

# CITY OF WEST KELOWNA DEVELOPMENT PERMIT DP 20-13

To: L'amore Bridal & Formals Ltd., Inc. No. BC0559062 2715 Hewlett Rd Kelowna, BC V1W 4B4

- 1. This Commercial Development Permit is issued subject to compliance with all of the Bylaws of the City of West Kelowna applicable thereto, except as specifically varied or supplemented by this Permit.
- 2. This Permit applies to and only to those lands within the City of West Kelowna described below, and any and all buildings, structures and other developments thereon:

LOT 3 DISTRICT LOT 486 OSOYOOS DIVISION YALE DISTRICT PLAN 17793 (2435 Dobbin Road)

- 3. This Permit allows for the construction of one commercial building in a Commercial Development Permit Area (DPA 1) subject to the following conditions and related schedules:
  - A. The dimensions, siting, exterior design, and finish of buildings is to be in accordance with Schedule 'A':
  - B. The landscape works to be in accordance with Schedule 'B';
  - C. The following variances to Zoning Bylaw No. 0265 are included as part of this Development Permit:
    - i. That the minimum distance parking and loading spaces shall be from any side parcel boundary (s.4.3.2(a)) be reduced from 1.5 m to 0.4 m.
    - ii. That the number of small car spaces permitted (s.4.7.1(a)) be increased from 30% to 55%.
    - iii. That the number of required loading spaces (s.4.10.1(a)) be reduced from one to zero.
    - iv. That the width of perimeter landscaping required in a parking area (s.4.11.2(a)) be reduced from 1.5 m to 0.4 m along side parcel boundaries.

#### Security

4. As a condition of the issuance of this Permit the City of West Kelowna is holding a landscape security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Permittee and be paid to the Permittee if the security is returned. The condition of the posting of the security is that should the Permittee fail to carry out the development hereby authorized, according to the terms and conditions of the Permit within the time provided, the City of West Kelowna may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Permittee, or should the Permittee carry out the development permitted by this Permit

within the time set out below, the security shall be returned to the Permittee. There is filed accordingly:

An Irrevocable Letter of Credit or Bank Draft in the amount of \$12,855.94 (125% of 10,284.75).

#### General

- 5. The land described herein shall be developed strictly in accordance with the terms and conditions of this Permit and any plans and specifications attached to this Permit, which shall form a part hereof. Should any changes be required to this permit, please ensure that you obtain written approval from City of West Kelowna prior to making any changes.
- 6. If this Development Permit has not been issued within one year from approval, the Permit shall be deemed to have been refused and the file will be closed.
- 7. This Permit is not a Building Permit.
- 8. This Permit is not a Ministry of Transportation and Infrastructure Controlled Access Permit.
- 9. This is not an Archaeology Permit.
  - A. All archaeological sites in B.C. are protected under the *Heritage Conservation Act*. This applies to whether sites are located on public or private land and whether the site is known or unknown. If you think you have uncovered an archaeological site during a building project or renovation, please do not disturb the site further and call B.C.'s Archaeology Branch immediately at (250) 953-3334. Branch archaeologists will review your project plans and make recommendations to manage site impacts and secure the required permitting.
- 10. Parking spaces, bicycle parking spaces, and loading spaces have been calculated using retail rates in Zoning Bylaw No. 0265. Future uses on the site must provide parking spaces, bicycle parking spaces, and loading spaces in accordance with the applicable Zoning Bylaw as part of business licencing.
- 11. Subject to the terms of the permit, where the holder of a permit issued under the *Local Government Act* does not substantially commence any construction with respect to which the permit was issued within two years after the date it is issued, the permit lapses.

As received on Credit or Bank Draft deposit the above permit.	, there is filed accordingly an Irrevocable Letter of in the amount of \$12,855.94 for landscaping works outlined in
	City Clerk
	Signed on
AUTHORIZING RESOLUTION	N NO PASSED BY THE MUNICIPAL COUNCIL ON

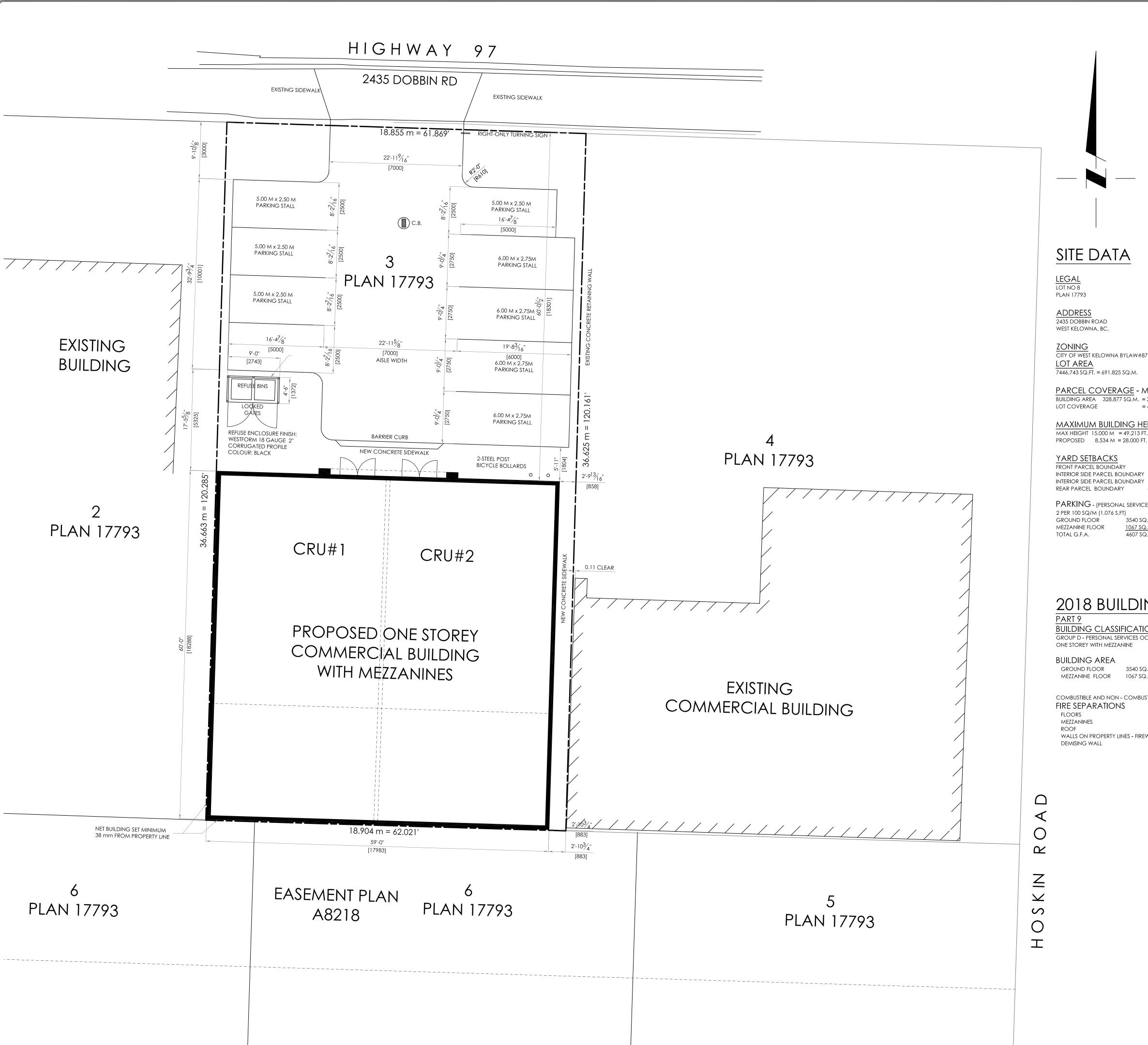
Variances and will ensure that copies of the Permit will of construction.	be provided to onsite personnel at time
	Signed on
	Property Owner or Agent
ISSUED on	

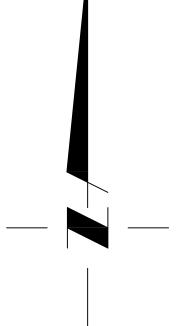
I hereby confirm that I have read and agree with the conditions of Development Permit with

#### Schedules:

A. Architectural Drawings, prepared by JMS Engineering Ltd. dated March 15, 2023 (9 pages)

B. Landscape Plan, prepared by JMS Engineering Ltd., dated March 15, 2023, and Estimate, prepared by Alchemized Construction Inc., dated May 18, 2023 (2 pages)





# SITE DATA

2435 DOBBIN ROAD WEST KELOWNA, BC,

CITY OF WEST KELOWNA BYLAW#871 C1 - URBAN CENTRE COMMERCIAL

PARCEL COVERAGE - MAX 100% BUILDING AREA 328.877 SQ.M. = 3540.00 SQ.FT. LOT COVERAGE = 47.537 %

## MAXIMUM BUILDING HEIGHT OF PRINCIPAL BUILDING

PROPOSED 8.534 M = 28.000 FT.

