



## DEVELOPMENT SERVICES COUNCIL REPORT

To: Mayor and Council

Date: May 16, 2023

From: Paul Gipps, CAO

File No: DP 22-26

Subject: **DP 22-26; Development Permit with Variances; 3401 Sundance Drive**

Report Prepared By: Jayden Riley, Planner III

### **RECOMMENDATION** to Consider and Resolve:

**THAT** Council postpone consideration of the proposed multiple family and intensive residential, hillside, and sensitive terrestrial ecosystem development permit with variances (File: DP 22-26) and direct the applicant to revise the following elements of their proposal:

- Include a turnaround and loading space on Ensign Lane;
- Secure legal access for units 53-56 (approx.) on Ensign Lane;
- Reallocate the number of visitor spaces for each laneway to be proportional to the number of units;
- Revise the design of the extended portion of Ensign Lane to include increased safety elements consistent with best practices and the City's Hillside DPA guidelines and demonstrate that turning movements can be reasonably accommodated to any units near its terminus; and
- Clearly provide a location for snow deposition on Ensign Lane.

### **STRATEGIC AREA(S) OF FOCUS**

**Pursue Economic Growth and Prosperity** – We will work with stakeholders throughout the region to advocate for and support efforts aimed at helping West Kelowna businesses prosper. With a focus on the future, we will advance opportunities to expand our economy, increase employment, and develop the community in ways that contribute towards prosperity for all.

### **BACKGROUND**

The subject property is currently vacant, located in the Shannon Lake neighbourhood between Ensign Quay Lane and Ensign Lane to the south-east and Sundance Drive to the north-west. The property includes steep hillsides, sloping downward from Sundance Drive toward the private laneways, which are currently shared by nine existing residences and the subject property via an access easement.

### PROPERTY DETAILS

<b>Address</b>	3401 Sundance Drive		
<b>PID</b>	028-172-001		
<b>Folio</b>	3641391.497		
<b>Lot Size (m<sup>2</sup>)</b>	1.29 ha (12,990 m <sup>2</sup> )		
<b>Owner</b>	Gatehouse Developments Inc.	<b>Agent</b>	Carlo DiStefano, DiStefano Jaud Architecture
<b>Current Zoning</b>	R4 (Medium Density Multiple Family)	<b>Proposed Zoning</b>	N/A
<b>Current OCP</b>	Low Density Multiple Family	<b>Proposed OCP</b>	N/A
<b>Current Use</b>	Vacant	<b>Proposed Use</b>	58-unit townhouse development
<b>Development Permit Areas</b>	Hillside, Sensitive Terrestrial Ecosystem, Form and Character		
<b>Hazards</b>	Hillside		
<b>Agricultural Land Reserve</b>	No		

### ADJACENT ZONING & LAND USES

<b>North</b>	^	P1 – Parks and Open Space
<b>East</b>	>	R1 – Single Detached Residential
<b>West</b>	<	R4 – Medium Density Residential
<b>South</b>	v	R1 – Single Detached Residential

### NEIGHBOURHOOD MAP



## PROPERTY MAP



## DISCUSSION

### Legislative Requirements

Council has the authority under S.490 of the *Local Government Act* to issue a Development Permit. Section 498 of the *Local Government Act* gives Council the authority to issue a Development Variance Permit that varies, in respect of the land covered in the permit, the provision of the Zoning Bylaw.

### Proposal

The applicant is seeking a Form and Character, Hillside, and Sensitive Terrestrial Development Permit for a 58-unit townhouse development comprised of 20 units fronting Sundance Drive and 38 units fronting Ensign Quay Lane and Ensign Lane (Figure 1, Attachment 2).

