



CITY OF WEST KELOWNA
DEVELOPMENT PERMIT
DP 20-13

To: L'amore Bridal & Formals Ltd., Inc. No. BC0559062
2715 Hewlett Rd
Kelowna, BC
V1W 4B4

1. This Commercial Development Permit is issued subject to compliance with all of the Bylaws of the City of West Kelowna applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Permit applies to and only to those lands within the City of West Kelowna described below, and any and all buildings, structures and other developments thereon:

LOT 3 DISTRICT LOT 486 OSOYOOS DIVISION YALE DISTRICT PLAN 17793
(2435 Dobbin Road)

3. **This Permit allows for the construction of one commercial building in a Commercial Development Permit Area (DPA 1) subject to the following conditions and related schedules:**
 - A. The dimensions, siting, exterior design, and finish of buildings is to be in accordance with Schedule 'A';
 - B. The landscape works to be in accordance with Schedule 'B';
 - C. The following variances to Zoning Bylaw No. 0265 are included as part of this Development Permit:
 - i. That the minimum distance parking and loading spaces shall be from any side parcel boundary (s.4.3.2(a)) be reduced from 1.5 m to 0.4 m.
 - ii. That the number of small car spaces permitted (s.4.7.1(a)) be increased from 30% to 55%.
 - iii. That the number of required loading spaces (s.4.10.1(a)) be reduced from one to zero.
 - iv. That the width of perimeter landscaping required in a parking area (s.4.11.2(a)) be reduced from 1.5 m to 0.4 m along side parcel boundaries.

Security

4. As a condition of the issuance of this Permit the City of West Kelowna is holding a landscape security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Permittee and be paid to the Permittee if the security is returned. The condition of the posting of the security is that should the Permittee fail to carry out the development hereby authorized, according to the terms and conditions of the Permit within the time provided, the City of West Kelowna may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Permittee, or should the Permittee carry out the development permitted by this Permit

within the time set out below, the security shall be returned to the Permittee. There is filed accordingly:

An Irrevocable Letter of Credit or Bank Draft in the amount of \$12,855.94 (125% of 10,284.75).

General

5. The land described herein shall be developed strictly in accordance with the terms and conditions of this Permit and any plans and specifications attached to this Permit, which shall form a part hereof. Should any changes be required to this permit, please ensure that you obtain written approval from City of West Kelowna prior to making any changes.
6. If this Development Permit has not been issued within one year from approval, the Permit shall be deemed to have been refused and the file will be closed.
7. **This Permit is not a Building Permit.**
8. **This Permit is not a Ministry of Transportation and Infrastructure Controlled Access Permit.**
9. **This is not an Archaeology Permit.**
 - A. All archaeological sites in B.C. are protected under the *Heritage Conservation Act*. This applies to whether sites are located on public or private land and whether the site is known or unknown. If you think you have uncovered an archaeological site during a building project or renovation, please do not disturb the site further and call B.C.'s Archaeology Branch immediately at (250) 953-3334. Branch archaeologists will review your project plans and make recommendations to manage site impacts and secure the required permitting.
10. Parking spaces, bicycle parking spaces, and loading spaces have been calculated using retail rates in Zoning Bylaw No. 0265. Future uses on the site must provide parking spaces, bicycle parking spaces, and loading spaces in accordance with the applicable Zoning Bylaw as part of business licencing.
11. Subject to the terms of the permit, where the holder of a permit issued under the *Local Government Act* does not substantially commence any construction with respect to which the permit was issued within two years after the date it is issued, the permit lapses.

AUTHORIZING RESOLUTION NO. ____ PASSED BY THE MUNICIPAL COUNCIL ON _____

Signed on _____

City Clerk

As received on _____, there is filed accordingly an Irrevocable Letter of Credit or Bank Draft deposit in the amount of \$12,855.94 for landscaping works outlined in the above permit.

I hereby confirm that I have read and agree with the conditions of Development Permit with Variances and will ensure that copies of the Permit will be provided to onsite personnel at time of construction.

Signed on _____

Property Owner or Agent

ISSUED on _____

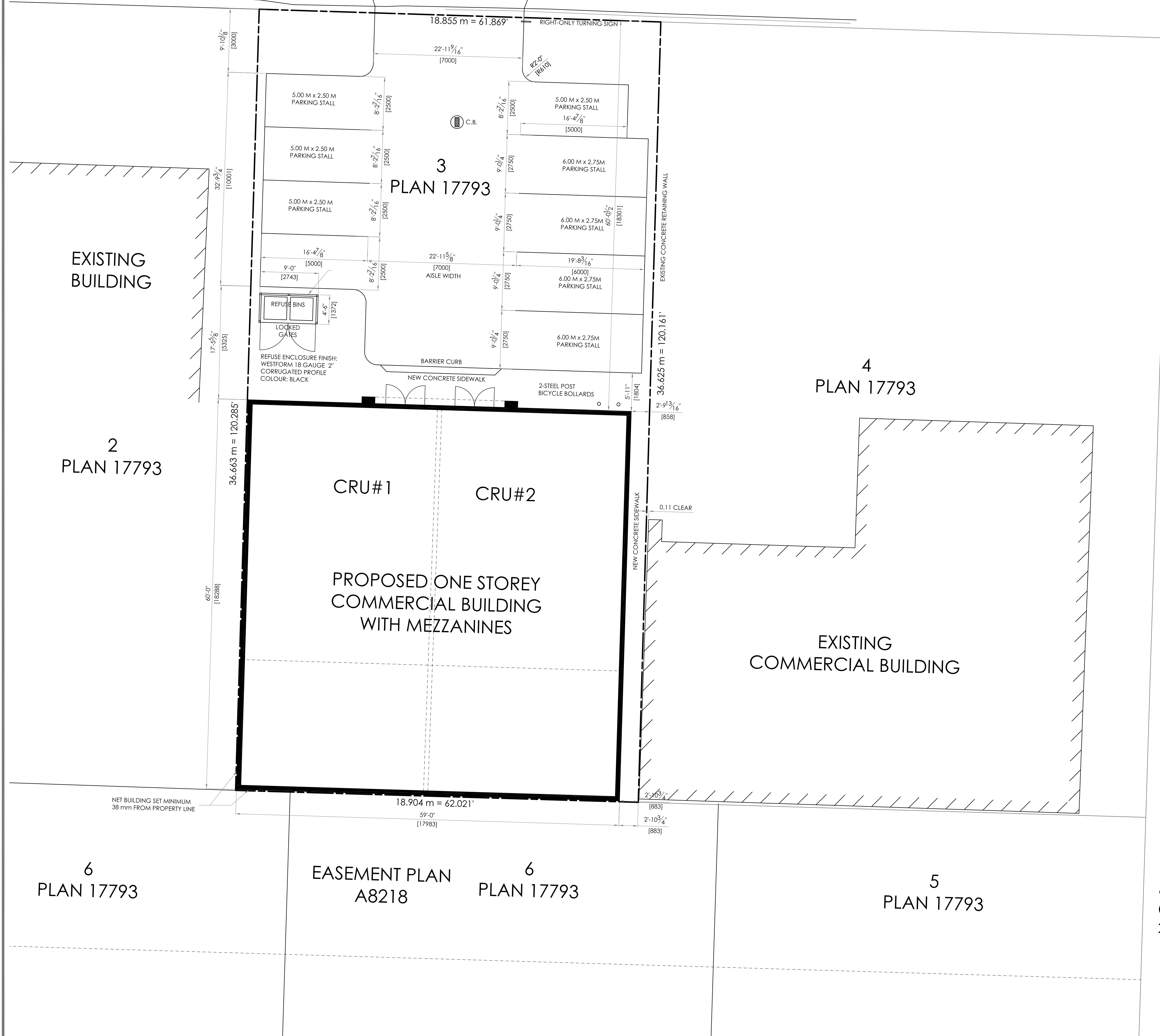
Schedules:

A. Architectural Drawings, prepared by JMS Engineering Ltd. dated March 15, 2023 (9 pages)

B. Landscape Plan, prepared by JMS Engineering Ltd., dated March 15, 2023, and Estimate, prepared by Alchemized Construction Inc., dated May 18, 2023 (2 pages)

HIGHWAY 97

2435 DOBBIN RD



SITE DATA

LEGAL
LOT NO 8
PLAN 17793

ADDRESS
2435 DOBBIN ROAD
WEST KELOWNA, BC.

ZONING
CITY OF WEST KELOWNA BYLAW#871 C1 - URBAN CENTRE COMMERCIAL

LOT AREA
7446.743 SQ.FT. = 691.825 SQ.M.

PARCEL COVERAGE - MAX 100%
BUILDING AREA 328.877 SQ.M. = 3540.00 SQ.FT.
LOT COVERAGE = 47.537 %

MAXIMUM BUILDING HEIGHT OF PRINCIPAL BUILDING
MAX HEIGHT 15.000 M = 49.213 FT.
PROPOSED 8.534 M = 28.000 FT.