- NORTH - MIN. 3.0 M = 9.843 FT. - PROPOSED 18.301 M = 60.043 FT. INTERIOR SIDE PARCEL BOUNDARY - EAST - MIN. 0.0 M = 0.000 FT. - PROPOSED 0.858 M = 2.814 FT. INTERIOR SIDE PARCEL BOUNDARY - WEST - MIN. 0.0 M = 0.000 FT. - PROPOSED 0.038 M = .125 FT. REAR PARCEL BOUNDARY - SOUTH - MIN. 0.0 M = 0.000 FT. - PROPOSED 0.038M = .125 FT.

PARKING - (PERSONAL SERVICES - AS PER RETAIL REQUIREMENT)

GROUND FLOOR 3540 SQ.FT. MEZZANINE FLOOR

4607 SQ.FT. 4.3 x 2 = 9 CARS REQUIRED - 9 PROVIDED

# 2018 BUILDING CODE ANALYSIS

BUILDING CLASSIFICATION GROUP D - PERSONAL SERVICES OCCUPANCY

**BUILDING AREA** 

GROUND FLOOR 3540 SQ.FT. MEZZANINE FLOOR 1067 SQ.FT.

COMBUSTIBLE AND NON - COMBUSTIBLE CONSTRUCTION FIRE SEPARATIONS

3/4 HR F.R.R. NOT REQUIRED

NOT REQUIRED WALLS ON PROPERTY LINES - FIREWALLS 2 HR F.R.R. 1 HR F.R.R.

DATE NO. BY REVISION

PROJECT DESCRIPTION AND LOCATION: COMMERCIAL BUILDING FOR BRENT MISKUSKI 2435 DOBBIN RD, WEST KELOWNA PLAN

MAR 15, 2023 UPDATED SITE PLAN PARKING LOT DIMENSIONS ADDED SEP 30, 2022-REFUSE ENCLOSURE FINISH NOTE ADDED

ENGINEER'S SEAL:

ISSUED FOR CONSTRUCTION

ISSUED FOR BUILDING PERMIT

DATE:



JOSEPH M. SARKOR, P.ENG.

COMMERCIAL BUILDING 2435 DOBBIN RD WEST KELOWNA, BC

SHEET TITLE SITE PLAN

This drawing is an instrument of service for the specified project. The drawing and design are the exclusive property of JMS Engineering and may not be used in whole or in part without written consent. Their name must appear on any reproduction of the whole or in part of this drawing. Please check and verify all critical details and dimensions prior to the start of construction, and contact the owner and JMS Engineering if any clarification is required. Written dimensions take precedence over scaled dimensions DO NOT SCALE THESE DRAWINGS.

Ray Lefebvre	JOB NUMBER 19-29
CHECKED  Joseph M. Sarkor	SHEET NO.
SCALE 1/8" = 1'-0"	S1
DATE <b>MAR 15, 2023</b>	OF 9

# STRUCTURAL NOTES

### 1. GENERAL

1.1 THE NOTES AND SPECIFICATIONS GIVEN ON THE STRUCTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THESE NOTES. THEY ARE NEITHER COMPLETE NOR DO THEY REPLACE THE CONTRACT SPECIFICATIONS.

1.2 THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE DRAWINGS AND SPECIFICATIONS OF ALL OTHER CONSULTANTS.
ANY DISCREPANCIES NOTED SHALL BE REPORTED IMMEDIATELY FOR CLARIFICATION.

### 1.4 DESIGN LOADS

1.3 THIS BUILDING HAS BEEN DESIGNED USING RELEVANT LOADS IN ACCORDANCE WITH THE PROVISIONS SET FORTH IN THE B.C. BUILDING CODE 2012.

\* WOOD FRAME STRUCTURE DESIGNED AND DETAILED ACCORDING TO CAN/CSA -086 CASE 4, TABLE 4.1.9.1(1)

			1
LOAD LOCATION	LOADS	UNITS	COMMENTS
GROUND SNOW:	37.59 / 1.8	Psf / Kpa.	
FLAT ROOF SNOW:	37.59 / 1.8	Psf / Kpa.	(Snow buidup see plans)
SLOPED ROOF SNOW	37.59 / 1.8	Psf / Kpa.	(Snow buidup see plans)
RAIN LOAD	2.09 / 0.1	Psf / Kpa.	
ROOF DEAD LOAD	21 / 1.01	Psf / Kpa.	
RESIDENTIAL FLOORS	40 / 1.9	Psf / Kpa.	(All areas)
FLOOR DEAD LOADS	21 / 1.01	Psf / Kpa.	
FOUNDATION WALLS	45 / 2.159	Psf / Kpa.	(EFP, no surcharge)
RETAINING WALLS	36 / 1.72	Psf / Kpa.	(EFP, no surcharge)
WIND	9.81 / 0.47	Psf / Kpa.	(1/50 NBC specifications)
SEISMIC	Sa(0.2)= 0.28	Sa(0.5)=.17 S	a (1.0)=0.094 Sa (2.0)=0.056
	Rd = 1.5	Ro = 1.3 I	= 1 F = 1.0
DEFLECTIONS	L/480 (i-joists):	L/360: L/240:	L/180 (Cantilevers)

- 1.4 ALL LOADS AS PER NBC AND LOCAL BUILDING CODE REQUIREMENTS, SPECIAL LOADS AS PER PLANS.
- 1.5 ALL DEAD LOADS BASED ON MATERIAL USED. TYP. 15 Psf FOR WOOD FLOORS, 12 Psf/in OF THICKNESS FOR CONCRETE TOPPED FLOOR SYSTEMS, 20 Psf PARTITION LOADS.

  LOADS AS PER TRUSS MANUFACTURES, CONCRETE TOPPED FLOOR SYSTEMS. 35 Psf, TRUSS DEAD LOADS AS PER TRUSS MANUFACTURES DESIGN.
- 1.6 MANUFACTURERS OF ALL STRUCTURAL COMPONENTS SHALL SUBMIT SHOP DRAWINGS SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN BRITISH COLUMBIA FOR REVIEW PRIOR TO FABRICATION.
  GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING AND APPROVING ALL DIMENSIONS AND ELEVATIONS.

# THESE INCLUDE THE FOLLOWING:

- 1.71 STRUCTURAL STEEL ELEMENTS
- 1.72 FLOOR JOISTS
- 1.73 ROOF TRUSSES
- 1.74 HANGERS & TIEDOWNS
- 1.75 GLU-LAM & PSL WOOD BEAMS

# 2. FOUNDATION AND SITE WORK

2.1 REFERENCE GEOTECHNICAL REPORT SHOULD BE SUBMITTED BY THE OWNER.

- 2.2 NO FOUNDATIONS MAY BE POURED BEFORE BEARING MATERIAL HAS BEEN APPROVED BY THE GEOTECHNICAL ENGINEER. CONTRACTOR TO NOTIFY SOILS ENGINEER MINIMUM 48 HOURS BEFORE CONCRETE POUR.
- $2.3\,$  THE BASE OF THE FOUNDATIONS SHALL BE PROTECTED AGAINST RAIN, SNOW, FROST AND ANY WATER INFILTRATION.
- 2.4 ALL FOOTINGS SHALL BE FORMED AS INDICATED ON THE FOUNDATION PLANS IN ACCORDANCE TO THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- 2.5 CENTRE ALL FOOTINGS UNDER COLUMNS AND WALLS UNLESS OTHERWISE NOTED.
- 2.6 FOOTINGS HAVE BEEN DESIGNED FOR AN ALLOWABLE BEARING PRESSURE OF 2500 PSF ( 120 KPa ) AS VERIFIED AND OR STATED IN SOILS REPORT.
- 2.7 SEE SOILS REPORT FOR PREPARATION OF SUBGRADE.
- 2.8 PERIMETER FOOTING DRAINAGE SEE MECHANICAL DRAWINGS.

