growth boundary.	3.3.8.6	• Engineering	• Public Works • Planning			
<b>Climate and Environmental Resiliency Action items</b>						
Develop and implement a Community Climate Action Plan that addresses the unique needs, opportunities and challenges of the City of West Kelowna.	3.4.4.1	• Planning	• All Dept's			
Complete the Corporate Climate Action Plan to explore opportunities to become corporately carbon neutral and reduce emissions, and implement the Plan once finalized.	3.4.4.2	• Planning	• All Dept's			

**Table 8. OCP Action Item Summary Continued**

Action Item	Section Number	Potential Department Responsible	Potential Supporting Departments	Short Term	Medium Term	Long Term
Develop, support and maintain an active staff-based Climate Action Committee, with consideration for future Climate Action Coordinator position.	3.4.4.3	• All Dept's				
Conduct a City-wide risk and vulnerability analysis of municipally owned and operated infrastructure at the asset class and system level to determine the climate change impact vulnerability of municipal infrastructure and identify priority assets for adaptation interventions, incorporating existing analyses conducted to date.	3.4.4.4	• Engineering • Parks • Public Works • Facilities				
Establish a program of climate change adaptation measures to implement on local and regional infrastructure, according to the priority established in the risk assessments. Ensure that the program includes inspections for high risk infrastructure, and green infrastructure interventions including urban forest strategy recommendations wherever appropriate.	3.4.4.5	• Engineering • Parks • Public Works • Planning				
Develop or update design standards for new municipal infrastructure that reflect anticipated results of the risk and vulnerability analysis.	3.4.4.6	• Engineering • Public Works				
Implement a retrofit plan for municipal buildings based on the Corporate Climate Action Plan, or update Energy Audits, as applicable.	3.4.4.7	• Facilities				
<b>Natural Environment and Hazards Action Items</b>						
Establish annual planting targets for new trees on public lands.	3.5.2.1	• Parks				
Prepare an urban forest strategy and develop a tree management bylaw that requires the protection of significant urban trees, trees in environmentally sensitive areas, and cultural significant trees, and requires replacement trees for new development.	3.5.2.2	• Parks	• Planning			
Integrate mitigation and response to natural hazards from the City's perspective into the Regional Emergency Plan and/or individual operational plans (i.e. Flood and Environmental Emergencies).	3.5.2.3	• Fire Rescue	• Planning • Engineering			
Complete a risk and vulnerability analysis of municipally owned and operated infrastructure at the asset class and system level to determine the climate change impact vulnerability of municipal infrastructure and identify priority assets for adaptation interventions	3.5.2.4	• Facilities • Engineering	• Fire Rescue • Parks • Public Works			
Consider the acquisition of parks and natural assets in accordance with applicable master plans and policy goals, including the update to the Park and Recreation Master Plan and any applicable recommendations.	3.5.2.5	• Parks • Planning				
Continue ongoing analysis of community egress routes throughout all of West Kelowna to identify deficiencies and areas where additional egress routes can be provided. Acquire the land required for these access routes through new development wherever possible.	3.5.2.6	• Engineering • Fire Rescue	• Planning			
Inventory, identify, and protect sensitive ecosystems and environmentally sensitive areas (ESAs), including wildlife corridors, natural shoreline, riparian areas, pine savannas, grasslands, and steep or unstable slopes.	3.5.2.7	• Parks • Planning				
Review the Works and Services Bylaw for opportunities to include new standards and options to maintain and enhance the tree canopy and storm water performance in urban areas.	3.5.2.8	• Engineering • Public Works	• Development • Engineering • Parks • Planning			

**Table 9. OCP Action Item Summary Continued**



Action Item	Section Number	Potential Department Responsible	Potential Supporting Departments	Short Term	Medium Term	Long Term
Update the 2018 Community Wildfire Protection Plan with a new Community Wildfire Resiliency Plan, including risk assessments that may be used to update the Wildfire Development Permit Area mapping, and continue to pursue priority wildfire mitigation measures as outlined in the plan.	3.5.2.9	• Fire Rescue	• Other Dept's as Necessary			
<b>Social Sustainability Action Items</b>						
Create a public art program that supports and implements art throughout West Kelowna funded by the City and through other funding sources, as appropriate	3.6.7.1	• Recreation & Culture	• Communications • Planning			
Review and update the Cultural Master Plan, including engagement with community cultural stakeholders to ensure the plan enhances sense of place within the City and supports evolving community needs.	3.6.7.2	• Recreation & Culture	• Communications • Planning			
Implement Parks and Recreation Master Plan priorities and policies, including any updates to the plan and related amendments affecting the OCP, such as the Greenbelts and Greenways Concept Schedule 2.	3.6.7.3	• Parks	• Planning • Other Dept's as Necessary			
Expand existing and provide new community facilities and recreation services to meet the needs of a growing and changing population, in a manner that distributes services equally to neighbourhoods throughout the city.	3.6.7.4	• Facilities • Recreation & Culture	• Parks			
In consultation with community stakeholders, continue to identify heritage sites that warrant inclusion on the heritage register, if aligned with stated community values.	3.6.7.5	• Planning	• Communications			
Explore funding opportunities for heritage planning initiatives.	3.6.7.6	• Planning				
Create an Attainable Housing Strategy, and consider creation of an Attainable Housing Committee, that outlines policies, incentives and controls to guide provision of a full spectrum of housing options in West Kelowna.	3.6.7.7	• Planning				
Review and amend/repel any policies that reduce housing attainability or diversity in West Kelowna, where appropriate.	3.6.7.8	• Planning				
Consider the development of a program to fast-track the approval of low- rise, infill housing forms that contribute to the affordability and diversity of supply in neighbourhoods.	3.6.7.9	• Planning • Building				
Explore a program of incentives for providing below-market rate housing in growth areas, including the Urban and Neighbourhood Centres, where developers can leverage increased density permissions to financially offset the below-market component.	3.6.7.10	• Planning				
Work regionally to implement a Comprehensive Emergency Preparedness Strategy involving emergency services, municipal staff, business and neighbourhood associations, including evacuation planning.	3.6.7.11	• Fire Rescue	• Engineering • Planning			
<b>Economic Sustainability Action Items</b>						
Support the strategic planning for the establishment of a City owned Economic Development Corporation (EDC), as well as an economic development strategy led by the corporation, once established.	3.7.3.1	• Finance • CAO's Office				
Evaluate West Kelowna's existing Industrial lands and identify opportunities to intensify or optimize to allow for more use within the same footprints.	3.7.3.2	• Planning				
Evaluate the existing road network in Industrial and Business Park lands to identify long-term changes that would result in a more efficient land organization.	3.7.3.3	• Engineering • Planning				

**Table 10. OCP Action Item Summary Continued**

Action Item	Section Number	Potential Department Responsible	Potential Supporting Departments	Short Term	Medium Term	Long Term
Evaluate non-industrial lands (lands being used for uses such as commercial, resource extraction, and agricultural purposes) within Industrial areas and support the industrial re-designation of areas that would be better suited as industrial.	3.7.3.4	• Planning				
Review Development Permit fee structure and/or consider other incentive mechanisms so that minor façade improvements are encouraged within Urban and Neighbourhood Centres, where consistent with guidelines and Area Plans.	3.7.3.5	• Planning				
Review business licensing and commercial/industrial development application processes and find ways to improve user experience and lessen approval timelines	3.7.3.6	• Building • Business Licensing • Planning				
<b>Collaboration and Public Interface Action Items</b>						
Create a centralized online service portal payments and other services, such as property taxes, permit submissions, complaints, and other activities, that is in addition to and does not replace the ability to perform activities at City Hall.	3.8.3.2	• Information Services	• All Departments Affected			
<b>Financial Framework Action Items</b>						
In respect of transportation, prepare separate capital programs for pedestrian, bicycle, transit and road infrastructure, and consider the provision of funding proportionate to achieving any transportation mode split targets.	3.9.3.1	• Finance • Engineering • Planning				
Continue to review cost recovery policies for services provided to other levels of government.	3.9.3.2	• Finance • Corporate Services	• Finance • Corporate Services			
As part of the annual financial review, consider the OCP Action Items in an effort to support OCP implementation outcomes related to goals specific to the Community Vision.	3.9.3.3	• Finance	• Other Dept's as Necessary			
Complete the Asset Management Plan including infrastructure and natural assets, and implement and maintain to inform the City's financial planning, once completed.	3.9.3.4	• Engineering	• Finance • Other Dept's as Necessary		(natural assets components)	
<b>Implementation Action Items</b>						
Consider the development of a Community Amenity Contribution Policy.	5.3.3.1	• Planning	• Other Dept's as Necessary			
<b>Monitoring and Performance Indicator Action Items</b>						
Endeavour to complete a regular review of key performance indicators in order to monitor OCP implementation outcomes and the effectiveness of specific policy alignment to the Community Vision.	5.5.2.1	• Information Services	• All Departments Affected			
Consider implementing a regular Land Use Inventory to review the status of vacant and developed land compared to population projection as it relates to planning for infrastructure, servicing, and community.	5.5.2.2	• Planning	• Information Services • Other Dept's as Necessary			



## 5.8 GLOSSARY

**Affordable Housing** - is a function of cost and household income; and is usually defined as housing that sells or rents at a rate that costs less than 30% of the household income after tax per year. **Affordable housing** includes a variety of tenure forms including home ownership, co-housing, cooperative and rental housing.