YARD SETBACKS
FRONT PARCEL BOUNDARY - NORTH - MIN. 3.0 M = 9.843 FT. - PROPOSED 18.301 M = 60.043 FT.
INTERIOR SIDE PARCEL BOUNDARY - EAST - MIN. 0.0 M = 0.000 FT. - PROPOSED 0.858 M = 2.814 FT.
INTERIOR SIDE PARCEL BOUNDARY - WEST - MIN. 0.0 M = 0.000 FT. - PROPOSED 0.038 M = .125 FT.
REAR PARCEL BOUNDARY - SOUTH - MIN. 0.0 M = 0.000 FT. - PROPOSED 0.038 M = .125 FT.

PARKING - (PERSONAL SERVICES - AS PER RETAIL REQUIREMENT)
2 PER 100 SQ/M (1.076 S.FT)
GROUND FLOOR 3540 SQ.FT.
MEZZANINE FLOOR 1067 SQ.FT.
TOTAL G.F.A. 4607 SQ.FT. 4.3 x 2 = 9 CARS REQUIRED - 9 PROVIDED

2018 BUILDING CODE ANALYSIS

PART 9
BUILDING CLASSIFICATION
GROUP D - PERSONAL SERVICES OCCUPANCY
ONE STOREY WITH MEZZANINE

BUILDING AREA
GROUND FLOOR 3540 SQ.FT.
MEZZANINE FLOOR 1067 SQ.FT.

COMBUSTIBLE AND NON - COMBUSTIBLE CONSTRUCTION
FIRE SEPARATIONS
FLOORS 3/4 HR F.R.R.
MEZZANINES NOT REQUIRED
ROOF NOT REQUIRED
WALLS ON PROPERTY LINES - FIREWALLS 2 HR F.R.R.
DEMISING WALL 1 HR F.R.R.

DATE	NO.	BY	REVISION

PROJECT DESCRIPTION AND LOCATION:
COMMERCIAL BUILDING FOR BRENT MOKUSKI
2435 DOBBIN RD, WEST KELOWNA, PLAN

MAR 15, 2023 UPDATED SITE PLAN
PARKING LOT DIMENSIONS ADDED
SEP 30, 2022-REFUSE ENCLOSURE FINISH
NOTE ADDED

ENGINEER'S SEAL:

ISSUED FOR CONSTRUCTION
DATE: _____

ISSUED FOR BUILDING PERMIT
DATE: _____

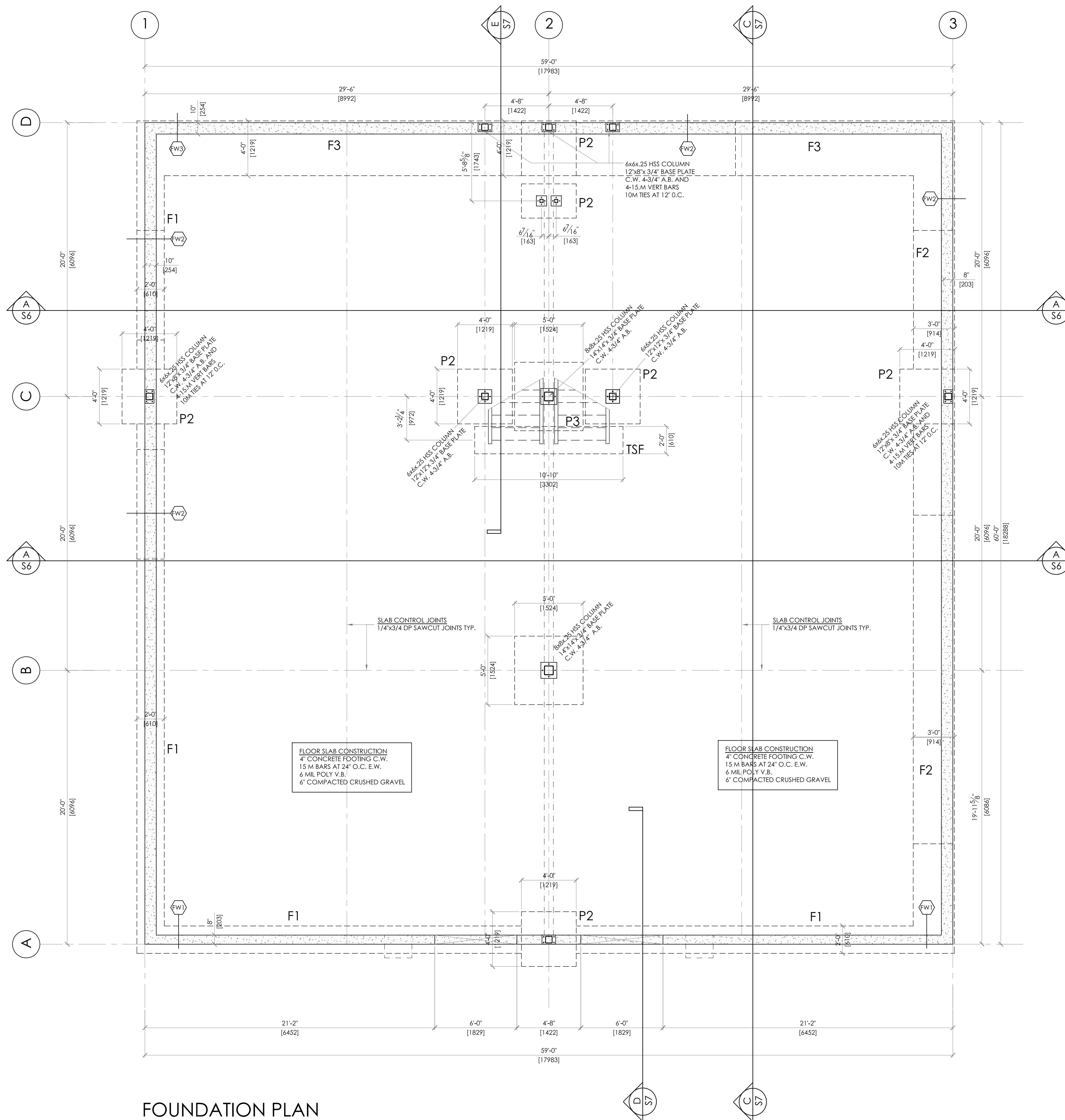
JMS ENGINEERING LTD.
STRUCTURAL CONSULTANT
710 TAMARACK DRIVE, KELOWNA, B.C. V1X 5L9
PHONE: (250) 868-1413 FAX: (250) 868-1413
E-MAIL: JMSENGINEERING@TELUS.NET
JOSEPH M. SARKOR, P.ENG.

PROJECT:
COMMERCIAL BUILDING
2435 DOBBIN RD
WEST KELOWNA, BC

SHEET TITLE
SITE PLAN

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DO NOT SCALE THESE DRAWINGS.

DRAWN: Ray Lefebvre	JOB NUMBER 19-29
CHECKED: Joseph M. Sarkor	SHEET NO. S1
SCALE: 1/8" = 1'-0"	
DATE: MAR 15, 2023	OF 9



FOUNDATION SCHEDULE			
TAG	FOOTING TYPE	SIZE	REINFORCING
P1	PAD FOOTING	30" x 48" x 12"	15M AT 12" EACH WAY
P2	PAD FOOTING	48" x 48" x 12"	5-15M BARS EACH WAY
P3	PAD FOOTING	60" x 60" x 12"	6-15M BARS EACH WAY
F1	STRIP FOOTING	24" x 12"	3-15 M BARS CONT.
F2	STRIP FOOTING	36" x 12"	2 MATS OF 15 M BARS AT 12" O.C.
F3	STRIP FOOTING	48" x 12"	2 MATS OF 15 M BARS AT 24" O.C.
TSF	THICKENED SLAB FOOTING	24"x130" x12"	15M BARS AT 12" EACH WAY
FW1	FOUNDATION WALL	8" x 24" HT.	3-15M CONT. & 15 M VERT DOWELS AT 16"
FW2	FOUNDATION WALL	10" x 60" HT MAX	15M CONT. AT 12" & 15 M VERT DOWELS AT 2
FW3	FOUNDATION WALL	10" x 84" HT. MAX	2 MATS -INNER & OUTER 15M AT 12" E.W.