#### 3. CONCRETE

PRECAST CONCRETE

CSA-A233-M94.

3.1 ALL CONCRETE WORK SHALL COMPLY WITH THE REQUIREMENTS OF CSA STANDARD A23.3-14. CONCRETE STRENGTHS TO BE VERIFIED BY INDEPENDENT TESTS TO CSA A23. AT THE EXPENSE OF THE CONTRACTOR. A MINIMUM OF 3 TEST CYLINDERS SHALL BE CAST FOR EACH 100 CUBIC METERS OR EACH DAY'S POUR WHICHEVER IS LESS, WITH COPIES SUBMITTED TO THE ENGINEER.

CODE CONFORMANCE:

- CEMENT: TYPE 10 NORMAL CSA-A5
- CONCRETE PROPORTIONING AND WORK CSA-A23.1 & CSA-A23.2
- TESTING OF CONCRETE AND MATERIALS CSA-A23.2
- AIR ENTRAINING ADMIXTURE ASTM C260
- CHEMICAL ADMIXTURE (NON-CHLORIDE BASED) ASTM C494
- CURING COMPOUNDS ASTM C309
- CONCRETE FOR PARKING SLAB CSA-S413

3.2 ALL CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF:

<u>LOCATION</u>	STRENO PSI (ml	GTH Pa)	AIR %	<u>SLUMP</u> +20 mm	EXPOSURE CLASS
S.O.G.:-INTERIOR - EXTERIOR FOOTINGS GRADE BEAMS FOUNDATION WALLS COLUMNS SUSPENDED SLAB TILT-UP	3600 5000 3600 3600 3600 5000 5000	(25) (35) (25) (25) (25) (25) (35) (35)	4 - 8 4 - 8 1 - 4 4 - 7 4 - 7 4 - 7	70 70 70 60 60 60	C2 F2 F2 F2

CSA-A23.4

- 3.3 CEMENT SHALL BE TYPE 10 TO CAN/CSA-A23.1-M90 ALTERNATE 1
- 3.4 ALL COLD OR HOT WEATHER CONCRETE WORK SHALL CONFORM TO
- 3.5 REINFORCING BARS SHALL BE BILLET STEEL BARS CONFORMING TO CSA G30.18-M92 GRADE 400. WELDED WIRE MESH SHALL CONFORM TO CSA G30.5-R1991. LAPS SHALL INCLUDE TWO CROSS WIRES PLUS 2" ( 50.8mm ).
- 3.6 LAP SPLICE REINFORCEMENT AS FOLLOWS (UNLESS OTHERWISE NOTED):

WIRE MESH	12"	(305 mm)
10M	18"	(457 mm )
15M	26"	(660 mm)
20M	30"	(762 mm)
25M	50"	(1270mm)

STAGGER SPLICES IN WALLS AND SLABS.

- 3.7 DESIGNATION OF REINFORCING BARS:
- 3-10M36 MEANS THREE 10M BARS 36" ( 914 mm ) LONG 2-C10M10' MEANS 2 10M BARS, H1E WITH A 90 DEGREE STANDARD HOOK AN A TOTAL LENGTH OF 10' ( 3048 mm ).
- STEEL SHALL BE PLACED ACCORDING TO "THE MANUAL OF STANDARD PRACTICE" OF THE REINFORCING INSTITUTE OF ONTARIO, 4TH EDITION 1990

DENOTES TOP BARS
DENOTES BOTTOM BARS

- 3.8 WELDING OF REINFORCING IS NOT PERMITTED WITHOUT WRITTEN APPROVAL
- 3.9 CLEAR COVER FOR REINFORCEMENT :

5.0	CLE/III COVERT CITTEIN CHOEMENT.			
CAST	AGAINST SOIL	3"	(76 mm)	
	EXPOSED TO SOIL OR WEATHER, 20M AND LARGER	2"	(51 mm)	
	EXPOSED TO SOIL OR WEATHER, 15M AND SMALLER	1 1/2"	(38 mm)	
	WALLS AND SURFACES OF SUSPENDED SLABS	1"	(25 mm)	
	BOTTOM SURFACES OF SUSPENDED SLABS	1"	(25 mm)	
	COLUMNS	2"	(50 mm)	
	BEAMS	1"	(25 mm)	

- 3.10 NOTIFY ENGINEER MINIMUM 48 HOURS PRIOR TO ANY POUR.
- 3.11 PLACE REINFORCING BARS SYMMETRICALLY OVER SUPPORTS AND SYMMETRICALLY IN SPANS UNLESS OTHERWISE NOTED.
- 3.12 ALL DOWELS AND ANCHOR BOLTS SHALL BE PLACED BEFORE THE CONCRETE IS POURED. TEMPLATES SHALL BE USED TO ENSURE CORRECT PLACEMENT.

#### 3.13 WALLS AND COLUMNS:

- 3.13.1 WALLS AND COLUMNS SHALL NOT BE POURED HIGHER THAN THE UNDERSIDE OF THE MEMBER SUPPORTED. ANY EXTRA HEIGHT SHALL BE REMOVED BEFORE POURING THE NEXT LEVEL.
- 3.13.2 PROVIDE 10M CORNER BARS FOR THE LESSER AMOUNT OF HORIZONTAL WALL REINFORCING AT ALL CONCRETE / CONCRETE AND CONCRETE / BLOCK WALL INTERSECTIONS UNLESS HORIZONTAL REINFORCEMENT IS HOOKED AS SHOWN IN THE TYPICAL DETAILS.
- 3.14 REFER TO ARCHITECTURAL DETAILS FOR ALL SLAB DEPRESSIONS, FALLS, ETC.
- 3.8 WELDING OF REINFORCING IS NOT PERMITTED WITHOUT WRITTEN APPROVAL
- 3.9 CLEAR COVER FOR REINFORCEMENT :

CAST A	GAINST SOIL	3"	(76 mr	n)
	EXPOSED TO SOIL OR WEATHER, 20M AND LARGER	2"	(51 mr	n)
	EXPOSED TO SOIL OR WEATHER, 15M AND SMALLER	1 1/2"	(38 mr	n )
	WALLS AND SURFACES OF SUSPENDED SLABS	1"	(25 mr	n )
	BOTTOM SURFACES OF SUSPENDED SLABS	1"	(25 mr	n )
	COLUMNS	2"	(50 mr	n )
	BEAMS	1"	(25 mr	n )

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- 3.14 REFER TO ARCHITECTURAL DETAILS FOR ALL SLAB DEPRESSIONS, FALLS, ETC.

# HOT WEATHER CONCRETE RECOMMENDATIONS FOR FLATWORK

SLAB ON GRADE, SUSPENDED SLABS, TILT UP PANELS

- . REVIEW CONCRETE REQUIREMENTS WITH SUPPLIER PRIOR TO THE
- DAY OF THE POUR

  2. DO NOT USE RETARDERS OR ACCELERATORS IN THE CONCRETE MIX,
- UNLESS AUTHORIZED BY THE ENGINEER.

  3. KEEP SUPERPLASTICIZERS AVAILABLE AT THE SITE TO INCREASE WORKABILITY.
  DO NOT EXCEED RECOMMENDED STANDARD DOSAGES.
- PLACING
- 4. DO NOT ATTEMPT LARGE POURS ON HOT DAYS.
- 5. SCHEDULE THE POUR FOR AN EARLY MORNING START SO THAT POURING IS COMPLETED BEFORE NOON.
- FOR SLABS ON GRADE, DAMPEN THE SUBGRADE THE DAY BEFORE THE POUR.
- 7. ERECT WIND BREAKS TO PREVENT EXCESSIVE AND RAPID MOISTURE LOSS.
- 8. PLACE CONCRETE DIRECTLY FROM TRUCK WHERE POSSIBLE.
- 9. ENSURE THAT THERE ARE SUFFICIENT PLACERS AND FINISHERS AVAILABLE
- 0. USE AN EVAPORATION RETARDANT SUCH AS "CONFILM" BY MASTER BUILDERS.
  DO NOT ATTEMPT TO PLACE FLATWORK ON SUNNY DAYS WHERE PREDEDICTED
  TEMPERATURES EXCEED +30 DEGREES CELSIUS.