**Agricultural Land Reserve (ALR)** - means lands designated pursuant to the Agricultural Land Commission Act to be preserved for agricultural uses or uses compatible with agricultural purposes. The Land Commission decides on requests for exclusion, inclusion, subdivision and non-farm use of land in the ALR.

**Buffer** - means an area typically within a lot, adjacent to and parallel with a property line, consisting of either existing vegetation or created by use of planted trees, shrubs, berms and fencing, and designed to obscure views from adjacent lots or public roads. **Buffer** may also refer more generally to an area or zone that creates a physical or perceptual separation and is thought to reduce the impact between potentially conflicting uses, entities, or areas.

**Built Environment** - Refers to the aspects of a city that were developed by people, including buildings, roads and other infrastructure.

**Carbon Neutral** - means no net change in atmospheric carbon levels. A plant is said to be **carbon neutral** if the carbon dioxide (CO<sub>2</sub>) that it absorbs while alive is the same as the CO<sub>2</sub> it emits when it decays or is burned. For society, becoming **carbon neutral** is usually achieved by reducing human inputs of carbon to the atmosphere or by removing carbon from the atmosphere.

**Climate Action Charter** - refers to a voluntary agreement to which a number of local governments from across B.C., the Province and the Union of BC Municipalities, have signed onto pledging to find ways to tackle the challenges posed by climate change, and committing to significantly cut **greenhouse gas** emissions by 2012.

**Complete Neighbourhoods** - refers to neighbourhoods with a variety of land uses, housing types and densities that are supportive of residents daily needs within a convenient walking distance.

**Crime Prevention Through Environmental Design (CPTED)** - means a proactive crime prevention strategy utilized by planners, architects, police services, security professionals and everyday users of space. CPTED infers that proper design and effective use of the **built environment** can lead to a reduction in crime and improve the quality of life.

**Development Cost Charge (DCC)** - are the most common means of financing growth-related infrastructure. They are one time charges that local governments can levy on all new subdivision and building at the time of approval. DCCs shift financial responsibility for providing capital costs for off-site infrastructure, including sewer, water, storm drainage, roads, and parkland, from the general tax base to the developers of new growth requiring the infrastructure. However, DCCs cannot be used to pay for ongoing maintenance and operating costs for new infrastructure. Local governments are authorized to collect under the Local Government Act.

**Density Bonus** - means an increase in the allowable number of units or floor area on a parcel of land in exchange for an amenity/ies provided by the developer for the community. This is typically implemented through **density bonusing** provisions in the City's Zoning Bylaw based on the premise of discretionary zoning.

**Environmental Report** - is an umbrella term that may refer to an Environmental Impact Assessment, Biological Assessment, or other environmental study prepared by a qualified professional. These reports support planning and decision-making by identifying potential adverse environmental effects and associated mitigation measures. Where mitigation is not feasible, restitution measures such as replacement, restoration, or compensation may be identified.

**Farm-Gate Marketing** - refers to the retail sale of agricultural products from either the agricultural parcel where the products were produced or from a consolidated farm location.

**FireSmart** - refers to a set of principles established by FireSmart Canada to help increase neighbourhood resilience to wildfire and minimize its negative impacts, although it is noted that Fire Smart is also a term used generically as well. Measures to reduce the potential impact of wildfire may include the use of non-combustible building materials, thinning and spacing vegetation around buildings, increasing setbacks to large treed areas, etc.

**Floor Area Ratio (FAR)** - refers to a calculation of density that measures the ratio between a building's total usable floor area and the total area of the lot on which the building stands.

**Form and Detailing** - refers to the architectural mass, shape, features and materials on a building.

**Green Building** - is the practice of increasing the efficiency of buildings and their use of energy, water and materials, and reducing impacts on human health and the environment, through better siting, design construction, operation, maintenance and removal – the complete building life cycle. **Green building** design considers energy efficiency, water conservation, waste minimization, recycling, pollution prevention, material resource efficiency, and indoor air quality in all phases of the building's life cycle.

**Greenbelt** - means areas protected by covenant, development permit areas, and/or other mechanisms that remain in a natural state.

**Greenhouse Gas(es) (GHG)** means any gas that absorbs infrared radiation in the atmosphere contributing to problems such as climate change. Some **greenhouse gases** occur naturally, while others come from activities such as the burning of fossil fuel and coal. Greenhouse gases include water vapour, carbon dioxide (CO<sub>2</sub>), nitrous oxide (N<sub>2</sub>O), halogenated fluorocarbons (HCFC's), ozone (O<sub>3</sub>), perfluorinated carbons (PFC's) and hydrofluorocarbons (HFC's).

**Greenways** - mean an interconnected system of linear routes or corridors in the City that consist of greenspace areas that benefit both people and the environment for various purposes, including recreation, habitat and others. You may note that a linear trail is not always considered a Greenway, as it could be a fully urbanized trail with no greenspace components.

**Growth Boundary** - refers to the boundary established by the City's Growth Strategy which is intended to focus future growth and increased density in strategic areas within the **growth boundary** to enable the City to manage development sustainability while bringing life to the Community Vision for a vibrant, walkable and connected West Kelowna.

**Human Scale** - is a building design term used to indicate a scale that creates an appropriate relationship between human beings and the size and function of surrounding buildings.

**Infill** - refers to a type of development occurring in established areas of the community. **Infill** can occur on long-time vacant lots or on pieces of land with dilapidated buildings, or can involve changing the land use of a property from a less to a more intensive one but in the context of the City's Growth Concept is focused on residential development.

**ISA Certified Arborist** - means an individual who is trained in the art and science of planting and maintaining individual trees and who is certified by the International Society of Arboriculture.

**Leadership in Energy and Environmental Design (LEED)** - is an ecology-oriented building certification program run under the auspices of the U.S. Green Building Council (USGBC). **LEED** concentrates its efforts on improving performance across five key areas of environmental and human health: energy efficiency, indoor environmental quality, materials selection, sustainable site development and water savings. The program is designed to inform and guide professionals including architects, real estate professionals, facility managers, engineers, interior designers, landscape architects, construction managers, private sector executives and government officials who work with structures to create or convert spaces to be environmentally sustainable.

**Leavestrip** - means an area adjacent to a water feature intended to preserve the biodiversity of the riparian ecosystem, protect and buffer that ecosystem from surrounding activities, maintain and enhance biodiversity by protecting the diverse riparian ecosystems, and maintain and enhance corridors between ecosystems thus supporting the diverse needs of various species. This area of land and vegetation should remain undisturbed throughout and after the development process.

**Low Impact Development (LID)** - refers to systems and practices that use or mimic natural processes that result in the infiltration, evapotranspiration or use of stormwater in order to protect water quality and associated aquatic habitat.

**Mode Split Targets** - is a traffic / transport term that refers to setting goals for the number of trips or (more common) percentage of travelers using a particular type of transportation. Mode split is also commonly referred to as modal share or modal split and refers to vehicle, transit, bicycle, walking and other modes of transportation. The term is often used when analyzing the sustainability of transport within a city or region. In recent years, many cities have set modal share targets for sustainable transport modes, particularly cycling and public transport. The percentage of modal split is often seen as an indicator for the performance of a traffic network.

**Multi-Modal Transportation** - means a system of transportation that includes multiple modes of transport, including but not limited to walking, cycling, transit, and vehicular based travel as mainstream options.

**Pedestrian Scale** - means the relationship between the dimensions of a building, street, outdoor space or **streetscape** element to the average dimensions of the human body.

**Pop-Up:** Refers to land uses that are not permanent, and are typically mobile - for example, festival set-ups and food trucks.

**Publicly Accessible Open Space** - includes CWK parks, RDCO parks, road right of way managed as park, lease or joint-use land for park use, linear statutory right of way managed as trails.