FOUNDATION PLAN
SCALE 1/4"=1'-0"

DATE	NO.	BY	REVISION

PROJECT DESCRIPTION AND LOCATION:
COMMERCIAL BUILDING FOR BRENT MOKUSKI
2435 DOBBIN RD, WEST KELOWNA, PLAN

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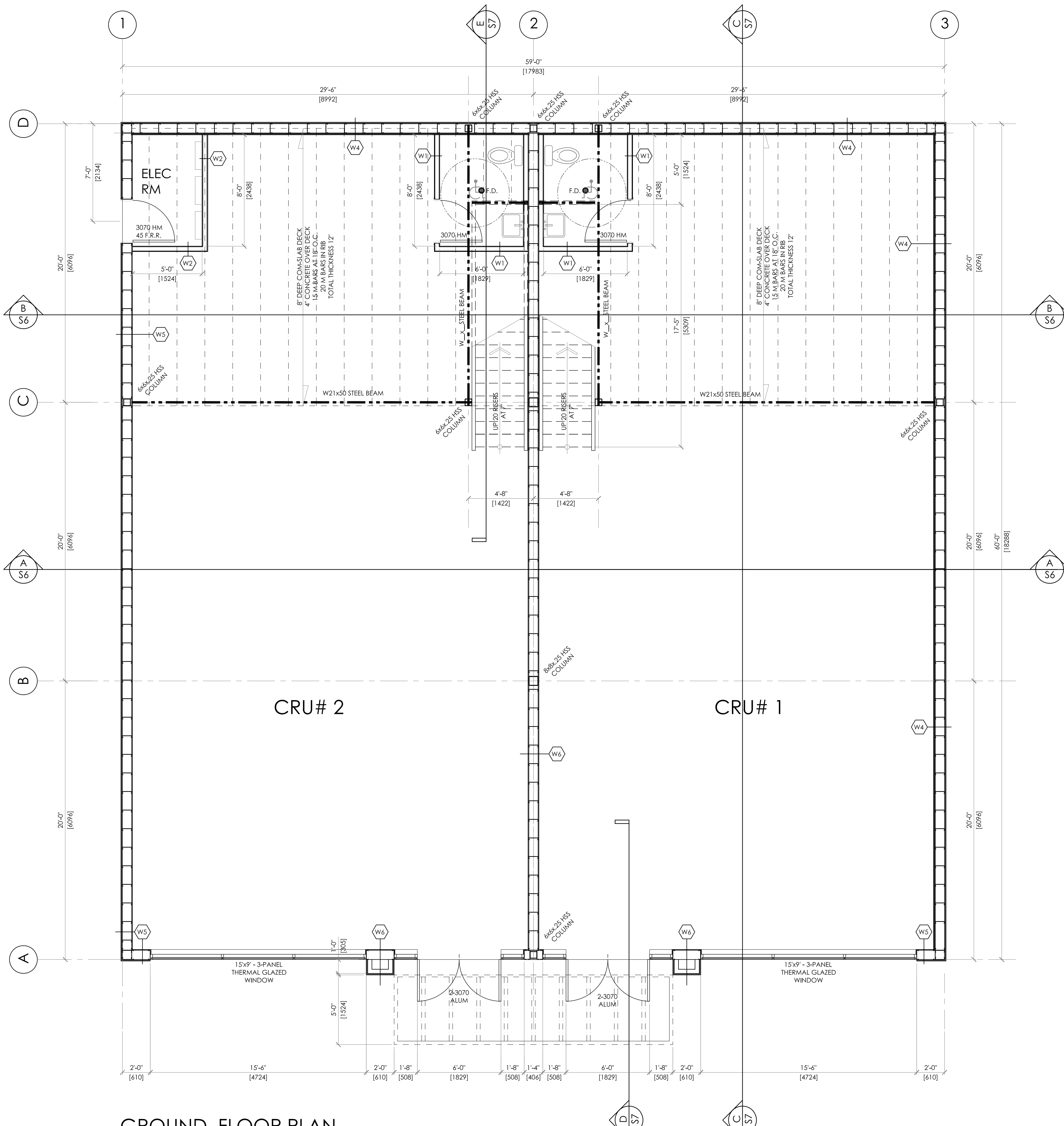
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PROJECT:
**COMMERCIAL BUILDING
2435 DOBBIN RD
WEST KELOWNA, BC**

SHEET TITLE
FOUNDATION PLAN

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CHECKED: Joseph M. Sarkor	SHEET NO.:
SCALE: 1/4" = 1'-0"	S3
DATE: APR 04/2022	OF 9



**GROUND FLOOR PLAN
MEZZANINE FRAMING**

SCALE 1/4"=1'-0"

LEGEND

WALLS

- FOUNDATION FROST WALL
8" X 24" POURED CONCRETE WALL
REBAR - 3-15 M CONTINUOUS HOR. BARS
15 M BARS VERT. AT 24" O.C.
DOWELED IN FOOTING WITH 8" HOOK
2" EXTRUDED POLYSTYRENE INSULATION
EXTEND 24" BELOW GRADE LEVEL
- FOUNDATION RETAINING WALL
10" X 60" MAX HT. POURED CONCRETE WALL
DOUBLE MAT 15 M BARS AT 12" E.W.
DOWELS IN FOOTING WITH 12" HOOKS
2" EXTRUDED POLYSTYRENE INSULATION
EXTENDED 24" BELOW GRADE LEVEL
- FOUNDATION RETAINING WALL
10" X 24" MAX HT. POURED CONCRETE WALL
DOUBLE MAT 15 M BARS AT 12" E.W.
DOWELS IN FOOTING WITH 12" HOOKS
2" EXTRUDED POLYSTYRENE INSULATION
EXTENDED 24" BELOW GRADE LEVEL
- NON LOAD BEARING STEEL STUD WALL
1/2" GYPSUM BOARD ON EACH SIDE OF
3-5/8" STEEL STUDS AT 16" O.C.
3-1/2" MINERAL BATT SOUND INSULATION
BETWEEN STUDS
- NON LOAD BEARING STEEL STUD WALL-1 HR F.R.R.
5/8" TYPE X GYPSUM BOARD ON EACH SIDE OF
3-5/8" STEEL STUDS AT 16" O.C.
3-1/2" MINERAL BATT SOUND INSULATION BETWEEN STUDS
- NON LOAD BEARING DEMISING WALL 1 HR F.R.R. - ULC ---
5/8" TYPE X GYPSUM BOARD - PAINT FINISH
8" NON-LOAD BEARING 20 GA STEEL STUDS AT 16" O.C.
8" MINERAL BATT SOUND INSULATION BETWEEN STUDS
5/8" TYPE X GYPSUM BOARD - PAINT FINISH
- LOAD BEARING STEEL STUD WALL-FIRE WALL - ON PROPERTY LINE
2 HR F.R.R. ULC W 415
EXTERIOR FACE-ACRYLIC STUCCO APPLIED TO 5/8" CEMENT BOARD
AIR BARRIER
5/8" GOLD BOARD SHEATHING
8" LOAD BEARING 18 GA STEEL STUDS AT 16" O.C.
8" MINERAL BATT SOUND INSULATION BETWEEN STUDS
6 MIL POLY VAPOUR BARRIER
INTERIOR FACE-3 LAYERS OF 1/2" TYPE X GYPSUM BOARD
PAINT FINISH
- LOAD BEARING STEEL STUD WALL- EAST WALL
1 HR F.R.R. - ULC W 415
EXTERIOR FACE-ACRYLIC STUCCO APPLIED TO 5/8" CEMENT BOARD
AIR BARRIER
5/8" GOLD BOARD SHEATHING
8" LOAD BEARING 18 GA STEEL STUDS AT 16" O.C.
8" MINERAL BATT SOUND INSULATION BETWEEN STUDS
6 MIL POLY VAPOUR BARRIER
INTERIOR FACE-1 LAYER OF 5/8" TYPE X GYPSUM BOARD
PAINT FINISH
- LOAD BEARING STEEL STUD WALL- NORTH WALL
EXTERIOR FACE-PORCELAIN TILE APPLIED TO 5/8" CEMENT BOAR
AIR BARRIER
5/8" GOLD BOARD SHEATHING
3-5/8" 18 GA STEEL STUDS AT 16" O.C.
3-5/8" 18 GA STEEL CROSS STUDS AT 14" O.C.
8" LOAD BEARING 18 GA STEEL STUDS AT 16" O.C.
8" MINERAL BATT SOUND INSULATION BETWEEN STUDS
6 MIL POLY VAPOUR BARRIER
INTERIOR FACE-1 LAYER OF 5/8" TYPE X GYPSUM BOARD
PAINT FINISH

ROOF

- ROOF CONSTRUCTION
ROOFING MEMBRANE APPLIED TO
R30 ISO INSULATION BOARD
AIR BARRIER
1-1/2" STEEL ROOF DECKING
OPEN WEB STEEL JOISTS
REFER TO MFR. SHOP DRAWING

FLOORS

- SLAB ON GRADE CONSTRUCTION
4" CONCRETE SLAB C.W.
10M BARS AT 18" E.W.
6" MIN COMPACTED CRUSHED GRAVEL BASE
- MEZZANINE SLAB CONSTRUCTION
COM-SLAB SYSTEM INCLUDING
4" CONCRETE SLAB OVER
18 GA COM-SLAB FLOOR DECKING
REINFORCING
19 M CONT. BAR IN DECK RIB
10M BARS AT 18" E.W. IN THE SLAB

DATE	NO.	BY	REVISION

PROJECT DESCRIPTION AND LOCATION:
COMMERCIAL BUILDING FOR BRENT WEBSUKI
2435 DOBBIN RD, WEST KELOWNA PLAN

ENGINEER'S SEAL:

ISSUED FOR CONSTRUCTION
DATE: _____

ISSUED FOR BUILDING PERMIT
DATE: _____

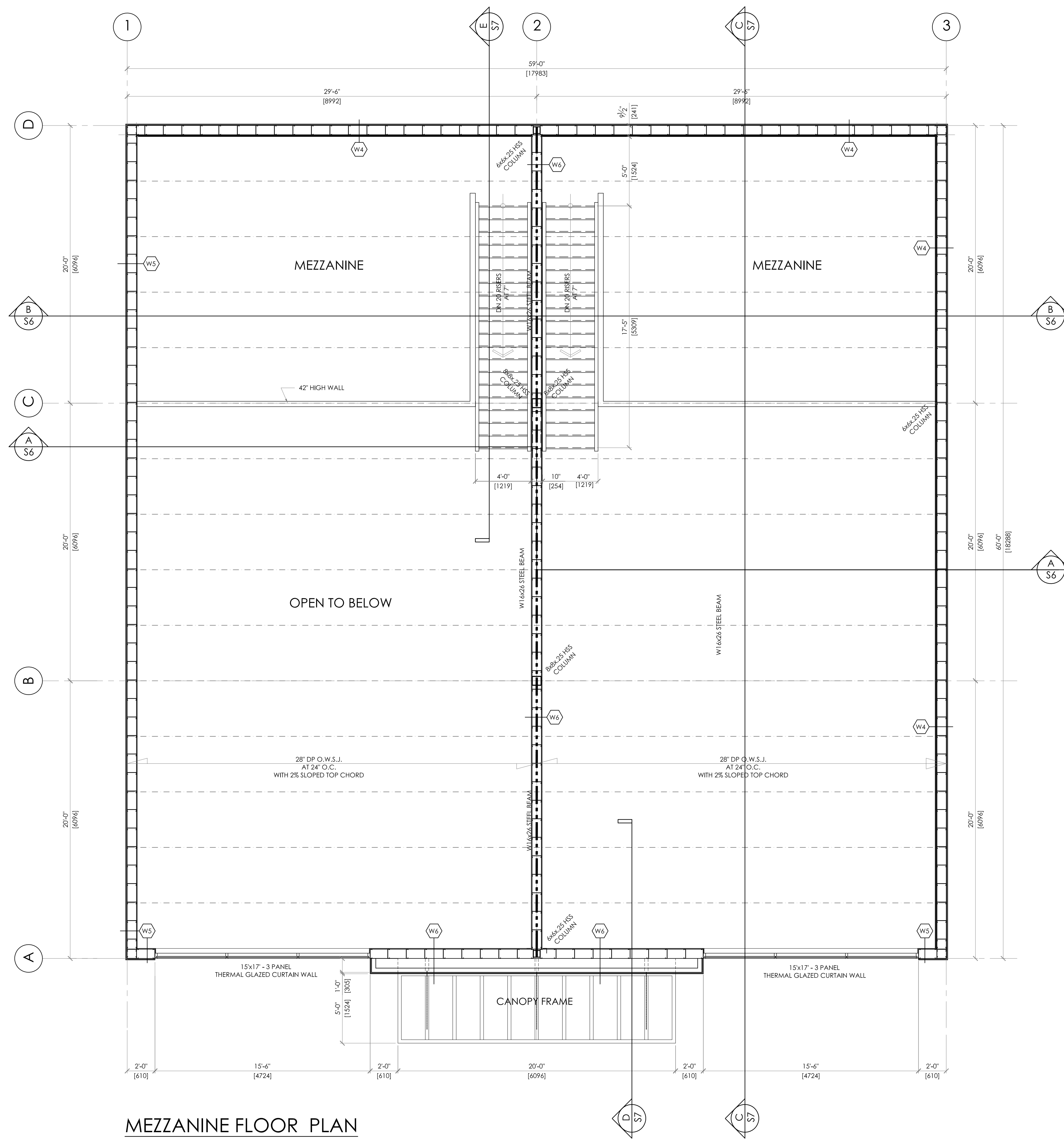
JMS ENGINEERING LTD.
STRUCTURAL CONSULTANT
710 TAMARACK DRIVE, KELOWNA, B.C. V1X 5L5
PHONE: (250) 868-1413 FAX: (250) 868-1413
E-MAIL: JMSENGINEERING@TELUS.NET
JOSEPH M. SARKOR, P.ENG.

PROJECT:
**COMMERCIAL BUILDING
2435 DOBBIN RD
WEST KELOWNA, BC**

SHEET TITLE
**GROUND FLOOR PLAN
MEZZANINE FRAMING**

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DRAWN Ray Lefebvre	JOB NUMBER 19-29
CHECKED Joseph M. Sarkor	SHEET NO. S4
SCALE 1/4" = 1'-0"	OF 9
DATE APR 05, 2022	



**MEZZANINE FLOOR PLAN
ROOF FRAMING PLAN**
SCALE 1/4"=1'-0"

PROJECT DESCRIPTION AND LOCATION:
COMMERCIAL BUILDING FOR BRENT MISKUSKI
2435 DOBBIN RD, WEST KELOWNA PLAN

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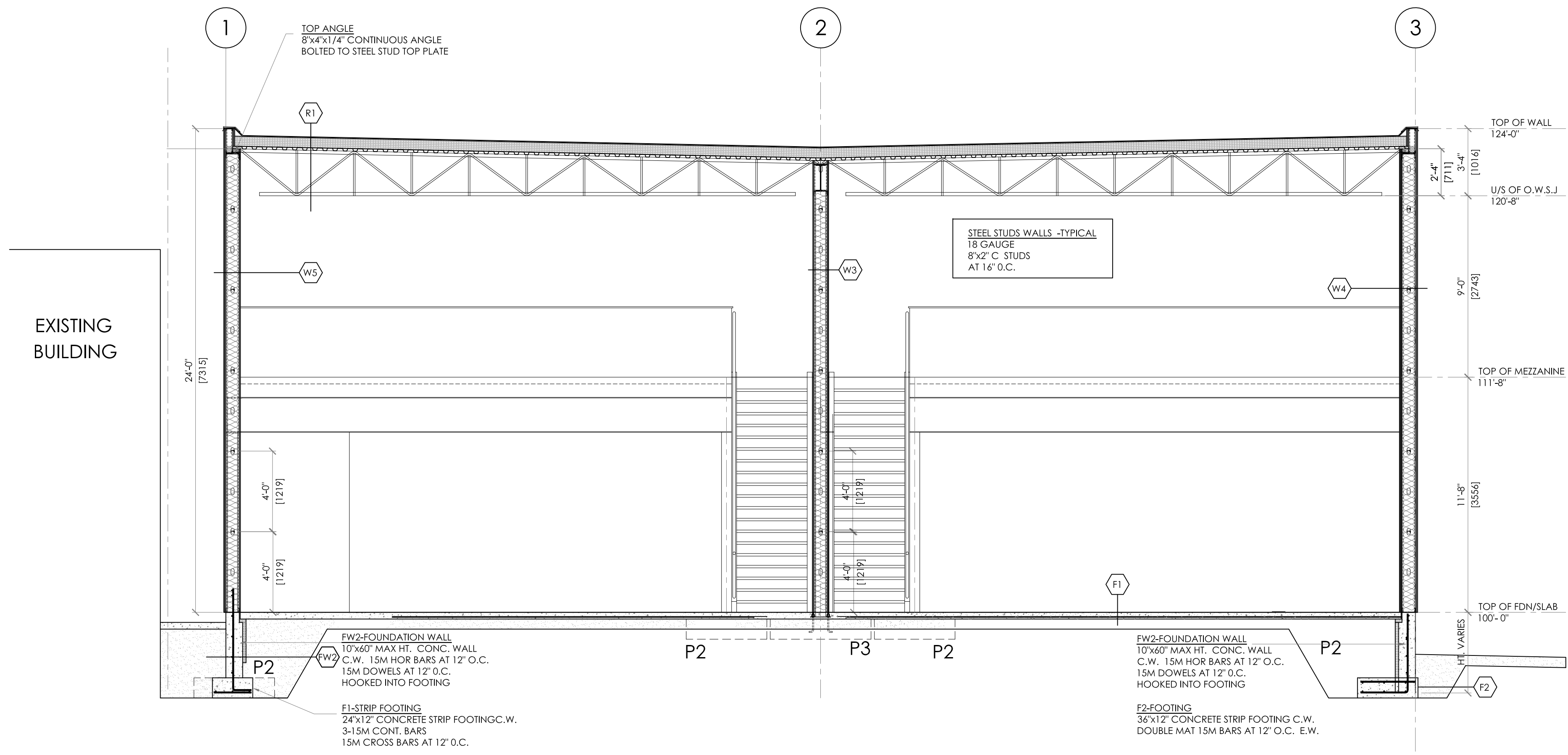
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PROJECT:
**COMMERCIAL BUILDING
2435 DOBBIN RD
WEST KELOWNA, BC**