## CURING

- 11. APPLY SURFACE SEALERS AS SOON AS POSSIBLE AFTER THE FINAL TROWEL.
- 12. WET CURE CONCRETE FOR AT LEAST 3 DAYS. USE CONTINUOUS SPRINKLING OR FLOODING. DO NOT CURE UNDER POLY SHEETING OR WET BURLAP.

# COLD WEATHER PROTECTION RECOMMENDATIONS FOR CONCRETE

#### ALL CONCRETE

- 1. USE HOT WATER WHEN TEMPERATURE IS BELOW +3 DEGREES CELSIUS.
- 2. MAXIMUM 1/2% CALCIUM CHLORIDE MAY BE USED EXCEPT FOR P/T AND PARKING SLABS.
- 3. WHERE SUPPLEMENTARY HEAT IS PROVIDED, USE APPROVED CONCRETE HEATERS WITH EXHAUST VENTED AWAY FROM THE SURFACE OF THE CONCRETE.
- 4. FOR TEMPERATURES BELOW -10 DEGREES CELSIUS, CHECK WITH THE ENGINEER.

### FOUNDATIONS

TEMP. ABOVE 0 C NO SPECIAL REQUIREMENTS.

-3 TO 0 C COVER WITH INSULATION BLANKET FOR FIRST 24 HOURS.

BELOW -3 C DO NOT POUR ON FROZEN SOIL, COVER AND PROVIDE

FLOOR SLAB ON GRADE & SUSPENDED SLABS

MP. 0 C TO +3 C COVER WITH POLY RAISED UP ON 2x4 SLEEPERS.

-3 TO 0 C COVER WITH INSULATION BLANKET FOR FIRST 36 HOURS.

BELOW -3 C DO NOT POUR ON FROZEN SOIL, COVER WITH BLANKET & HEAT FOR FIRST 36 HOURS. FOR SUSPENDED SLABS, PROVIDE HEAT

TO SPACE BELOW SLAB.

SUPPLEMENTARY HEAT FOR FIRST 24 HOURS.

MASONRY

MIN. TEMP. 0 C TO +3 C USE HOT WATER IN GROUT.

-3 TO 0 C

COVER WALL WITH POLY OR INSULATING BLANKET BEFORE &
36 HOURS AFTER GROUTING.

BELOW -3 C

COVER WALLS WITH BLANKET & PROVIDE HEATING FOR 36 HOURS
AFTER GROUTING.

### 4. STRUCTURAL STEEL

ANCHOR BOLTS

- 4.1 FABRICATION, ERECTION, STRUCTURAL DESIGN AND DETAILING OF ALL STRUCTURAL STEEL AND CONNECTIONS SHALL BE IN ACCORDANCE WITH CSA-S16-14. STEEL DECKING AND METAL STUDS SHALL BE DESIGNED, FABRICATED AND INSTALLED IN ACCORDANCE WITH CSA-S136-94 AND SPECIFICATIONS OF THE MANUFACTURER.
- 4.2 WELDING SHALL CONFORM TO CSA W59-M1984 AND SHALL BE PERFORMED BY CSA CERTIFIED WELDERS. FABRICATION SHOPS SHALL BE APPROVED BY THE CANADIAN WELDING BUREAU TO CSA W47.1-1983. CERTIFICATES SHALL BE SUPPLIED TO THE ENGINEER.
- 4.3 STRUCTURAL STEEL SHALL MEET CAN3-G40.20-M1987
- FOR GENERAL REQUIREMENTS AND CAN3-G40.21-M1987 FOR QUALITY.

4.4 GRADES OF MATERIAL (UNLESS OTHERWISE NOTED)

H.S.S. 350W CLASS (C)
OTHER STRUCTURAL STEEL & MISC. METALS 350W
BOLTS, NUTS AND WASHERS ASTM A325

4.5 ALL STRUCTURAL STEEL CONNECTIONS SHALL RECEIVE ONE COAT OF SHOP PRIMER CONFORMING TO CISC/CPMA STANDARD I-73a UNLESS NOTED OTHERWISE. PRIMER ON SIGHT EXPOSED STRUCTURAL STEEL TO BE COMPATIBLE WITH FINISH PAINT SPECIFICATIONS AS SCHEDULED ON ARCHITECTURAL DRAWINGS AND SPECIFICATIONS.

ASTM A307

4.6 ALL STRUCTURAL STEEL CONNECTIONS SHALL, UNLESS OTHERWISE NOTED, BE DESIGNED BY THE FABRICATOR. ALL FILLET WELDS SHALL BE MINIMUM 1/4" (6 mm). ALL BOLTS SHALL BE MINIMUM M20. USE A MINIMUM OF 2 BOLTS PER CONNECTION. DESIGN CONNECTIONS FOR THE GREATER OF THE FACTORED FORCES SHOWN ON THE DRAWINGS OR THE NUMBER OF BOLTS INDICATED BELOW:

BEAM SIZES NO. OF BOLTS
W8, C8 2
W12, C12 3
W16, C16 4
W21 5

SHOP DRAWINGS SHALL BE SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN B.C. AND SHALL BE SUBMITTED FOR REVIEW PRIOR TO FABRICATION.

4.7 METRIC SIZE BOLTS AND PLATE PRODUCTS ARE ACCEPTABLE ON AN EQUAL SIZE - EQUAL STRENGTH BASIS.

PROJECT DESCRIPTION AND LOCATION: COMMERCIAL BUILDING FOR BRENT MISKUSKI 2435 DOBBIN RD, WEST KELOWNA PLAN

ENGINEER'S SEAL:

ISSUED FOR CONSTRUCTION

DATE:

ISSUED FOR BUILDING PERMIT
DATE: :



PROJECT:

ENGINEERING LTD

STRUCTURAL CONSULTANT
710 TAMARACK DRIVE, KELOWNA, B.C. V1X 519
PHONE: (250) 868-1413 FAX: (250) 868-1413
E-MAIL: JMSENGINEERING@TELUS.NET

JOSEPH M. SARKOR, P.ENG.