**Privately Owned Publicly-accessible Open Space (POPS)**- includes privately owned areas that accessible to the public.

**Public Realm** - means any of a variety of spaces that are accessible and usable by the general public, including but not limited to: the spaces between privately-owned buildings, plazas, the civic structure of streets and boulevards, sidewalks, parks and trails, natural areas, and scenic vistas, civic buildings and community facilities.

**Qualified Environmental Professional (QEP)** - means an applied scientist or technologist, acting alone or together with another **qualified environmental professional**, if:

- a. the individual is registered and in good standing in British Columbia with an appropriate professional organization constituted under an Act, acting under that association's code of ethics and subject to disciplinary action by that association,
- b. the individual's area of expertise is recognized in the assessment methods as one that is acceptable for the purpose of providing all or part of an assessment report in respect of that development proposal, and
- c. the individual is acting within that individual's area of expertise.



**Ravine** - means a narrow, steep-sided valley that is commonly eroded by running water and has a slope grade greater than 3:1.

**Riparian Area** - are the areas bordering on **streams**, lakes, and wetlands that link water to land.

**Sense of Place** - pertains to the essential character and spirit of an area and is generally associated with one's neighbourhood, community, city or region and may be expressed in cultural forms such as gathering places, common names or local identity.

**Sensitive Ecosystem** - pertains to those remaining natural terrestrial ecosystems, which are considered, fragile or rare in the Sensitive Ecosystem Study (SEI) area: wetlands, riparian, old forest, grassland, broadleaf woodland, coniferous woodland, and sparsely vegetated ecosystems.

**Stream** includes any of the following:

- a. a natural **watercourse** or source of water supply, whether it usually contains water or not;
- b. a pond, lake, river, creek, brook; and
- c. a ditch, seep, spring or wetland.

**Streamside Protection and Enhancement Area (SPEA)** means an area:

- a. Determined by a **QEP** under provincial RAPR methodology, or equivalent, for conducting riparian assessments;
- b. Located adjacent to a **stream** that links aquatic to terrestrial ecosystems and includes both existing and potential riparian vegetation and existing and potential adjacent upland vegetation that exerts an influence on the **stream and associated ecosystem components**; and,
- c. The size of which is determined according to this regulation on the basis of an assessment report provided by a **QEP** in respect of a development proposal.

**Steep Slope** - or hillside, or hillside conservation area is defined as land that has a natural slope angle of 20% or greater for a minimum horizontal distance of 10 metres.

**Streetscape** - pertains to the functional and decorative elements that are placed, laid, erected, planted or suspended within a public or communal urban space or street. It relates to the interrelationship of development, landscape and open space in a street. **Streetscapes** are an important component of the **public realm** (public spaces where people often interact), which help define a community's transport conditions, activities, aesthetic quality and identity.

**Viewscape** - means a physiographic area composed of land, water, biotic, and cultural elements which may be viewed and mapped from one or more viewpoints and which has inherent scenic qualities and/or aesthetic values.

**Watercourse** - includes any natural depression with visible banks, or wetland with or without visible banks, which contains water at some time; and includes any lake, river, **stream**, creek, spring, swamp, gulch or surface source of water whether containing fish or not; and includes intermittent **streams**; and includes surface drainage works which are inhabited by or provide habitat for fish.

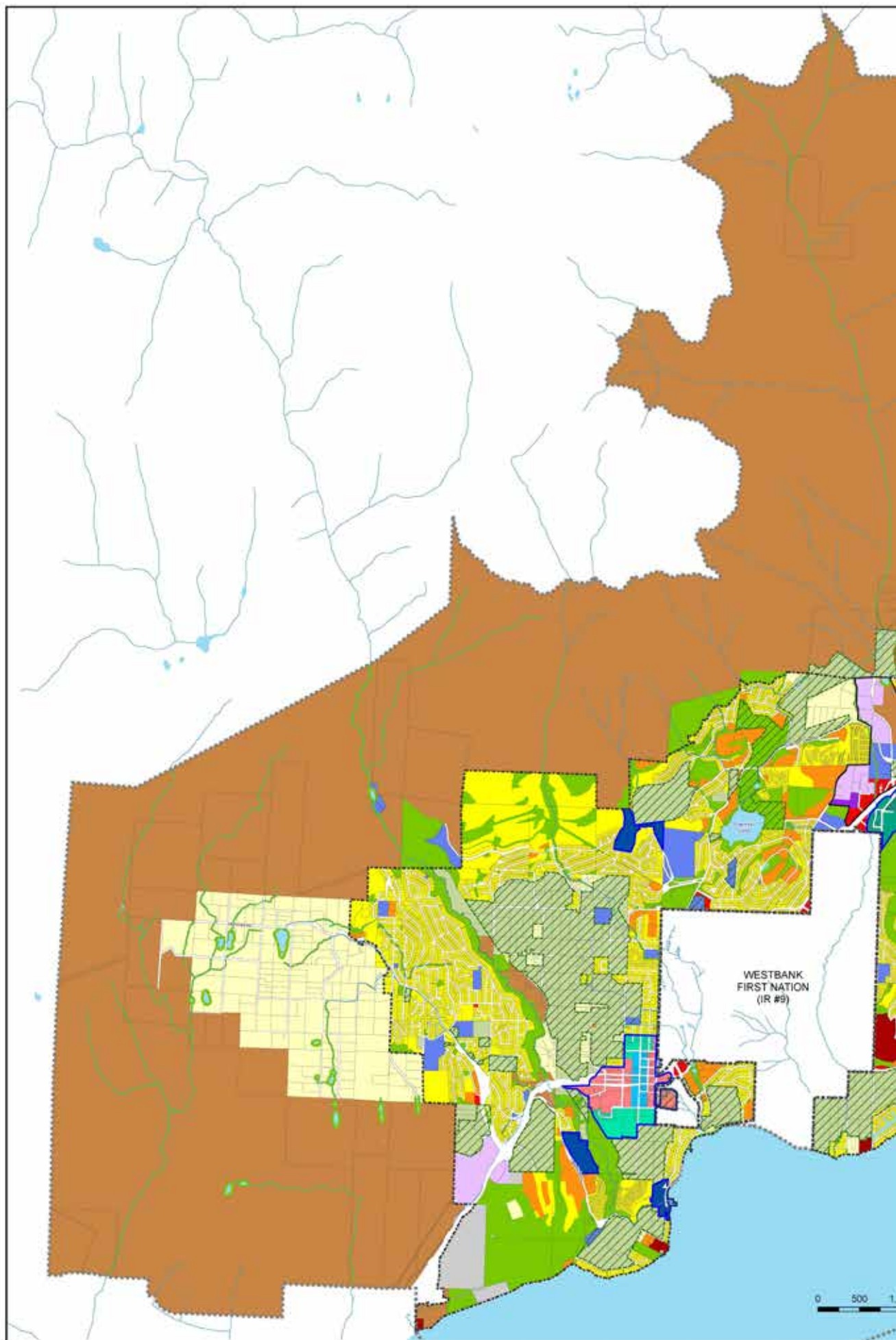
**Xeriscape/Xeriscaping** means landscaping in ways that do not require supplemental irrigation. It is promoted in areas that do not have easily accessible supplies of fresh water. Plants whose natural requirements are appropriate to the local climate are emphasized, and care is taken to avoid losing water to evaporation and run off.