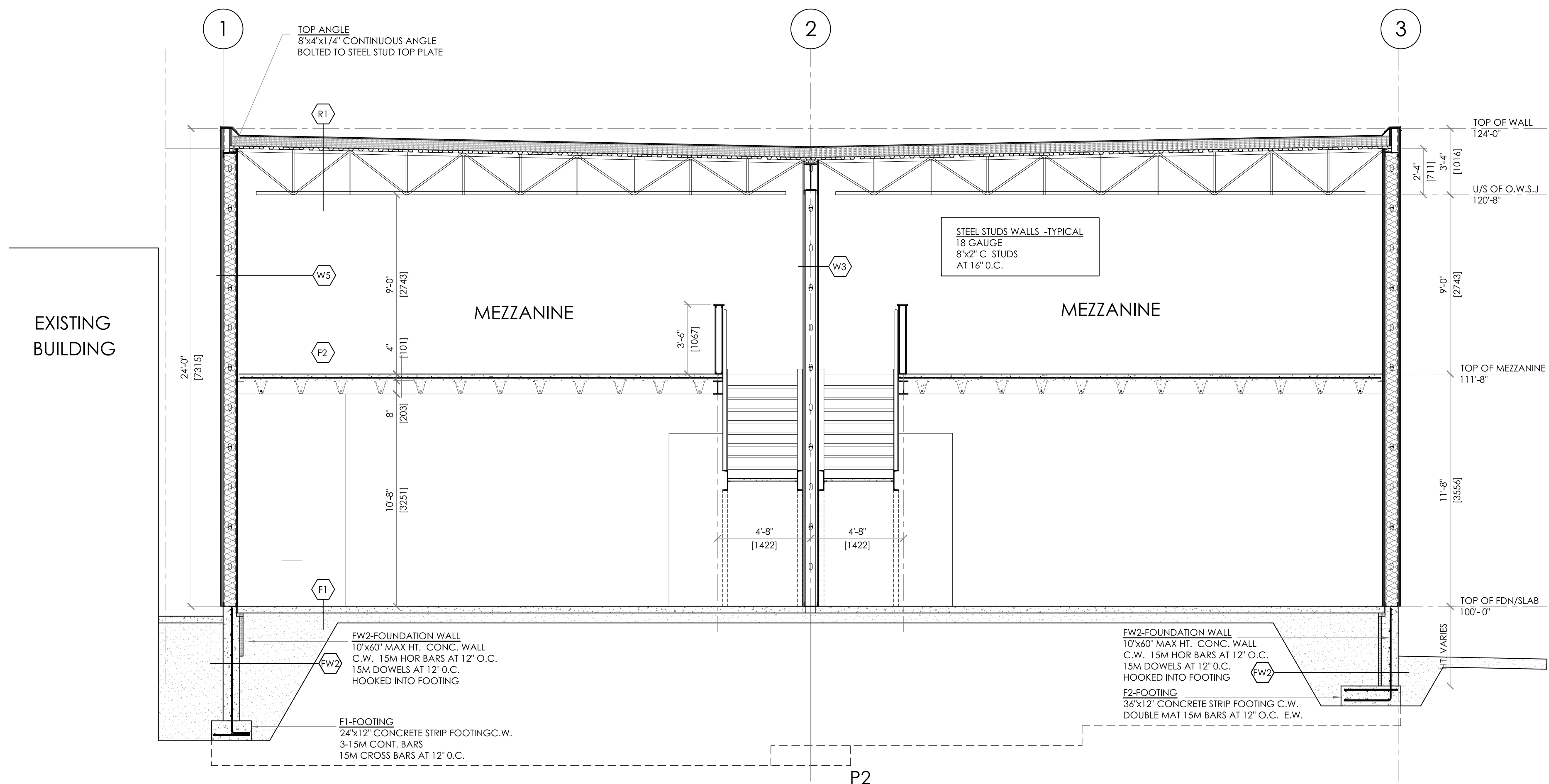
SHEET TITLE
**MEZZANINE FLOOR PLAN
ROOF FRAMING PLAN**

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CHECKED: Joseph M. Sarkor	SHEET NO.:
SCALE: 1/4" = 1'-0"	S5
DATE: APR 05, 2022	



SECTION A-A
SCALE 1/4"=1'-0"



SECTION B-B
SCALE 1/4"=1'-0"

DATE NO. BY REVISION
PROJECT DESCRIPTION AND LOCATION:
COMMERCIAL BUILDING FOR BRENT MOKUSKI
2435 DOBBIN RD, WEST KELOWNA PLAN

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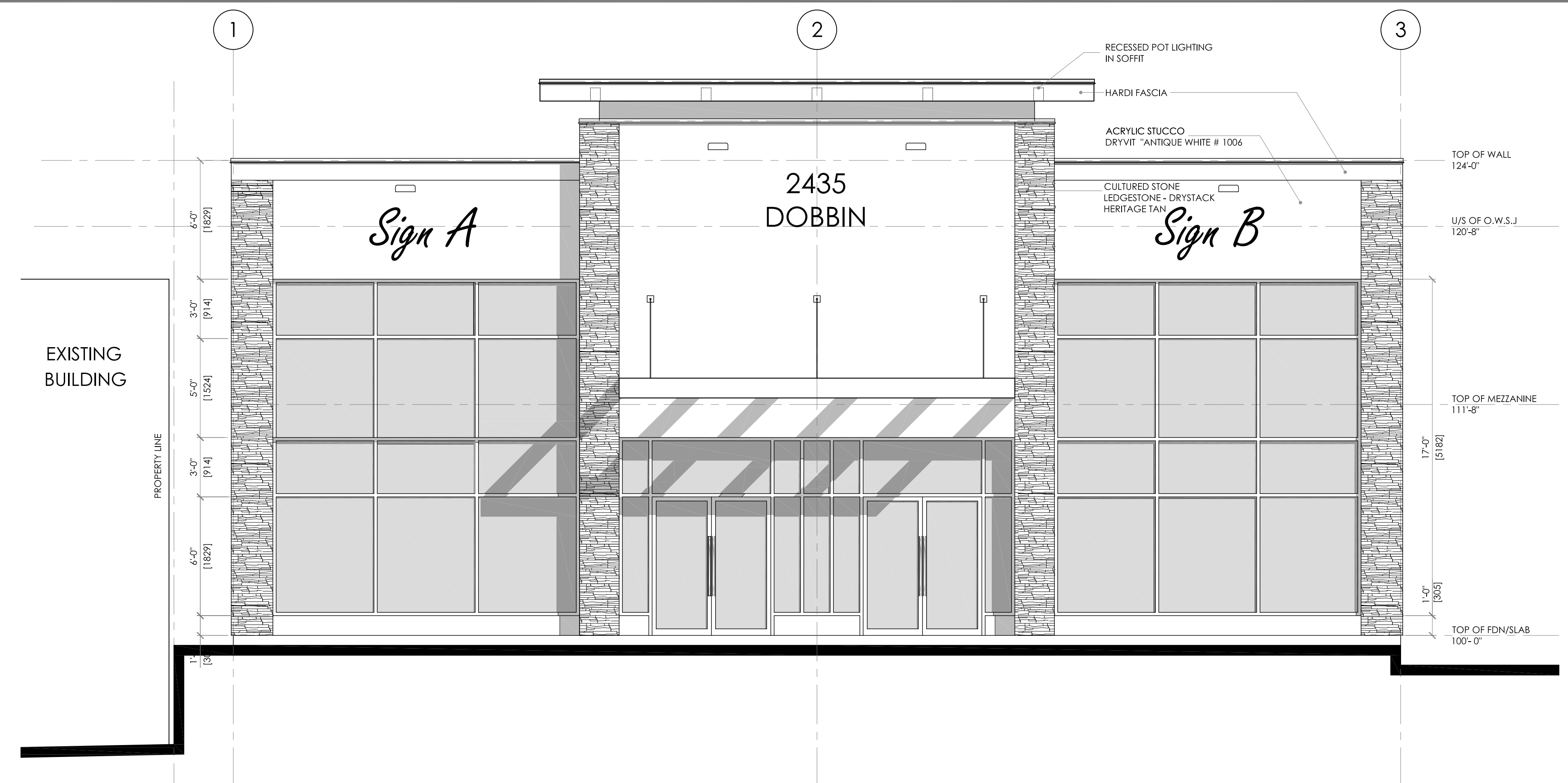
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JOSEPH M. SARKOR, P.ENG.