COMMERCIAL BUILDING 2435 DOBBIN RD

SHEET TITLE
STRUCTURAL NOTES

-

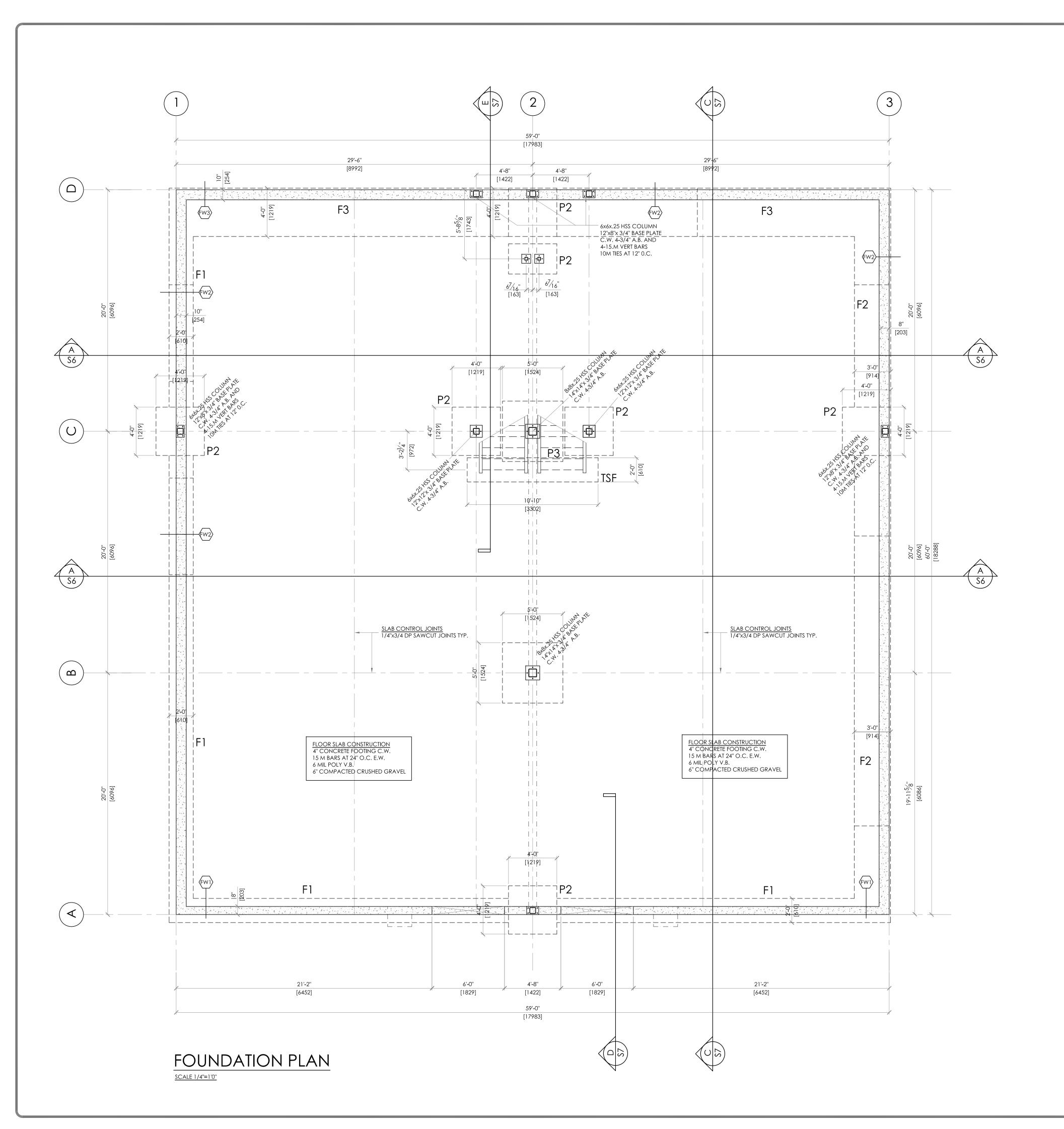
WEST KELOWNA, BC

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DO NOT SCALE THESE DRAWINGS.

Ray Lefebvre	JOB NUMBER 19-29
CHECKED  Joseph M. Sarkor	SHEET NO.
SCALE N/A	S2
DATE <b>APR 05,2022</b>	OF 9



TAG	FOOTING TYPE	SIZE	REINFORCING
P1	PAD FOOTING	30" x 48" x 12"	15M AT 12" EACH WAY
P2	PAD FOOTING	48" x 48" x 12"	5-15M BARS EACH WAY
P3	PAD FOOTING	60" x 60" x 12"	6-15M BARS EACH WAY
F1	STRIP FOOTING	24" x 12"	3-15 M BARS CONT.
F2	STRIP FOOTING	36" x 12"	2 MATS OF 15 M BARS AT 12" O.C.
F3	STRIP FOOTING	48" x 12"	2 MATS OF 15 M BARS AT 24" O.C.
TSF	THICKENED SLAB FOOTING	24" x130" x12"	15M BARS AT 12" E.ACH WAY
FW1	FOUNDATION WALL	8" x 24" HT.	3-15M CONT. & 15 M VERT DOWELS AT 16"
FW2	FOUNDATION WALL	10" x 60" HT MAX	15M CONT. AT 12" & 15 M VERT DOWELS AT
FW3	FOUNDATION WALL	10" x 84" HT. MAX	2 MATS -INNER & OUTER 15M AT 12" E.W.

(-	-	_	-
-	_	-	_
_	-	_	-
_	_	_	-
_	-	_	
_	-	_	-
DATE	NO.	BY	REVISION

ENGINEER'S SEAL:

SHEET TITLE

ISSUED FOR CONSTRUCTION

DATE:

ISSUED FOR BUILDING PERMIT

STRUCTURAL CONSULTANT
710 TAMARACK DRIVE, KELOWNA, B.C. V1X 5L9
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JOSEPH M. SARKOR, P.ENG.