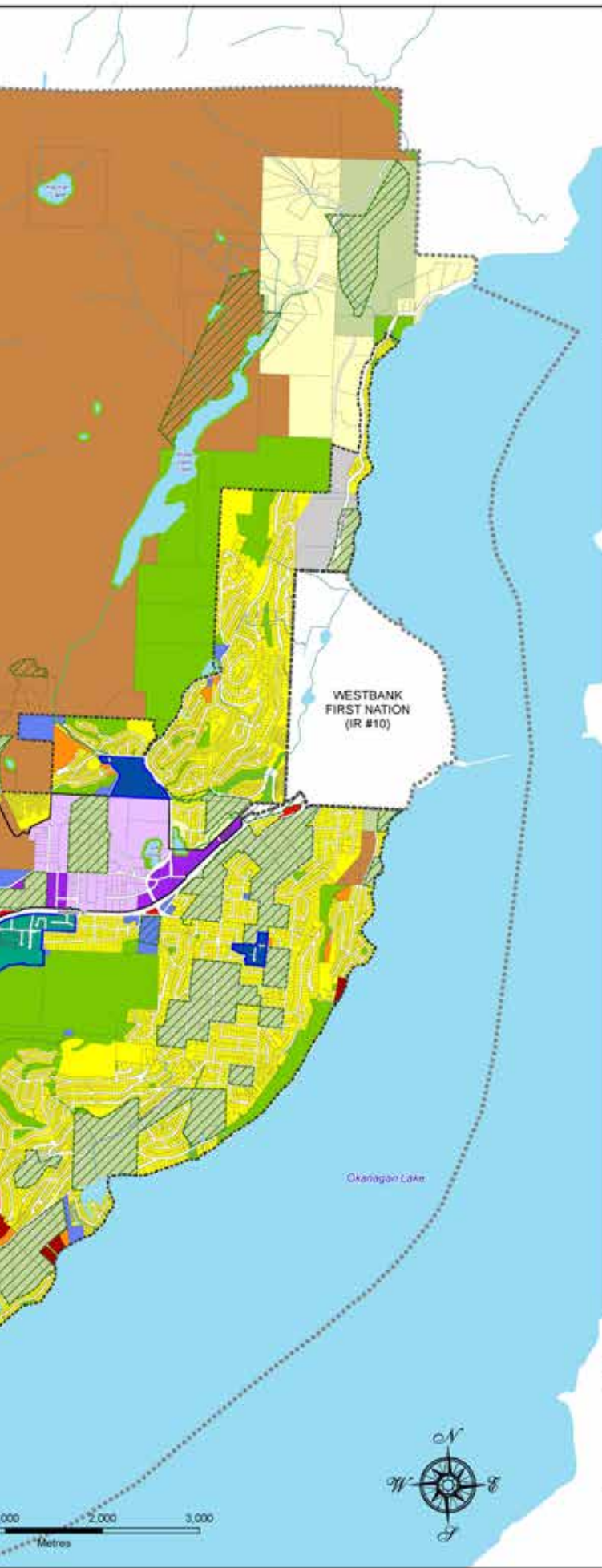
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## SCHEDULE 1 LAND USE PLAN

OFFICIAL COMMUNITY PLAN  
BYLAW 2022 No. 0300

- Streams
- ALR
- Industrial and Business Park
- Growth Centre
- Growth Boundary
- West Kelowna Municipal Boundary
- Land Use**
  - Rural Residential
  - Low Density Residential
  - Medium Density Residential
  - Neighbourhood Centre
  - Boucherie Urban Centre
  - Westbank Urban Centre – Commercial Core
  - Westbank Urban Centre – Mixed Use Corridor
  - Westbank Urban Centre – Residential Shoulders
  - Commercial
  - Tourist Commercial
  - Industrial
  - Business Park
  - Educational/Institutional
  - Natural Areas and Public Parks
  - Agriculture
  - Resource Land
  - Comprehensive Development Area

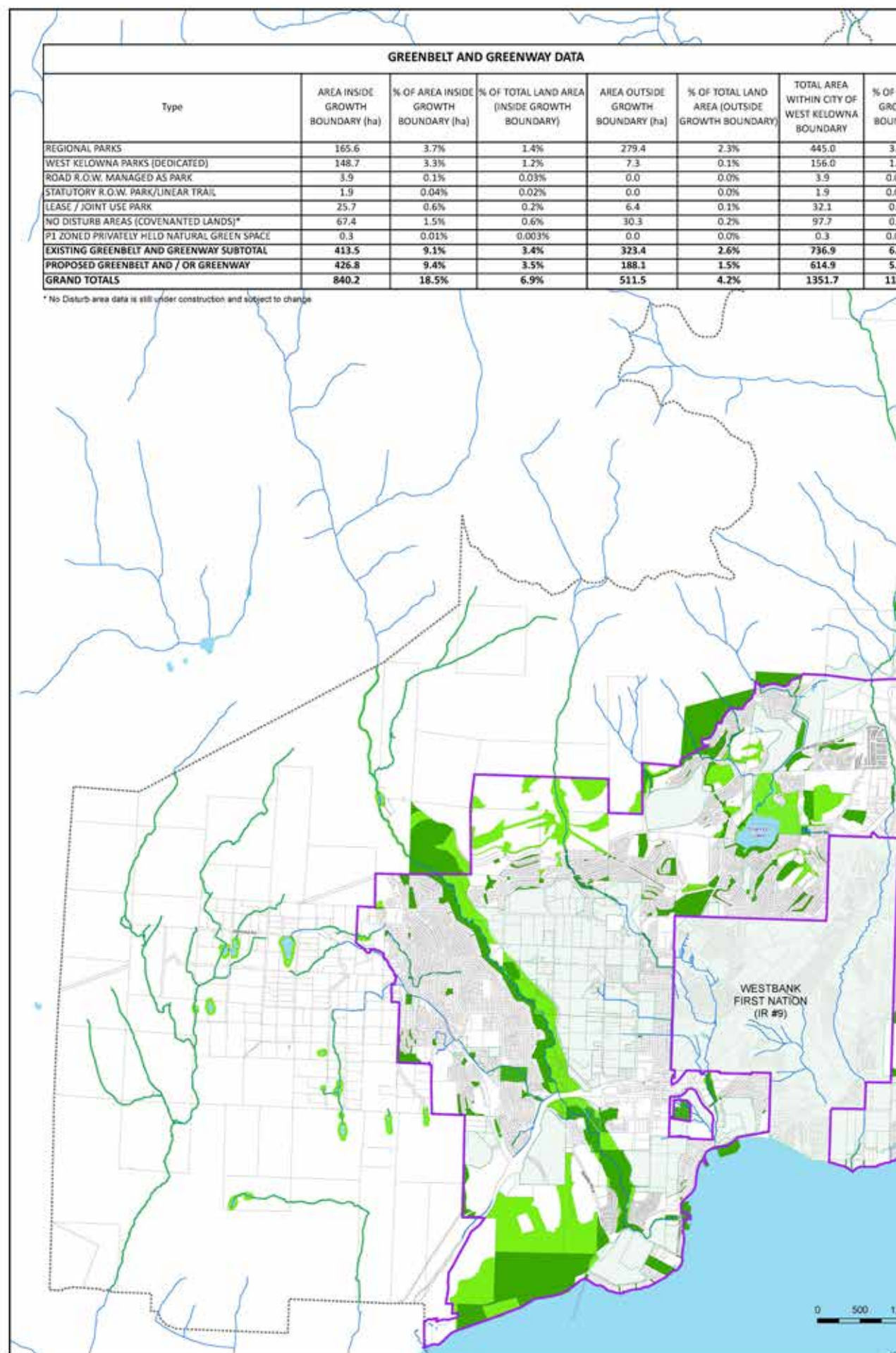
Adopted: **DRAFT**

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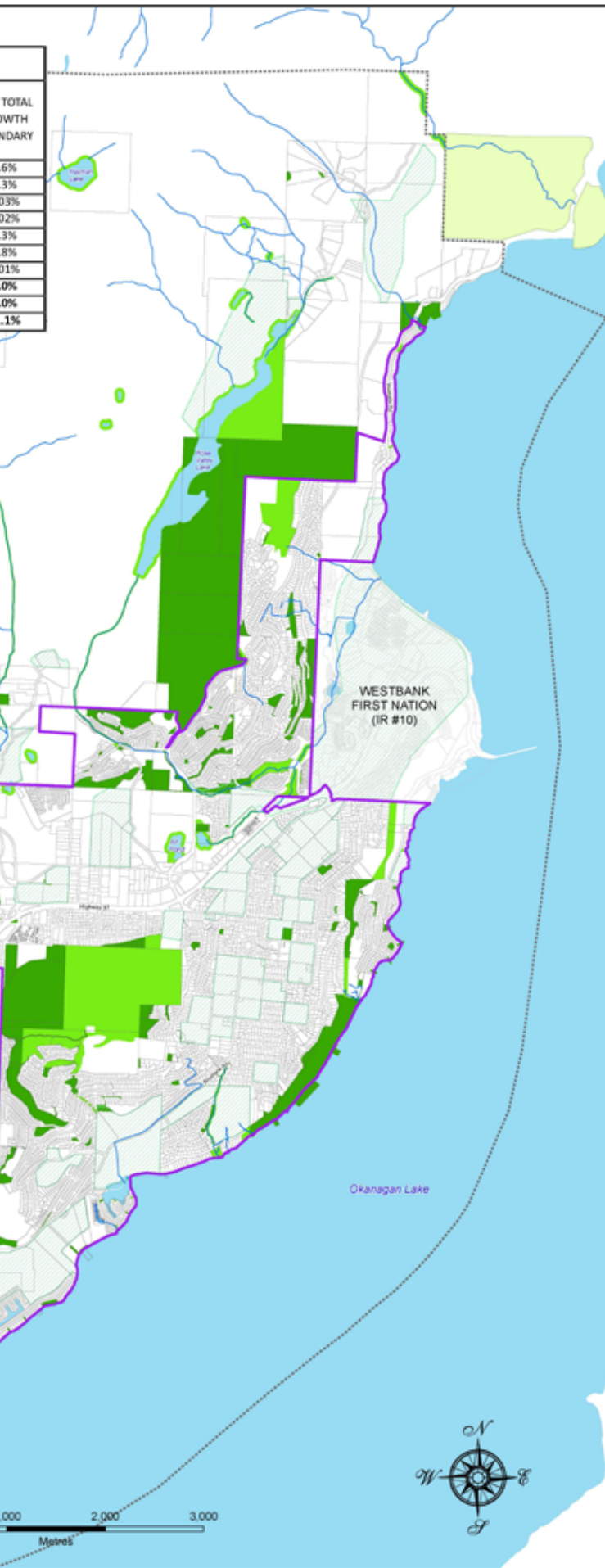
### Amendments