PROJECT:
**COMMERCIAL BUILDING
2435 DOBBIN RD
WEST KELOWNA, BC**

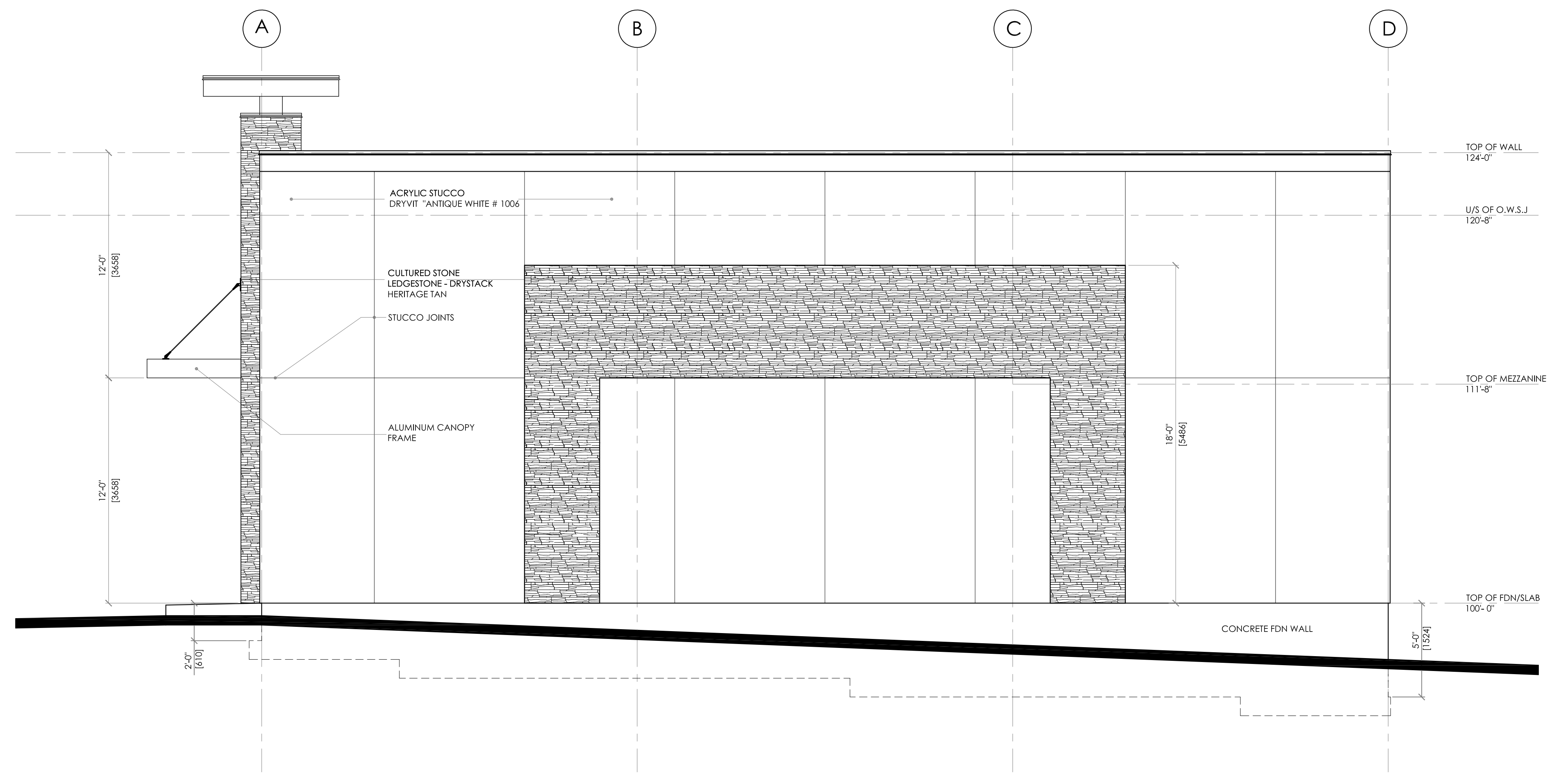
SHEET TITLE
**BUILDING SECTION A-A
BUILDING SECTION B-B**

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DRAWN: Ray Lefebvre	JOB NUMBER: 19-29
CHECKED: Joseph M. Sarkor	SHEET NO.:
SCALE: 1/4" = 1'-0"	S6
DATE: APRIL 06, 2022	
OF 9	



NORTH ELEVATION
SCALE 1/4"=1'0"



WEST ELEVATION
SCALE 1/4"=1'0"

DATE	NO.	BY	REVISION

PROJECT DESCRIPTION AND LOCATION:
COMMERCIAL BUILDING FOR BRENT MOKUSKI
2435 DOBBIN RD, WEST KELOWNA PLAN

AUG 14, 2022 - REVISED NORTH ELEVATION

ENGINEER'S SEAL:

ISSUED FOR CONSTRUCTION
DATE: _____

ISSUED FOR BUILDING PERMIT
DATE: _____

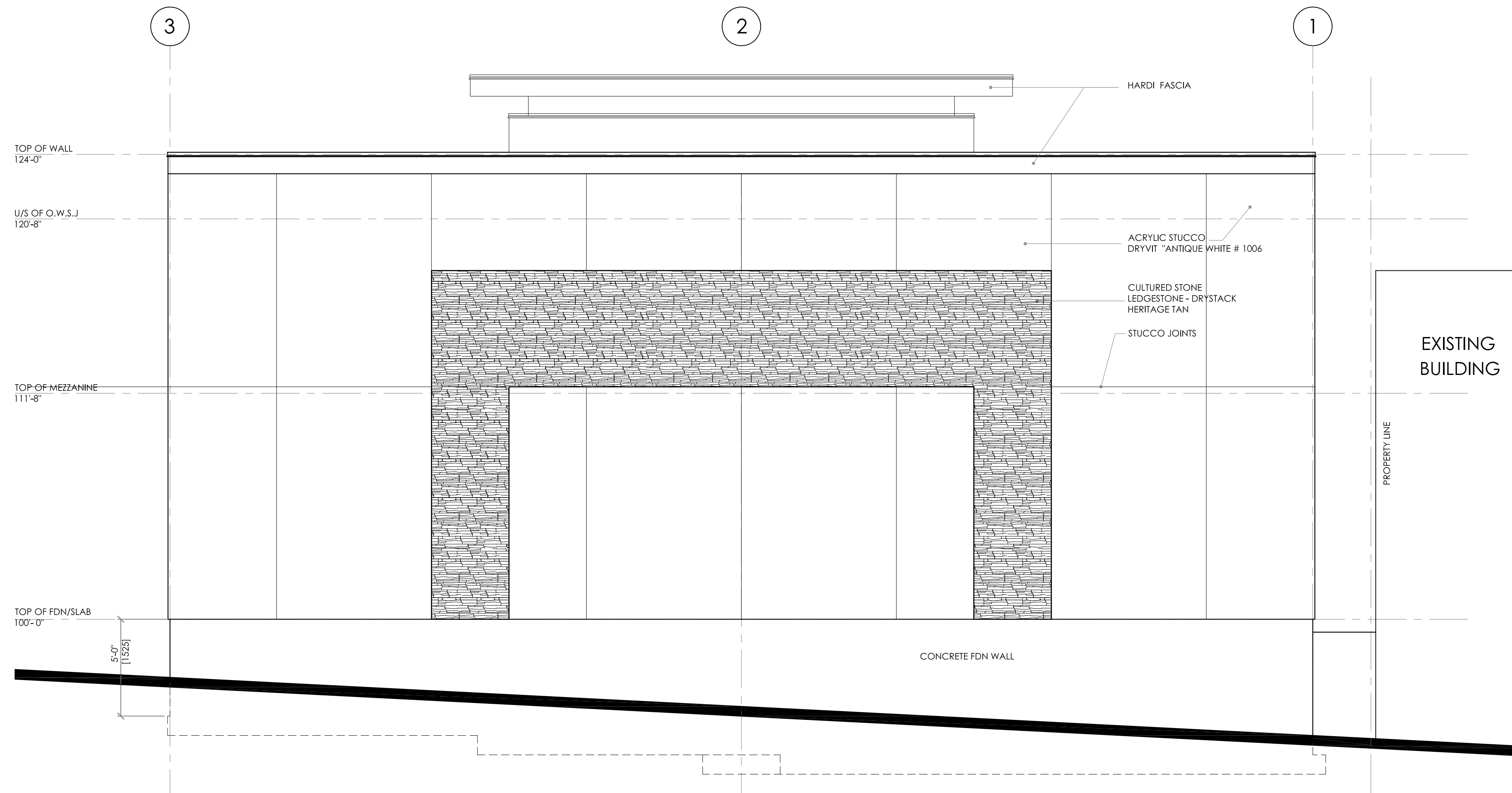
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PHONE: (250) 868-1413 FAX: (250) 868-1415
E-MAIL: JMSENGINEERING@TELUS.NET
JOSEPH M. SARKOR, P.ENG.