COMMERCIAL BUILDING 2435 DOBBIN RD WEST KELOWNA, BC

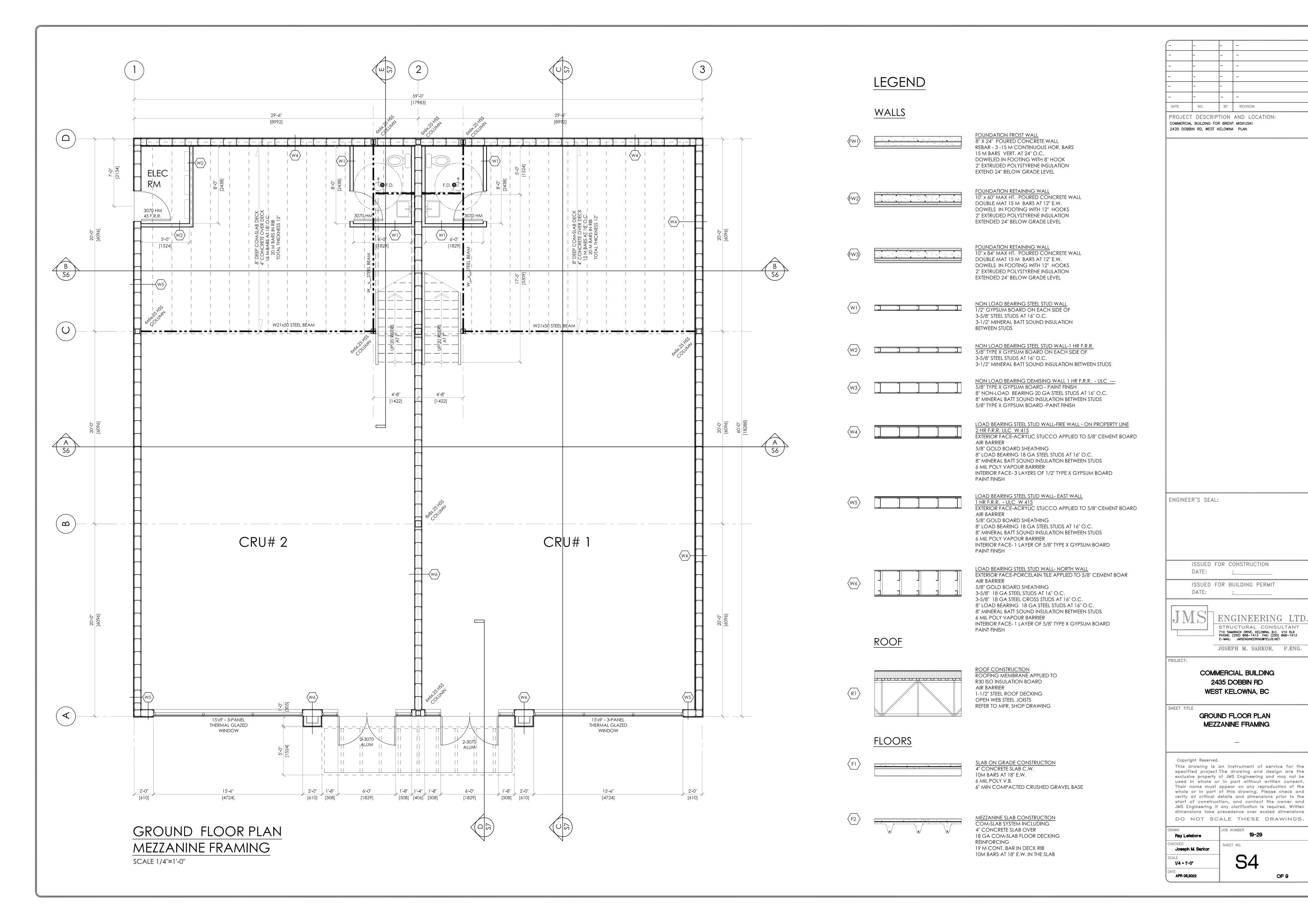
FOUNDATION PLAN

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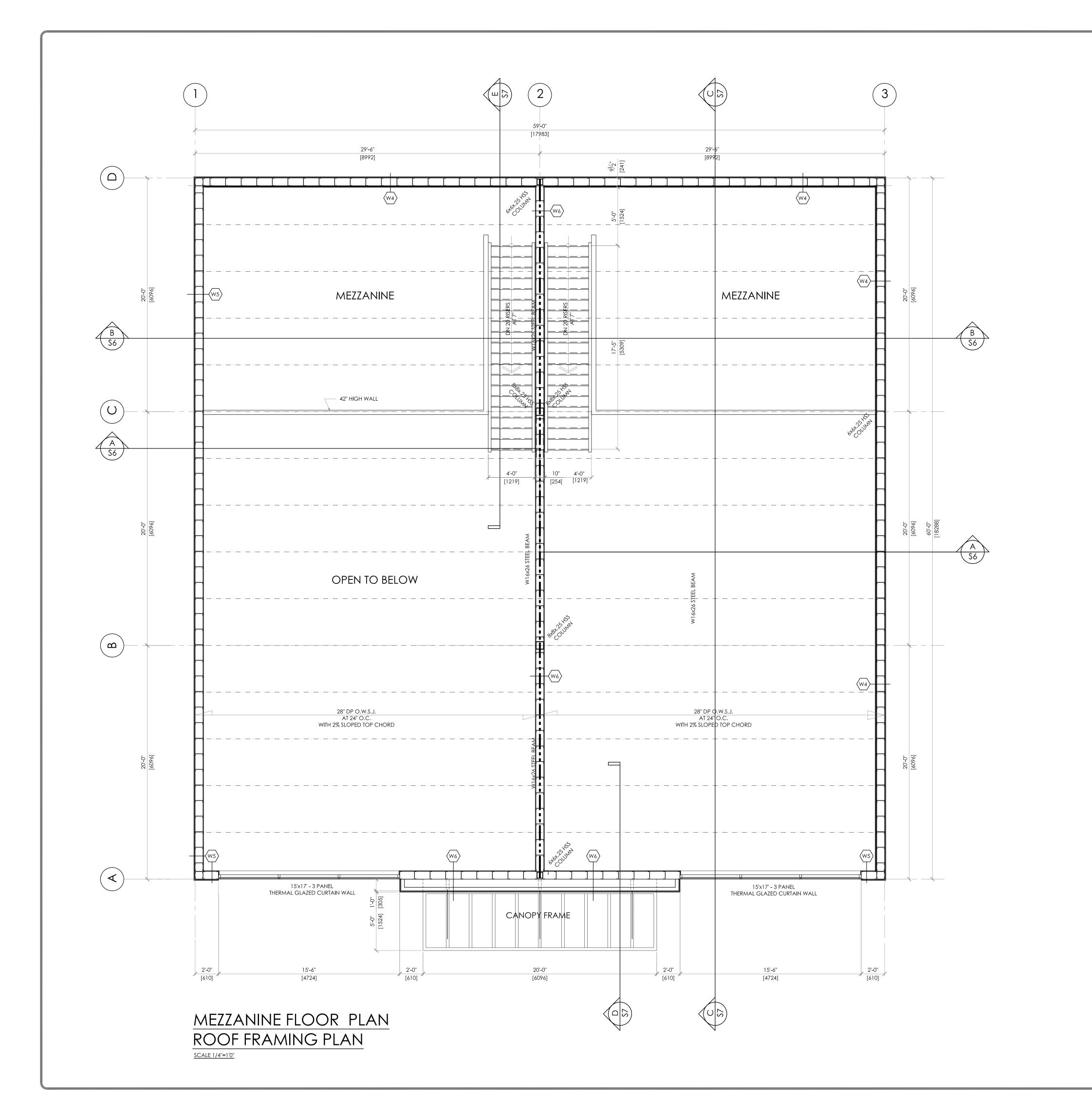
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DO NOT SC	ALE THESE DRAWINGS.
DRAWN Ray Lefebvre	JOB NUMBER 19-29
CHECKED  Joseph M. Sarkor	SHEET NO.
SCALE 1/4 = 1'-0'	S3
DATE APR 04,2022	OF 9



OF 9



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DATE	NO.	BY	REVISION

ENGINEER'S SEAL:

ISSUED FOR CONSTRUCTION

ISSUED FOR BUILDING PERMIT

JMS

DATE:

ENGINEERING LTD

STRUCTURAL CONSULTANT
710 TAMARACK DRIVE, KELOWNA, B.C. V1X 5L9
PHONE: (250) 868-1413 FAX: (250) 868-1413
E-MAIL: JMSENGINEERING@TELUS.NET

JOSEPH M. SARKOR, P.ENG.

ROJECT:

COMMERCIAL BUILDING 2435 DOBBIN RD WEST KELOWNA, BC

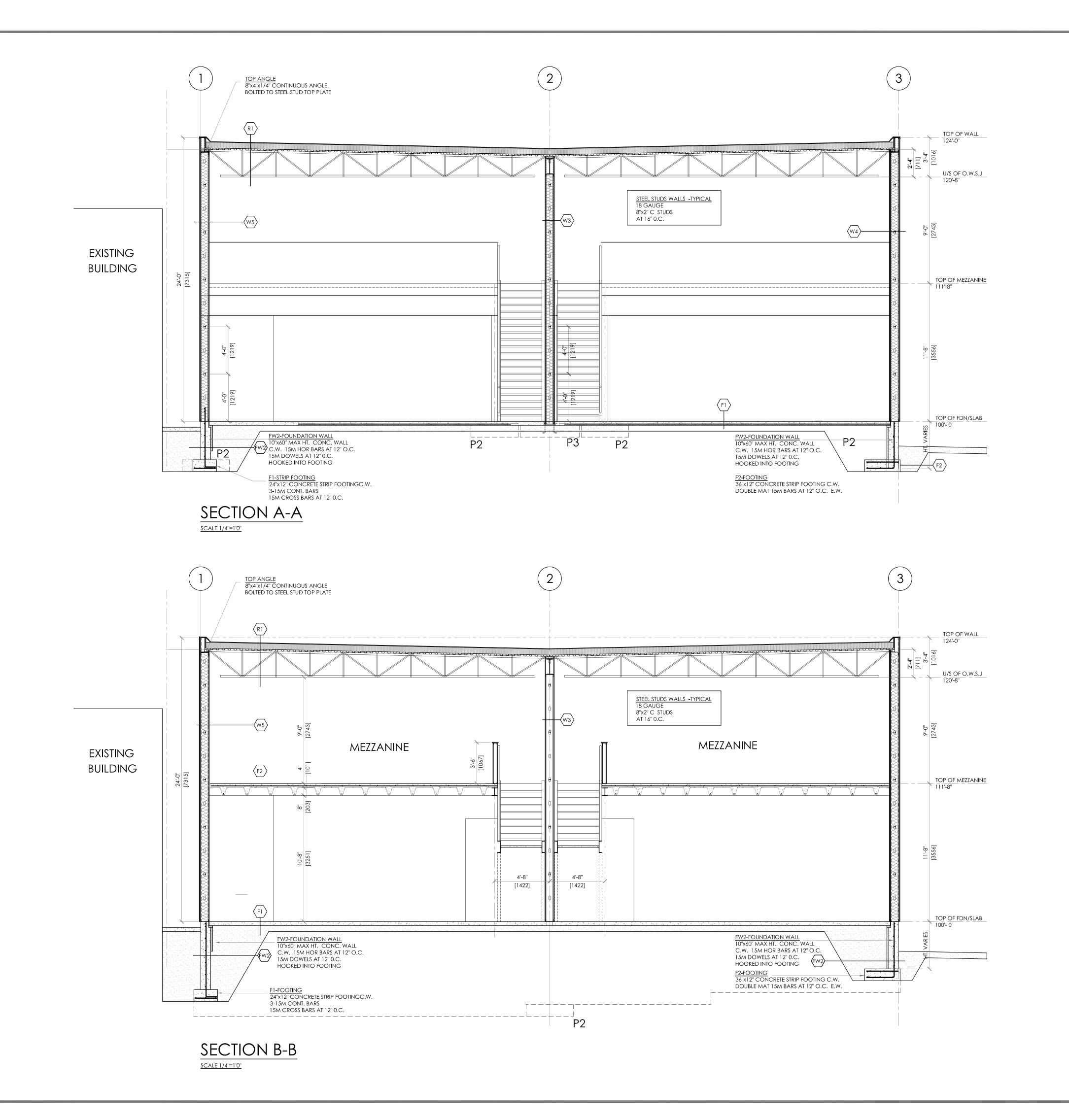
SHEET TITLE MEZZANIN

MEZZANINE FLOOR LAN ROOF FRAMING PLAN

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Ray Lefebvre	JOB NUMBER 19-29
CHECKED  Joseph M. Sarkor	SHEET NO.
SCALE 1/4 = 1'-0'	S5
DATE <b>APR 05, 2022</b>	OF 9