Bylaw	Adoption Date	Bylaw	Adoption Date	Bylaw	Adoption Date	Bylaw	Adoption Date

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## SCHEDULE 2 COMMUNITY GREENBELT AND GREENWAY CONCEPT

OFFICIAL COMMUNITY PLAN  
BYLAW 2022 No. 0300

- Streams
- ALR
- Bear Creek Provincial Park
- Lakes, Marshes and Wetlands
- West Kelowna Municipal Boundary
- Growth Boundary
- Existing Greenbelt and/or Greenway
- Proposed Greenbelt and/or Greenway

### Notes:

This is a conceptual map only, and remains subject to change. Many areas within the CWK remain to be planned in regard to detailed greenbelt and greenways. See Sections 3.2.3 and 3.5.2 for additional policy details.

Lands identified within proposed greenbelts and/or greenways are not specifically identified for CWK acquisition, as there are a number of tools that may be used to secure the greenways or greenbelts. Specific park land acquisition and funding strategies have been identified in the Parks and Recreation Master Plan.

When a parcel has both Park and Institutional uses and the site has 25% or more parcel coverage as buildings this site will be considered to be Institutional rather than Park and will not be included on this map.

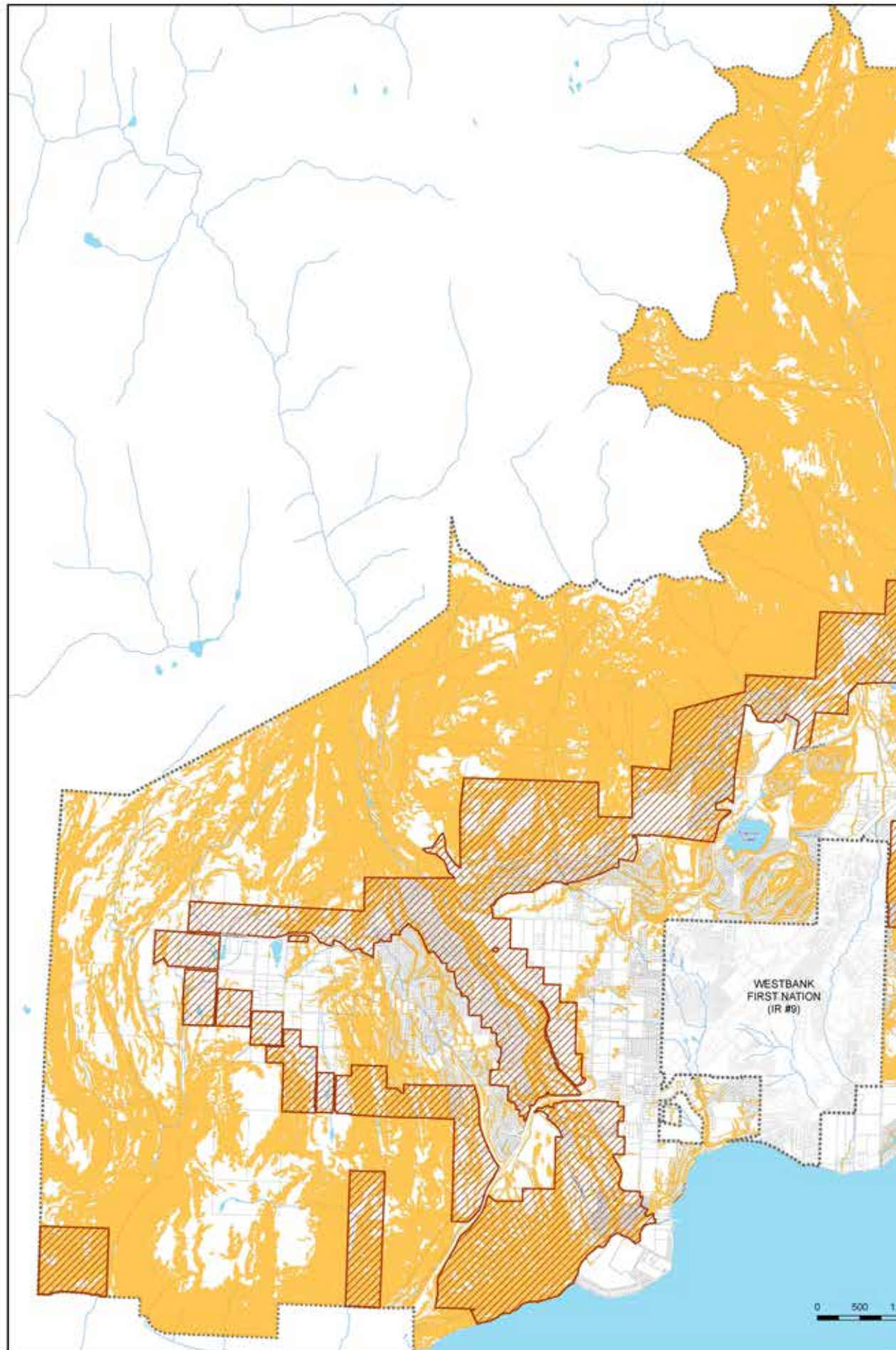
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### Amendments

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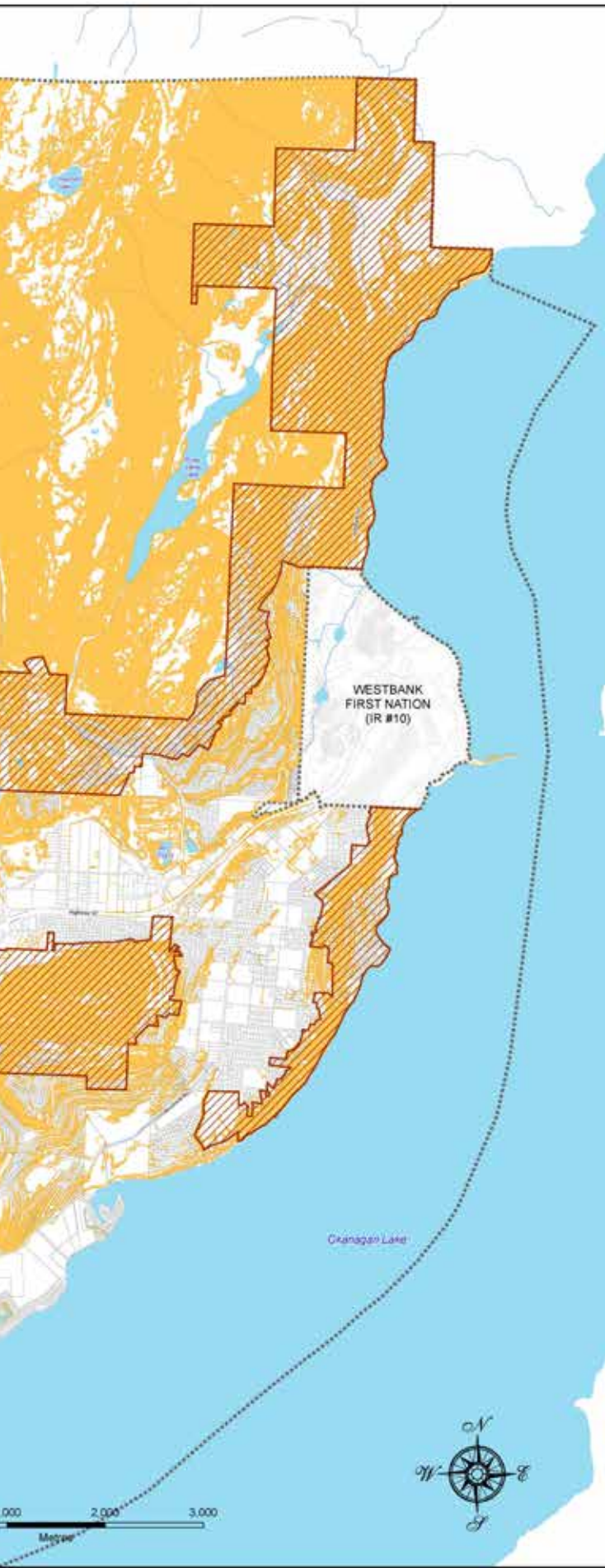
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**SCHEDULE 3**  
**HILLSIDE AND WILDFIRE INTERFACE**  
**DEVELOPMENT PERMIT AREAS**  
OFFICIAL COMMUNITY PLAN  
BYLAW 2022 No. 0300



- Streams
- Lakes, Marshes and Wetlands
- West Kelowna Municipal Boundary
- Hillside Development Permit Areas
- Wildfire Interface Development Permit Area

**Notes:**

Westbank First Nation Community Forest activities are exempt from the Hillside and Wildfire Interface Development Permit guidelines.