PROJECT:
**COMMERCIAL BUILDING
2435 DOBBIN RD
WEST KELOWNA, BC**

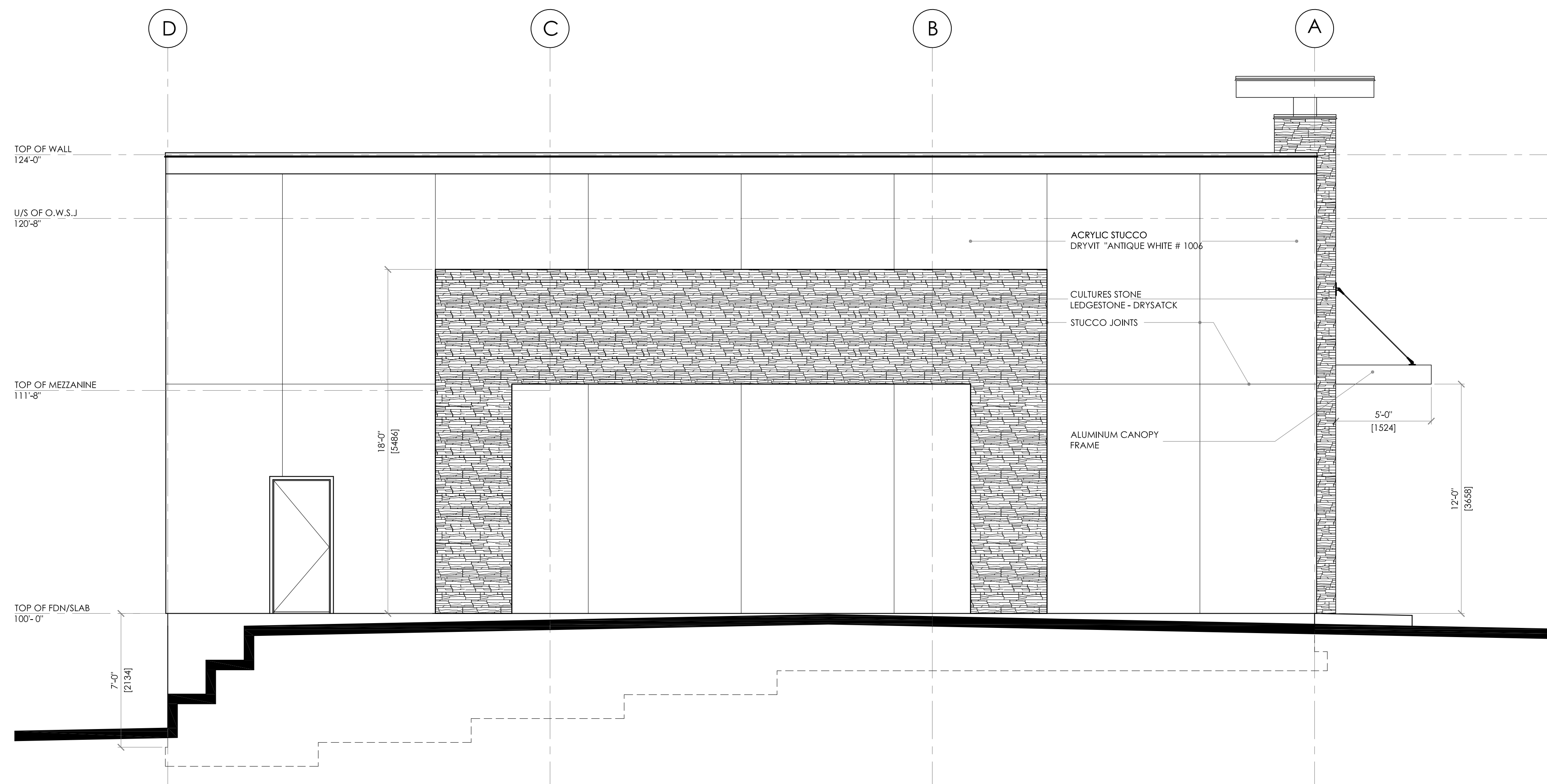
SHEET TITLE
**NORTH ELEVATION
WEST ELEVATION**

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DRAWN: Ray Lafabvre	JOB NUMBER: 19-29
CHECKED: Joseph M. Sarkor	SHEET NO. S8
SCALE: 1/4" = 1'-0"	
DATE: APRIL 06, 2022	OF 9



SOUTH ELEVATION
SCALE 1/4"=1'-0"



EAST ELEVATION
SCALE 1/4"=1'-0"

DATE NO. BY REVISION
PROJECT DESCRIPTION AND LOCATION:
COMMERCIAL BUILDING FOR BRENT MISKUSKI
2435 DOBBIN RD, WEST KELOWNA PLAN

ENGINEER'S SEAL:

ISSUED FOR CONSTRUCTION
DATE: :
ISSUED FOR BUILDING PERMIT
DATE: :

JMS ENGINEERING LTD.
STRUCTURAL CONSULTANT
710 TAMARACK DRIVE, KELOWNA, B.C. V1X 5L9
PHONE: (250) 868-1413 FAX: (250) 868-1413
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PROJECT:
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2435 DOBBIN RD
WEST KELOWNA, BC**