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COMMERCIAL	DESCRIP BUILDING FOR	R BREN	

ENGINEER'S SEAL:

ISSUED FOR CONSTRUCTION DATE: :

ISSUED FOR BUILDING PERMIT

ENGINEE

STRUCTURAL
710 TAMARACK DRIVE (750) 868 1.41.

DATE:

ENGINEERING LTD.

STRUCTURAL CONSULTANT
710 TAMARACK DRIVE, KELOWNA, B.C. V1X 5L9
PHONE: (250) 868-1413 FAX: (250) 868-1413
E-MAIL: JMSENGINEERING@TELUS.NET

JOSEPH M. SARKOR, P.ENG.

COMMERCIAL BUILDING 2435 DOBBIN RD WEST KELOWNA, BC

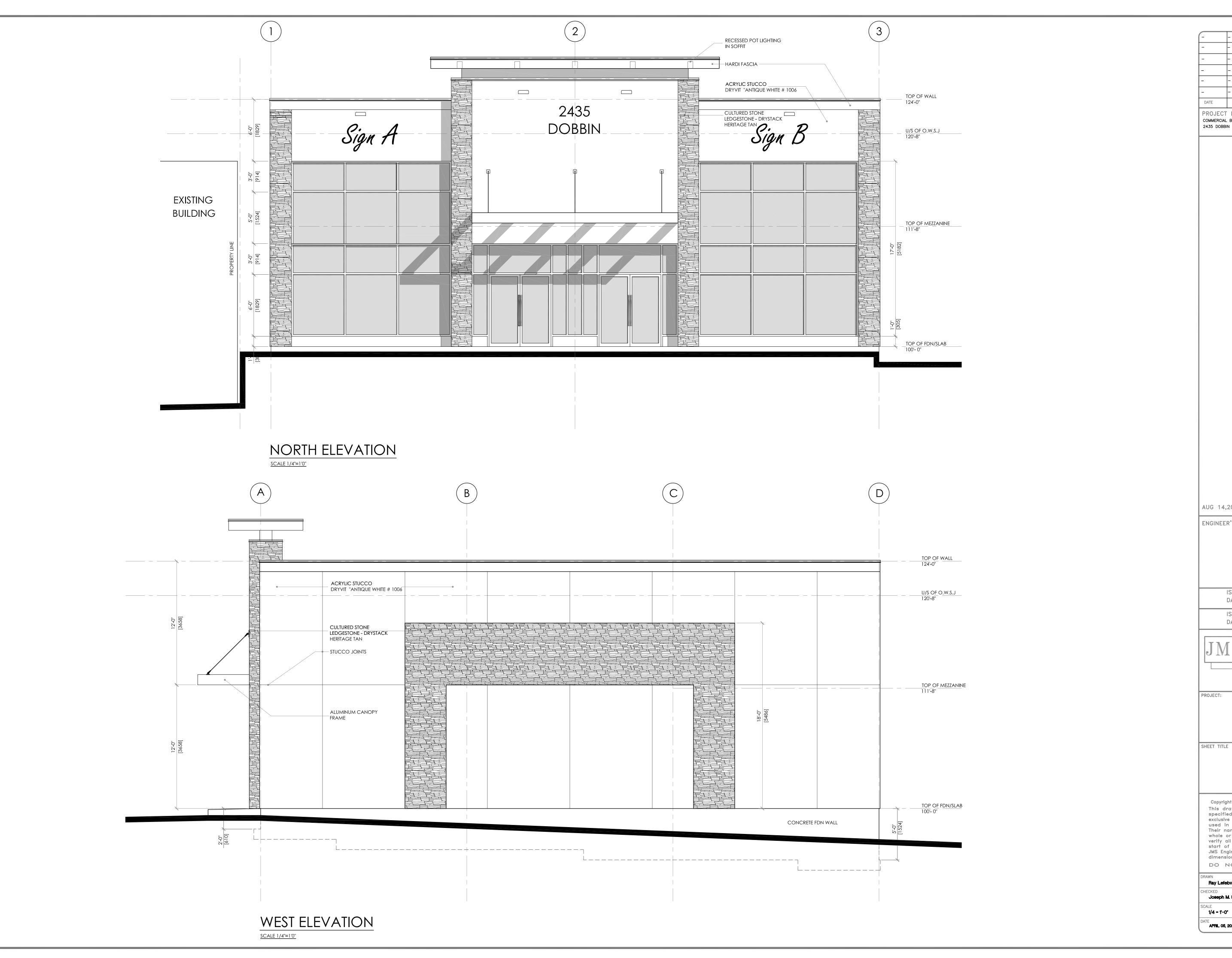
SHEET TITLE

BUILDING SECTION A-A BUILDING SECTION B-B

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Ray Lefebvre	JOB NUMBER 19-29
CHECKED  Joseph M. Sarkor	SHEET NO.
SCALE 1/4 = 1'-0'	S6
DATE <b>APRIL 05, 2022</b>	OF 9



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DATE	NO.	BY	REVISION

AUG 14,2022- REVISED NORTH ELEVATION

ENGINEER'S SEAL:

ISSUED FOR CONSTRUCTION DATE: :

DATE:

ISSUED FOR BUILDING PERMIT

ENGINEERING LTD

710 TAMARACK DRIVE, KELOWNA, B.C. V1X 5L9
PHONE: (250) 868-1413 FAX: (250) 868-1413
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STRUCTURAL CONSULTANT

JOSEPH M. SARKOR, P.ENG.