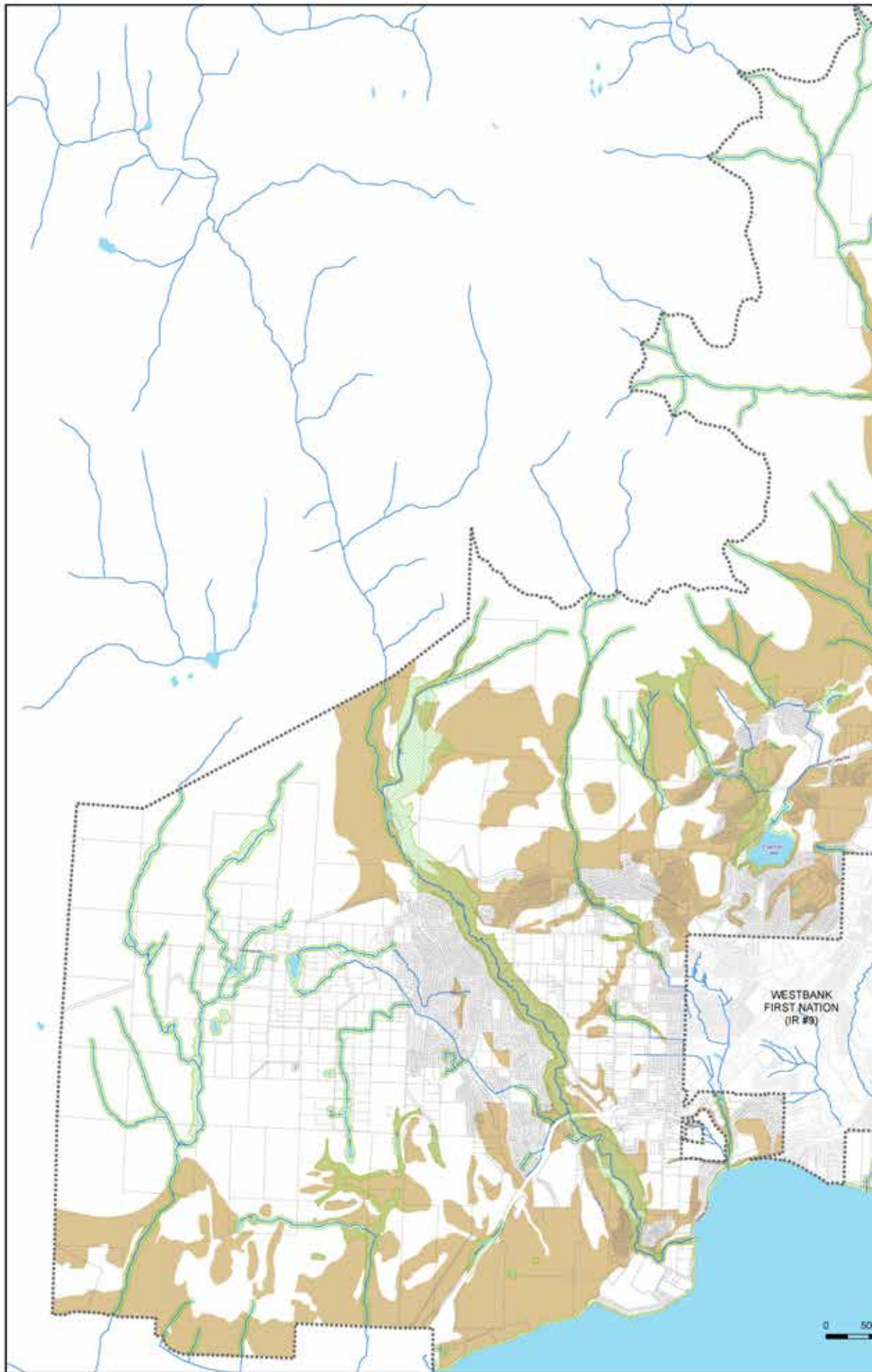
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**Amendments**

Latest amending Bylaw No.	Date	By

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**SCHEDULE 4**  
**AQUATIC AND SENSITIVE**  
**TERRESTRIAL ECOSYSTEM**  
**DEVELOPMENT PERMIT AREAS**

OFFICIAL COMMUNITY PLAN  
 BYLAW 2022 No. 0300

- Streams
- Lakes, Marshes and Wetlands
- West Kelowna Municipal Boundary
- Aquatic Ecosystem Development Permit Area
- Sensitive Terrestrial Ecosystem Development Permit Area

**Notes:**

Westbank First Nation Community Forest activities are exempt from the Aquatic Ecosystem and Sensitive Terrestrial Ecosystem Development Permit guidelines.