SHEET TITLE
**SOUTH ELEVATION
EAST ELEVATION**

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DATE: APRIL 06, 2022	OF 9



2435
DOBBIN

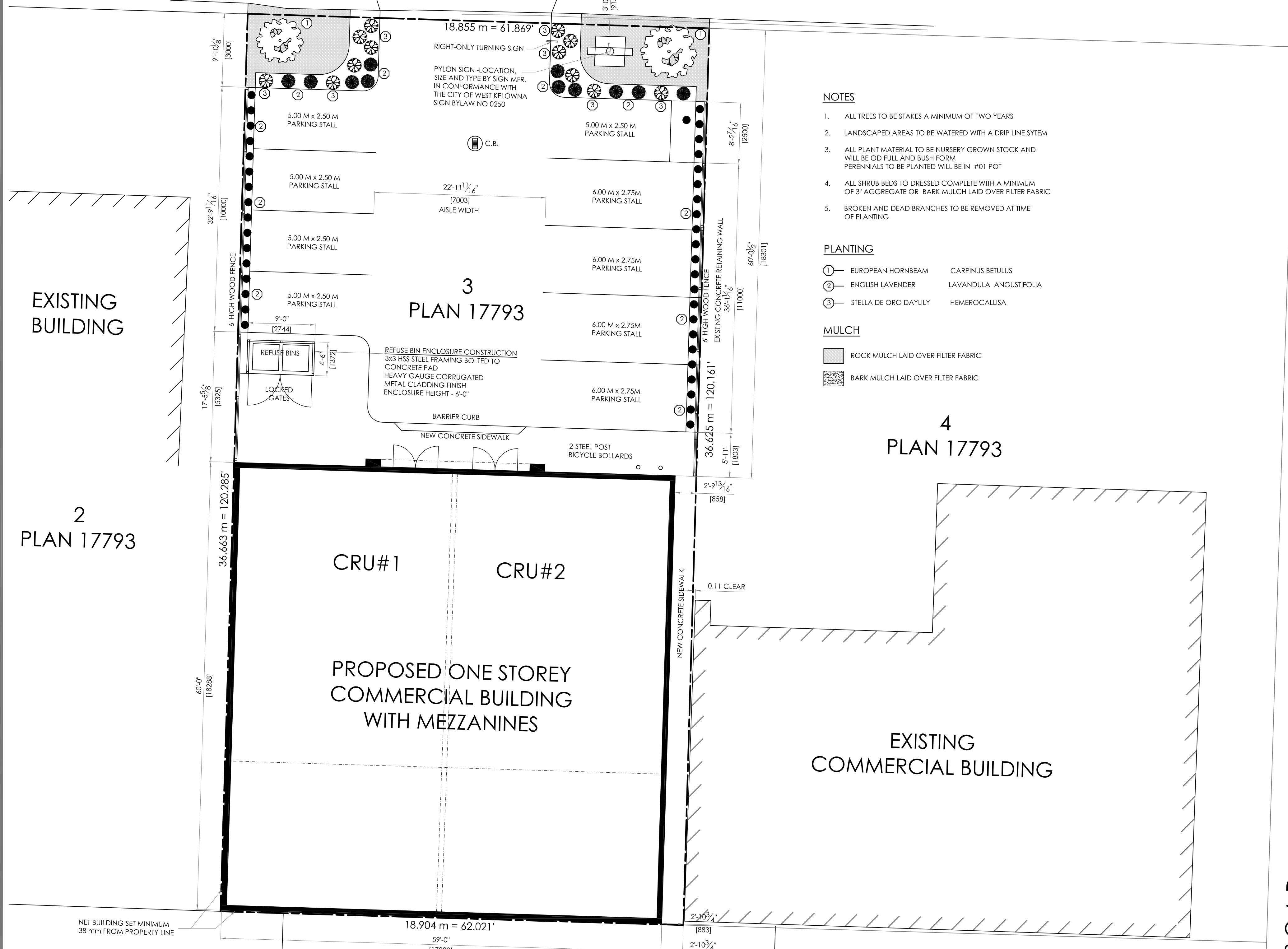
Sign A

Sign B

1946 Knox 1227
REGISTERED PROFESSIONAL ACCOUNTANTS

HIGHWAY 97

2435 DOBBIN RD



NOTES

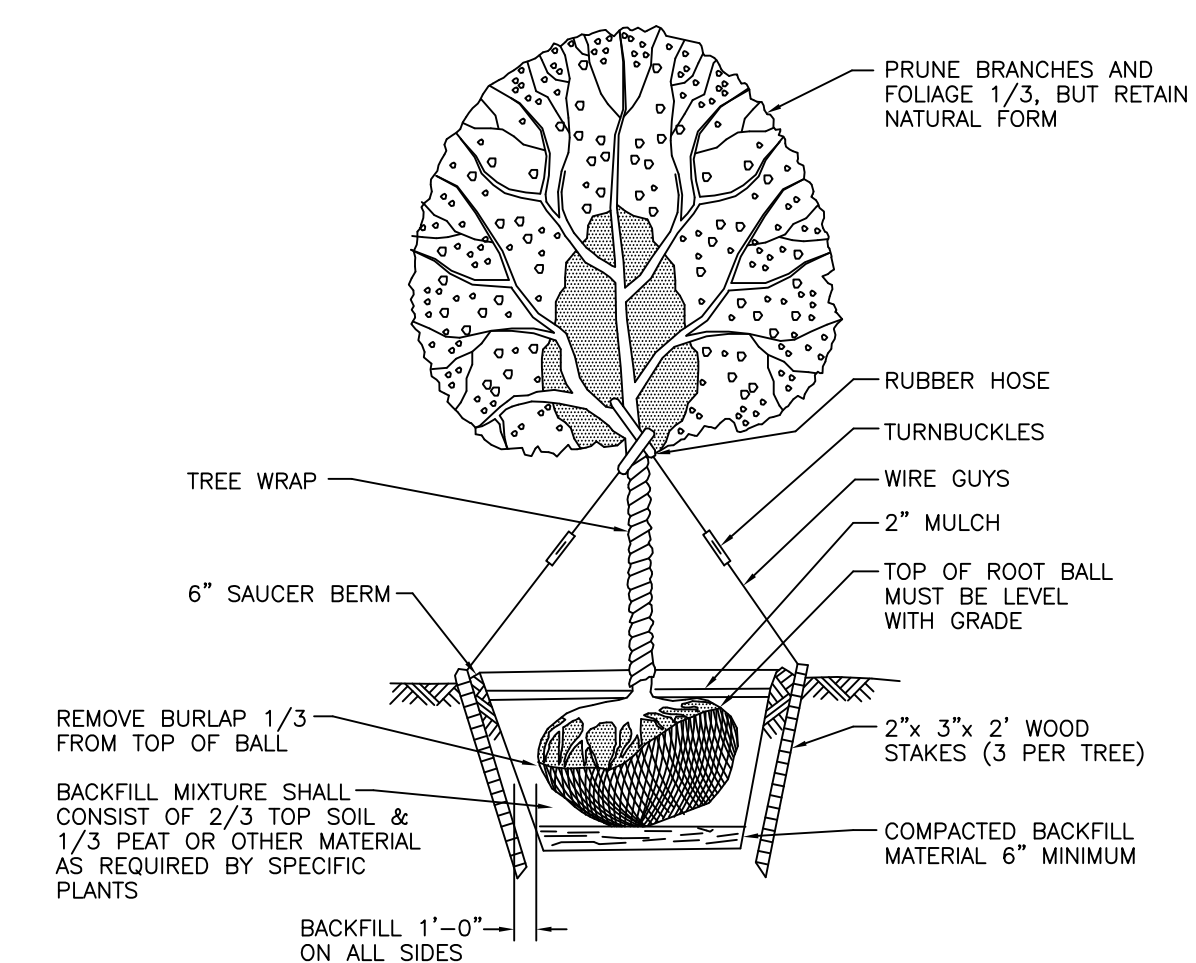
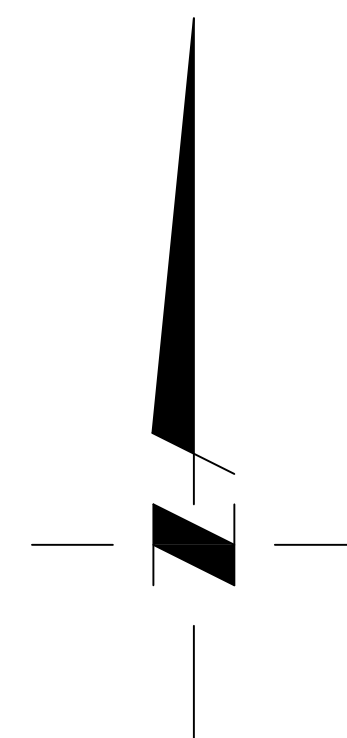
1. ALL TREES TO BE STAKES A MINIMUM OF TWO YEARS
2. LANDSCAPED AREAS TO BE WATERED WITH A DRIP LINE SYSTEM
3. ALL PLANT MATERIAL TO BE NURSERY GROWN STOCK AND WILL BE OD FULL AND BUSH FORM PERENNIALS TO BE PLANTED WILL BE IN #01 POT
4. ALL SHRUB BEDS TO DRESSED COMPLETE WITH A MINIMUM OF 3" AGGREGATE OR BARK MULCH LAID OVER FILTER FABRIC
5. BROKEN AND DEAD BRANCHES TO BE REMOVED AT TIME OF PLANTING

PLANTING

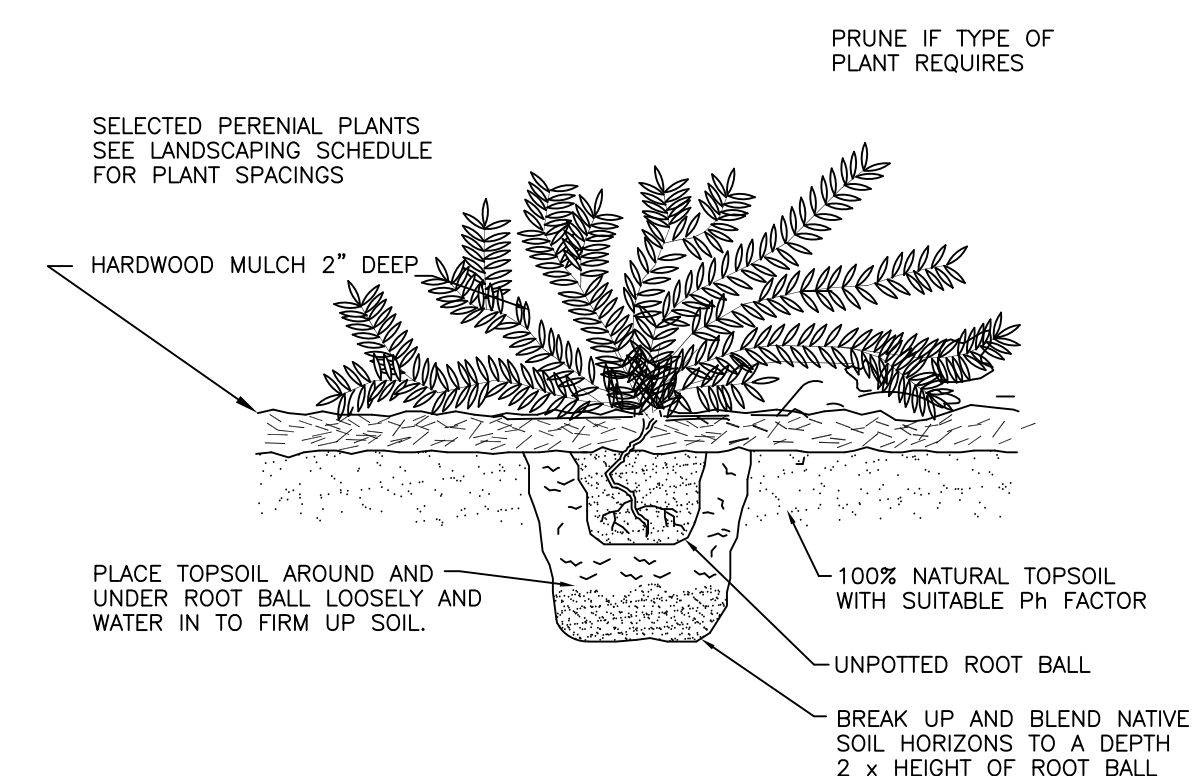
- ① EUROPEAN HORNBEAM CARPINUS BETULUS
- ② ENGLISH LAVENDER LAVANDULA ANGUSTIFOLIA
- ③ STELLA DE ORO DAYLILY HEMEROCALLISA

MULCH

- ROCK MULCH LAID OVER FILTER FABRIC
- BARK MULCH LAID OVER FILTER FABRIC



TYPICAL DECIDUOUS TREE PLANTING DETAIL
NTS



TYPICAL PERENNIAL PLANTING DETAIL
NTS

DATE	NO.	BY	REVISION

PROJECT DESCRIPTION AND LOCATION:
COMMERCIAL BUILDING FOR BRENT MOKUSKI
2435 DOBBIN RD, WEST KELOWNA PLAN

MAY 04, 2023-UPDATED LANDSCAPE PLAN
MAR 15, 2023-UPDATED LANDSCAPE PLAN

ENGINEER'S SEAL:

ISSUED FOR CONSTRUCTION
DATE: _____

ISSUED FOR BUILDING PERMIT
DATE: _____

JMS ENGINEERING LTD.
STRUCTURAL CONSULTANT
710 TAMMACK DRIVE, KELOWNA, B.C. V1X 5L9
PHONE: (250) 868-1413 FAX: (250) 868-1413
E-MAIL: JMSENGINEERING@TELUS.NET
JOSEPH M. SARKOR, P.ENG.

PROJECT:
**COMMERCIAL BUILDING
2435 DOBBIN RD
WEST KELOWNA, BC**

SHEET TITLE
LANDSCAPE PLAN

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DO NOT SCALE THESE DRAWINGS.

DRAWN: Ray Lafabvre	JOB NUMBER: 19-29
CHECKED: Joseph M. Sarkor	SHEET NO.:
SCALE: 1/8" = 1'-0"	L1
DATE: MAR 15, 2023	OF 9

LANDSCAPE PLAN
SCALE 1/8"=1'0"



Alchemized Construction Inc.

673A Hollydell Rd.
Kelowna, BC
V1X-1L4
Ph: 780-880-9524

Bill To

Ecom Systems Inc.
1979 KLO rd.
Kelowna, BC
V1W-2H8

Estimate

306

Estimate Date

18/05/2023

Description	Amount
Install required top soil	240.00
Nursery stock as required by site plan	3,200.00
Drip irrigation system complete with 4 zone timer	450.00
Install edging to parking areas.	380.00
Equipment rental / trairling cost	650.00
Labour	4,500.00
Final grading of decorative rock to edging	375.00
	Subtotal 9,795.00
	gst 5.0% 489.75

Estimate Total

\$ 10,284.75

Terms & Conditions

Allow one week for completion of tasks.
Terms are 50% deposit upfront balance due 10 days from completion.