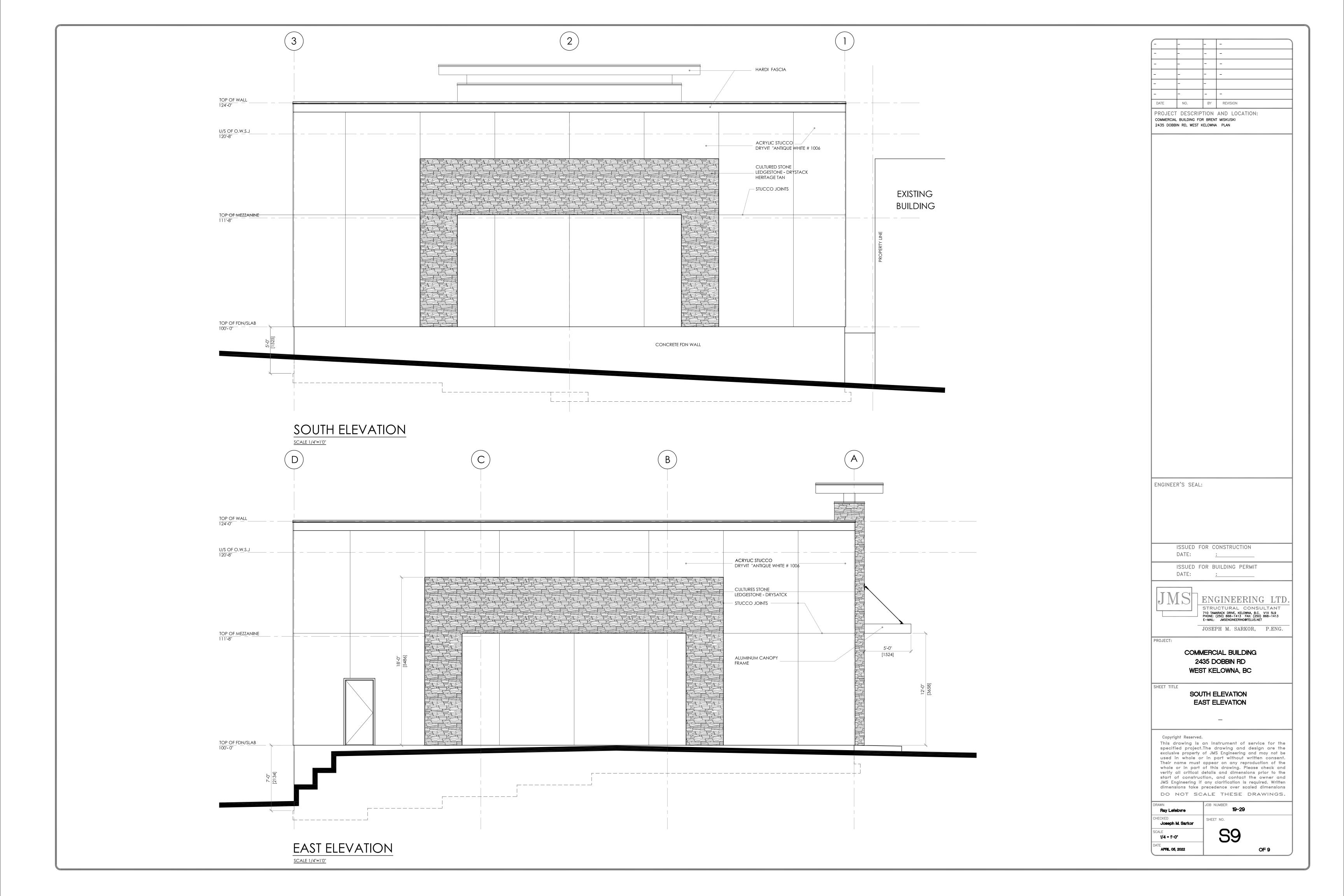
COMMERCIAL BUILDING 2435 DOBBIN RD WEST KELOWNA, BC

NORTH ELEVATION

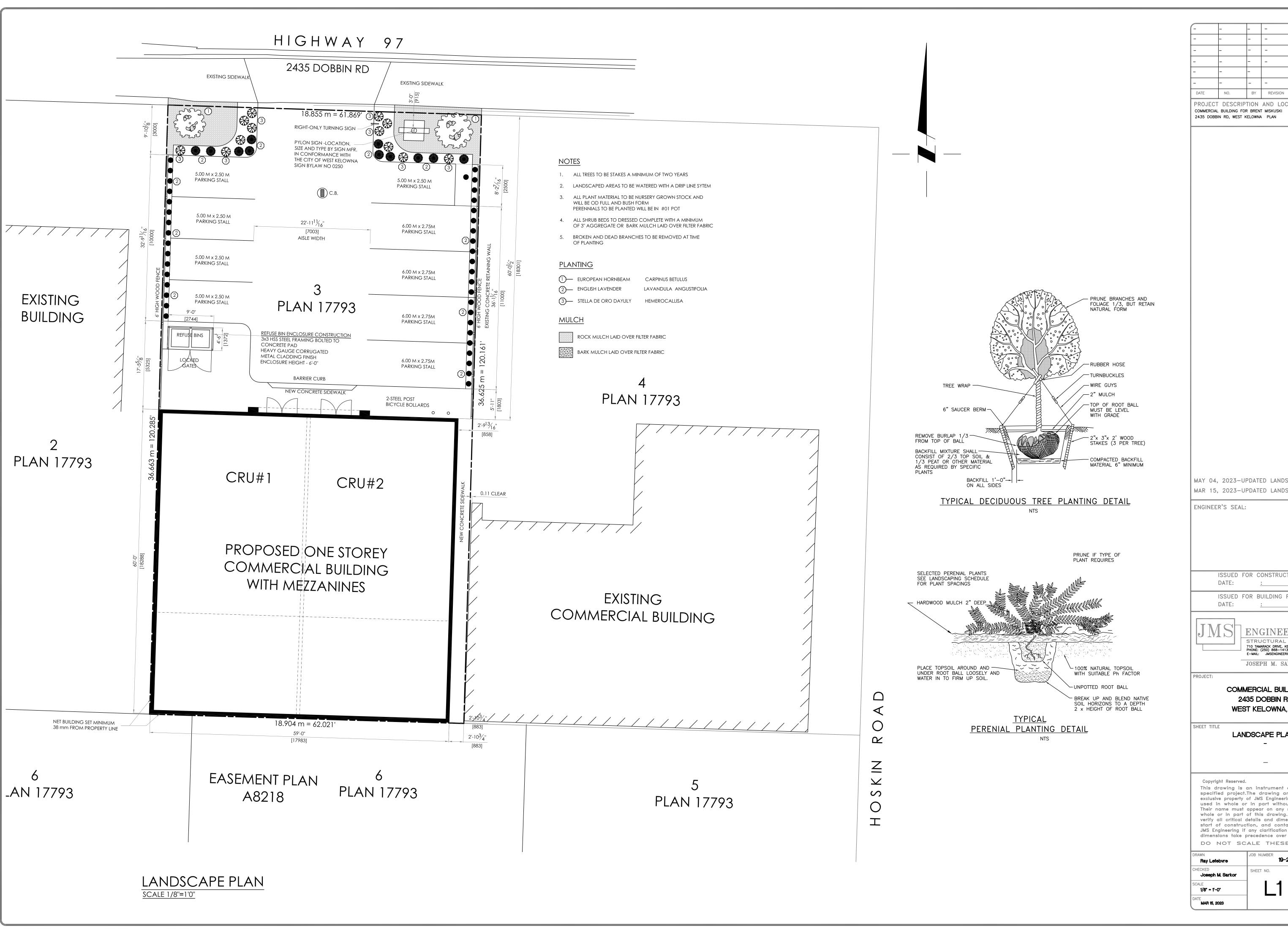
**WEST ELEVATION** 

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Ray Lefebvre	19-29
CHECKED  Joseph M. Sarkor	SHEET NO.
SCALE 1/4 = 1'-0'	S8
DATE <b>APRIL 05, 2022</b>	OF 9







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MAY 04, 2023-UPDATED LANDSCAPE PLAN MAR 15, 2023-UPDATED LANDSCAPE PLAN

ENGINEER'S SEAL:

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ENGINEERING LTD STRUCTURAL CONSULTANT 710 TAMARACK DRIVE, KELOWNA, B.C. V1X 5L9 PHONE: (250) 868-1413 FAX: (250) 868-1413 E-MAIL: JMSENGINEERING@TELUS.NET

> COMMERCIAL BUILDING 2435 DOBBIN RD

WEST KELOWNA, BC

JOSEPH M. SARKOR, P.ENG.

LANDSCAPE PLAN

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Ray Lefebvre	JOB NUMBER 19-29
CHECKED  Joseph M. Sarkor	SHEET NO.
SCALE 1/8" = 1'-0"	<sup>1</sup>
DATE <b>MAR 15, 2023</b>	OF 9



#### **Alchemized Construction Inc.**

673A Hollydell Rd. Kelowna, BC V1X-1L4

Ph: 780-880-9524

Bill To Estimate # 306

**Estimate Date** 

18/05/2023

Ecom Systems Inc. 1979 KLO rd. Kelowna, BC V1W-2H8

Description		Amount
Install required top soil		240.00
Nursery stock as required by site plan		3,200.00
Drip irrigation system complete with 4 zone timer		450.00
Install edging to parking areas.		380.00
Equipment rental / trailering cost		650.00
Labour		4,500.00
Final grading of decorative rock to edging		375.00
	Subtotal	9,795.00
	gst 5.0%	489.75

Estimate Total \$ 10,284.75

#### **Terms & Conditions**

Allow one week for completion of tasks.

Terms are 50% deposit upfront balance due 10 days from completion.