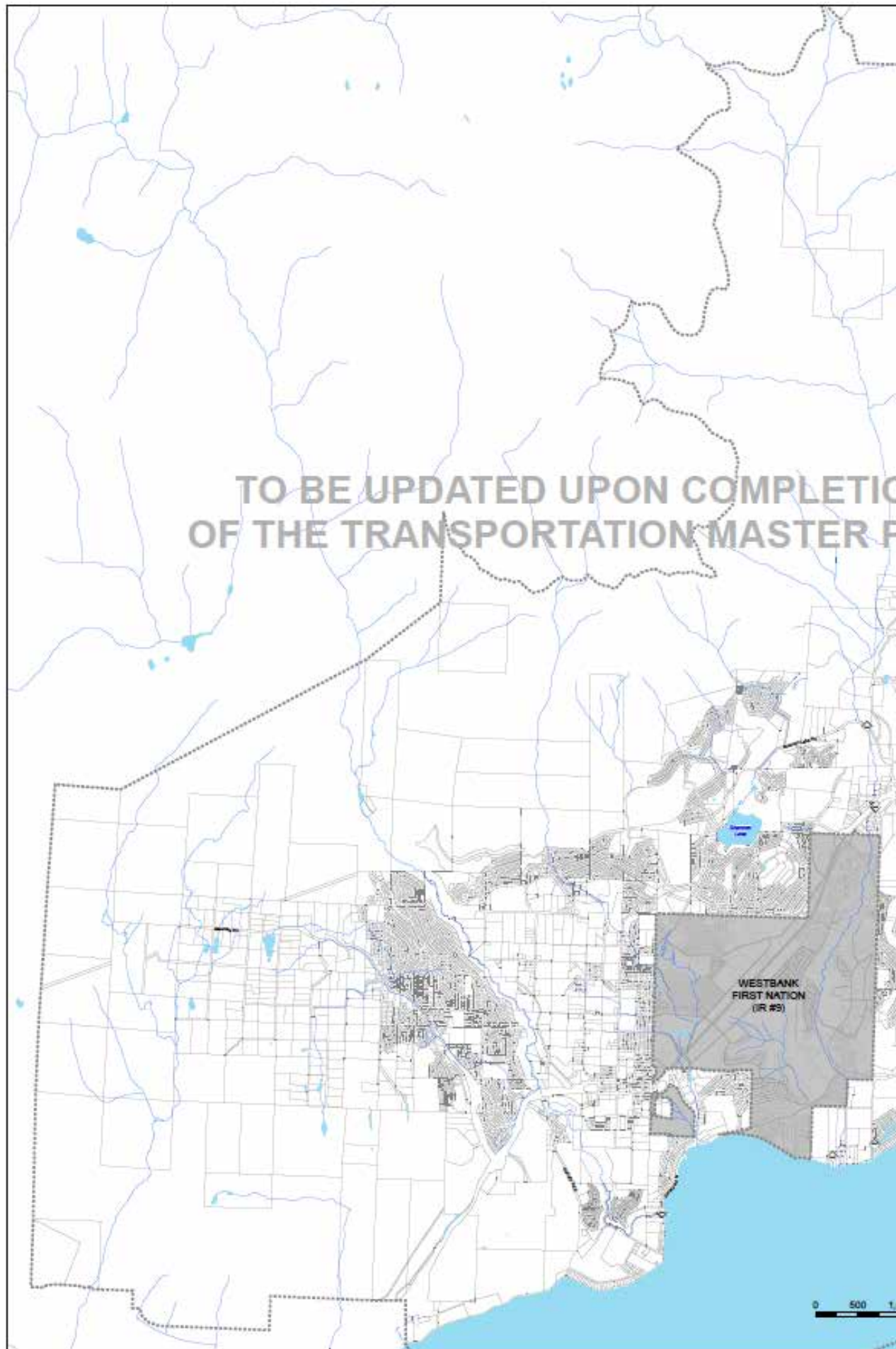
Adopted: **DRAFT**

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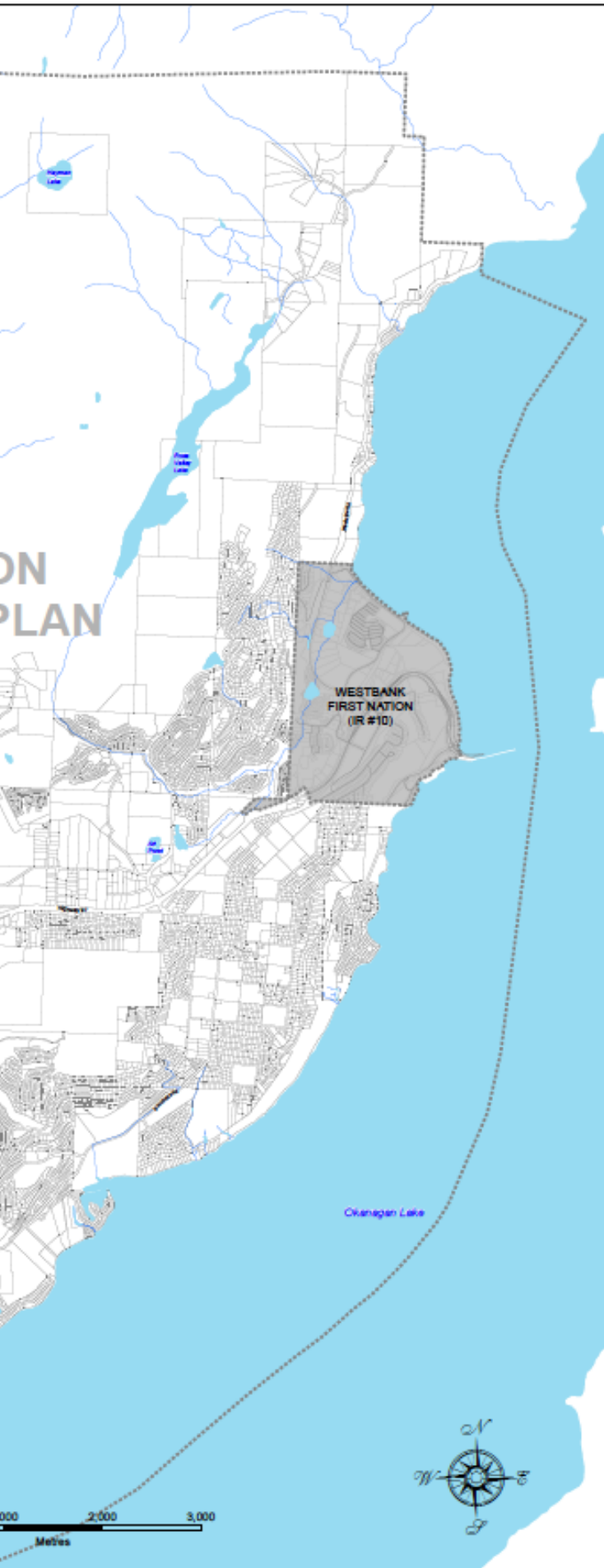
**Amendments**

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## SCHEDULE 5 FUTURE ROAD NETWORK

OFFICIAL COMMUNITY PLAN  
BYLAW 2022 No. 0300

-  Existing Bridge
-  Streams
-  Lakes, Marshes and Wetlands
-  First Nation Boundary
-  West Kelowna Municipal Boundary

**Note:**  
These maps will be updated upon completion of the Transportation Master Plan (TMP). For the most up-to-date information on the TMP, please visit the project website at [www.ourwk.ca/tmp](http://www.ourwk.ca/tmp).

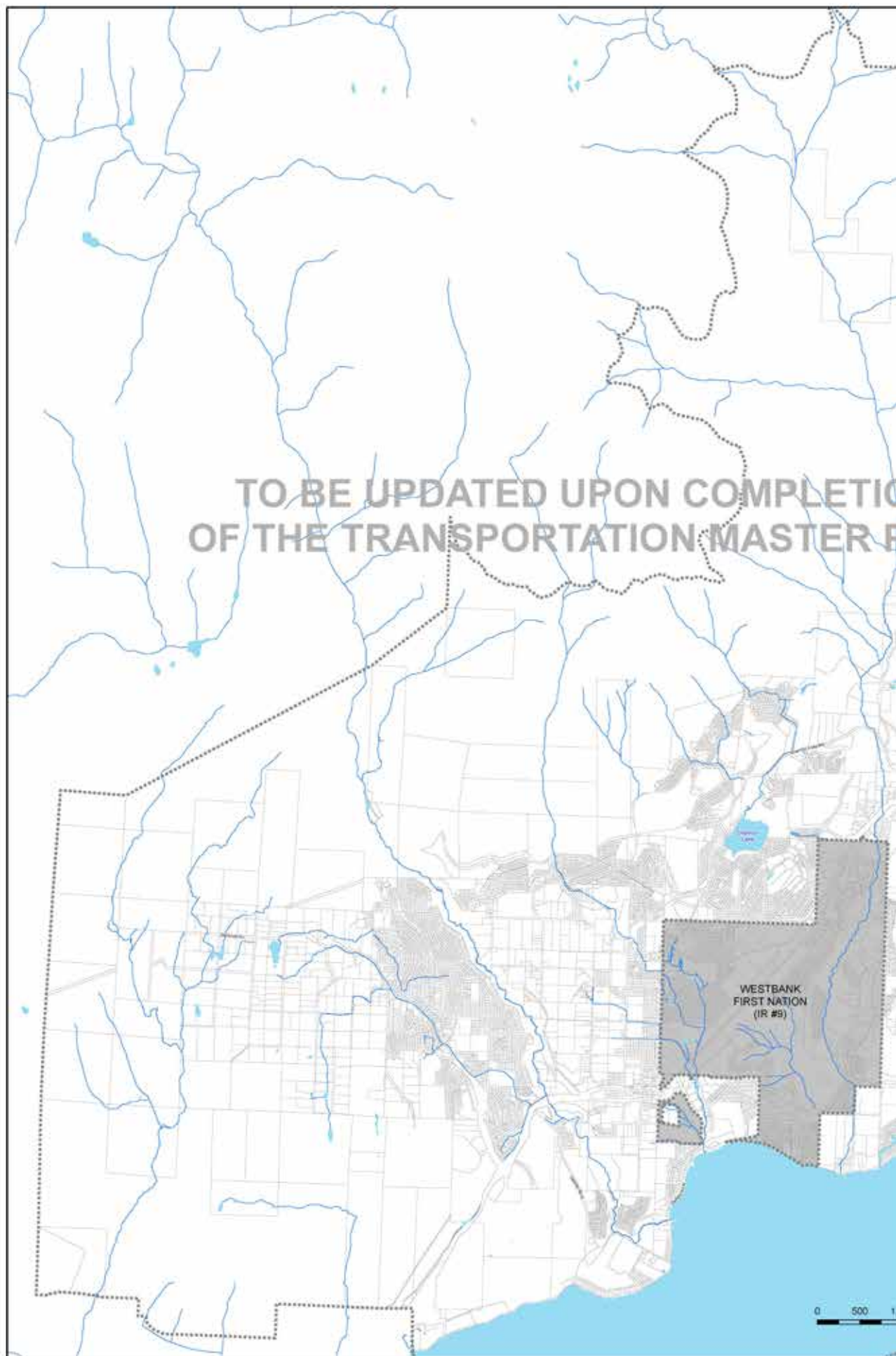
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## SCHEDULE 6 FUTURE TRANSIT NETWORK

OFFICIAL COMMUNITY PLAN  
BYLAW 2022 No. 0300

- Streams
- Lakes, Marshes and Wetlands
- First Nation Boundary
- West Kelowna Municipal Boundary

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Adopted: **DRAFT**

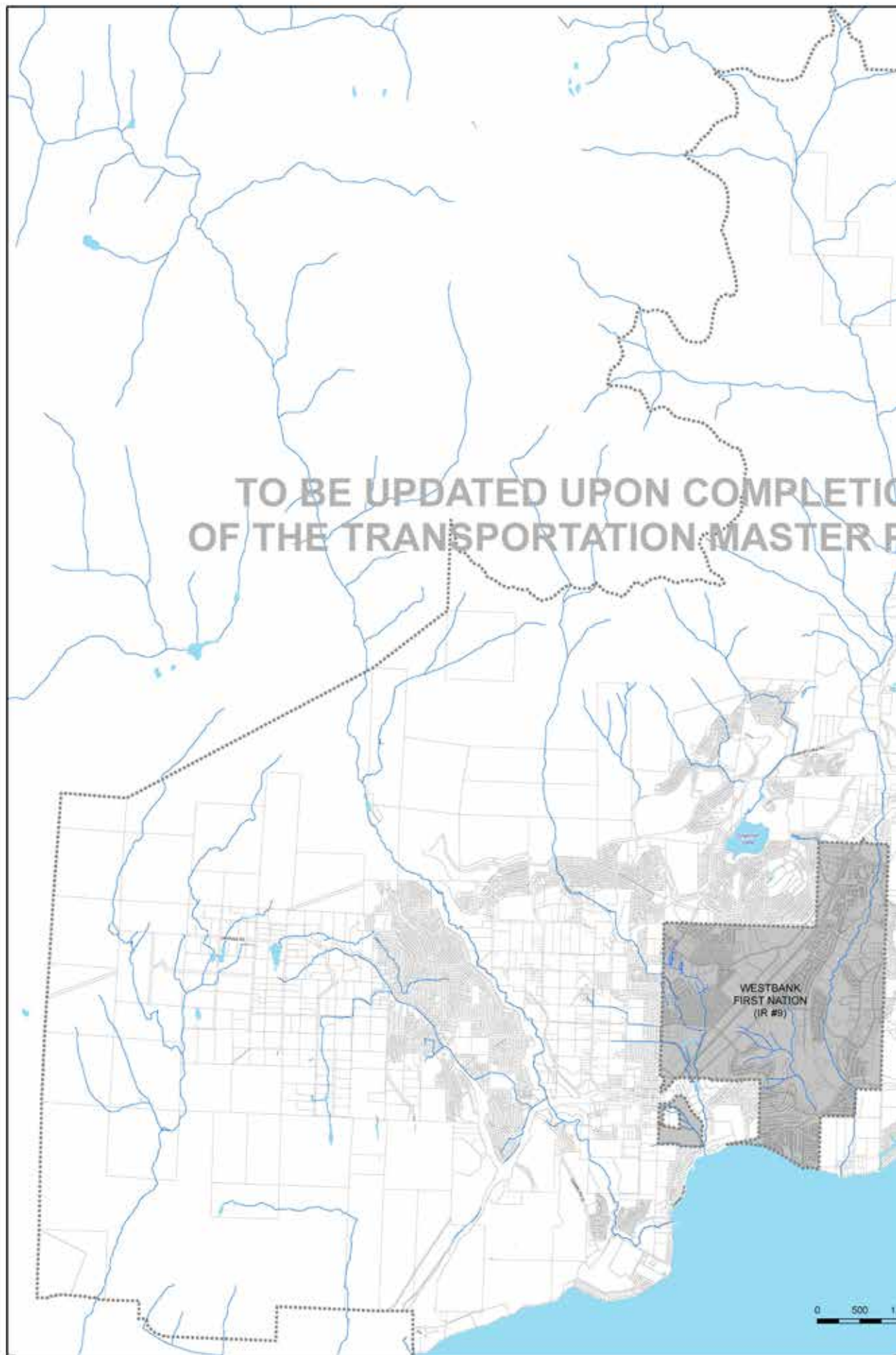
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## SCHEDULE 7 FUTURE BICYCLE NETWORK

OFFICIAL COMMUNITY PLAN  
BYLAW 2022 No. 0300

- Streams
- Lakes, Marshes and Wetlands
- First Nation Boundary
- West Kelowna Municipal Boundary

**Note:**  
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Adopted: **DRAFT**

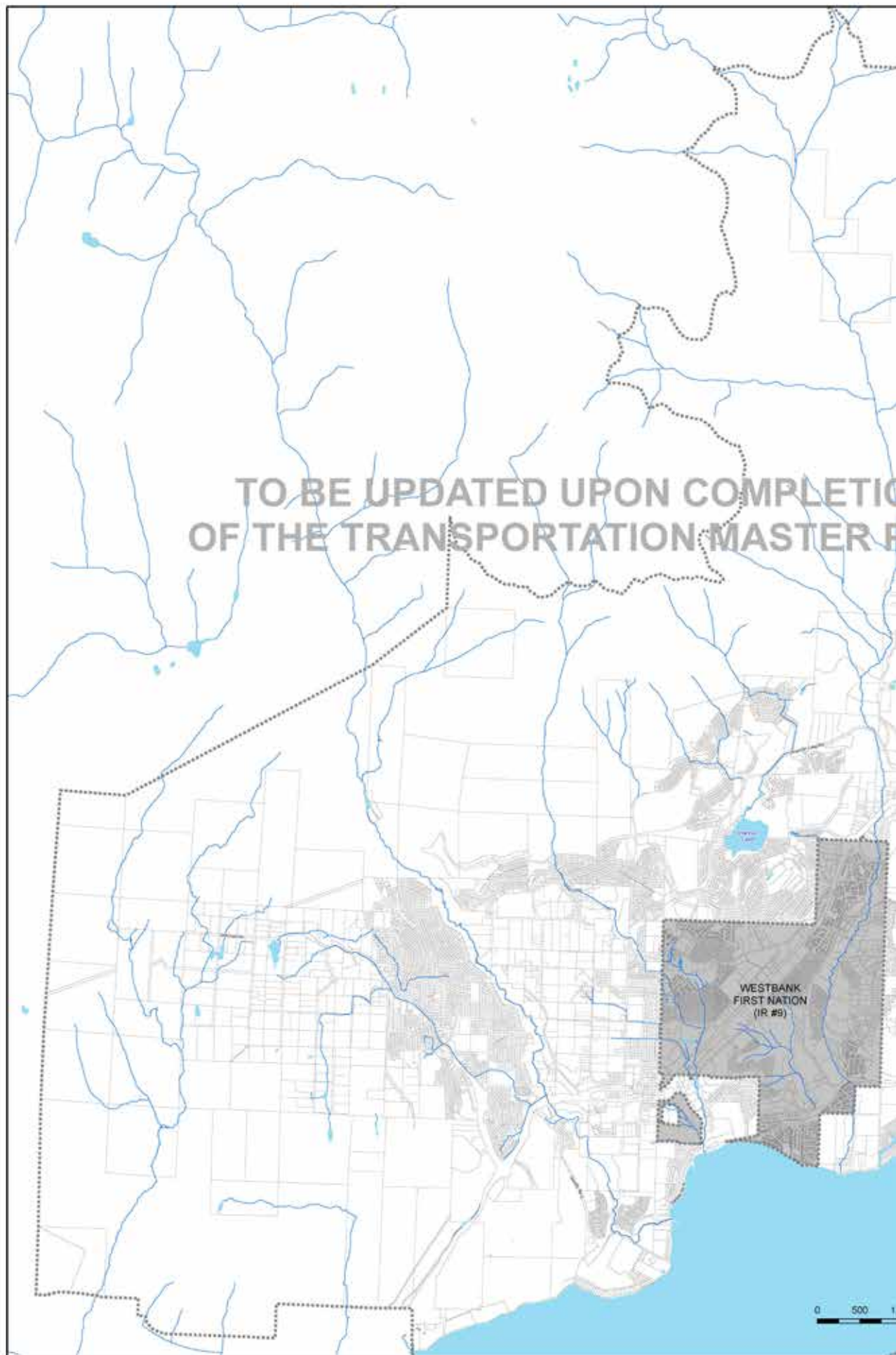
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## SCHEDULE 8 FUTURE PEDESTRIAN NETWORK

OFFICIAL COMMUNITY PLAN  
BYLAW 2022 No. 0300

- Streams
- Lakes, Marshes and Wetlands
- First Nation Boundary
- West Kelowna Municipal Boundary



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