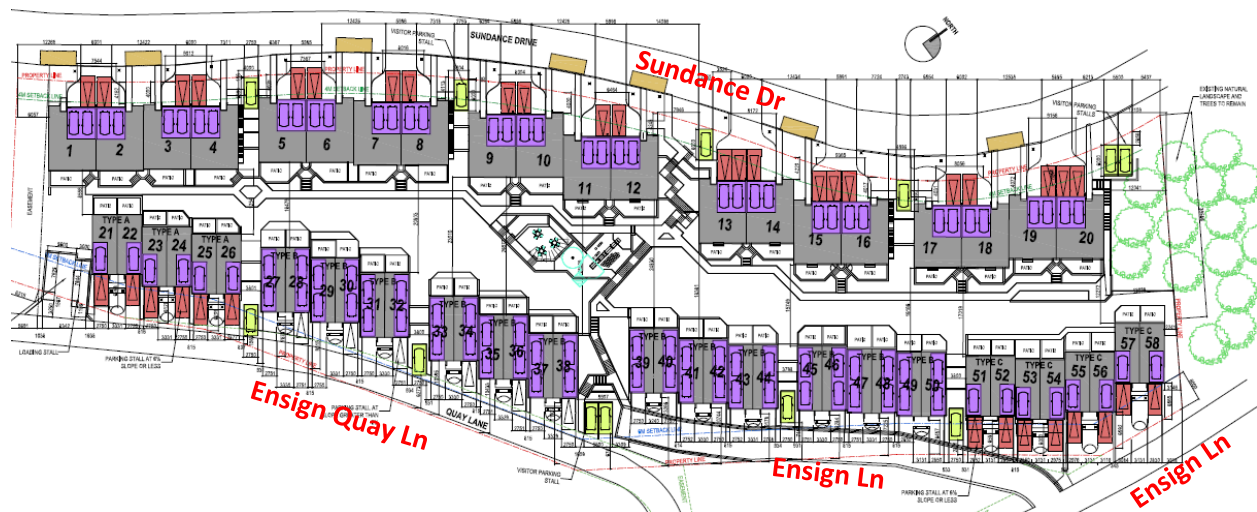


Figure 1: Site Plan

Due to topographical conditions combined with the proposed density, this application contains several variances to accommodate the proposed number of units related to siting, off-street parking, and site circulation. The following variances (7) are included in this proposal:

1. Reduction to the minimum required front parcel boundary setback (Sundance Drive) from 6.0 m to 4.0 m (varies);
2. Reduction to the minimum required setback of loading and visitor parking spaces from the front or exterior parcel boundary from 3.0 m from 0.0 m (varies);
3. Reduction to the minimum required number of loading spaces from 4 to 1 space(s);
4. Reduction to the minimum dimensions of a loading space from 3.0 m x 9.0 m to the dimensions noted on site plan;
5. Increase the maximum height of two retaining walls from 2.5 m to 3.5 m;
6. Increase the width of driveway crossings at the property line from 7.0 m to 9.4 m (varies); and
7. Forgo the requirement to install a turnaround at or near the terminus of a private hillside lane.

### **Site Specific Considerations**

The subject property is located upland from existing residences on Ensign Lane and Ensign Quay Lane. Both laneways include a series of private easements for access between the subject and adjacent properties, as well as Statutory Right of Ways for public utilities and emergency access. Subject to Council approval, the laneways would each be shared between the (9) existing residents and the proposed 38 townhouse units by a six-metre-wide drive aisle that does not permit on-street parking. Due to the topography of the site, retaining walls with height variances are required to accommodate a turnaround and loading space on the segment of Ensign Quay Lane and an extension of the physical laneway on Ensign Lane to access proposed units 39-44 (Attachment 2, Figure 1).

### **Bylaw and Policy Review**

#### Official Community Plan Bylaw No. 0100

#### *Development Permit Areas*

The proposed development is subject to three of the City's DPAs: 1) Multiple Family and Intensive Residential, 2) Hillside, and 3) Sensitive Terrestrial Ecosystem.

1. **Multiple Family and Intensive Residential DPA** guidelines ensure that residential development is well designed and appropriately integrated into the community through use of good urban design principles. This includes strong design, amenity space contributions, and architectural focal points. The proposal is found to be generally consistent with the form and character, and building materials guidelines of this DPA; however, the proposal is less consistent with the guidelines in terms of adjacent use considerations, and potential hazards for

vehicle and pedestrian circulation due to disproportionate allocation of visitor parking. More detail is provided in the following sections of this report.

2. The **Hillside DPA** guidelines are applied to address steep slopes to ensure public safety and the protection of environmentally sensitive areas. This includes addressing rockfall hazard mitigation, location of roads and laneways, and setbacks to disturbance zones. The applicant has submitted a geotechnical report that has identified existing site conditions and provides recommendations related to site preparation and foundation design, site grading, rock slopes, drainage, pavement design and utility installation, and has confirmed the development, as proposed, is safe for the intended use. The recommendations of the geotechnical report and memo are included in the attached permit (Attachment 1). The proposal is found to be in general accordance with the DPA guidelines; however, the proposed laneway extension (Ensign Lane) it is not due to the adjacent steep slope, creating a safety hazard. More information is provided in the following sections of the report.

3. The **Sensitive Terrestrial Ecosystem DPA** guidelines are applied to all land as having environmental values. These guidelines ensure that development considers relevant provincial legislation, that site design is consistent with the environmental reporting, and to minimize disturbance to highly sensitive environmental areas. As part of this application, an Environmental Assessment was submitted, noting the area to contain Moderate (ESA 2) and Low (ESA 3) Environmentally Sensitive Areas. Most of the disturbance is proposed within the ESA 3 area. A portion of the ESA 2 area to the north-east is being preserved. Recommendations of the environmental report would be included as part of the permit conditions.

### *Form and Character Review*

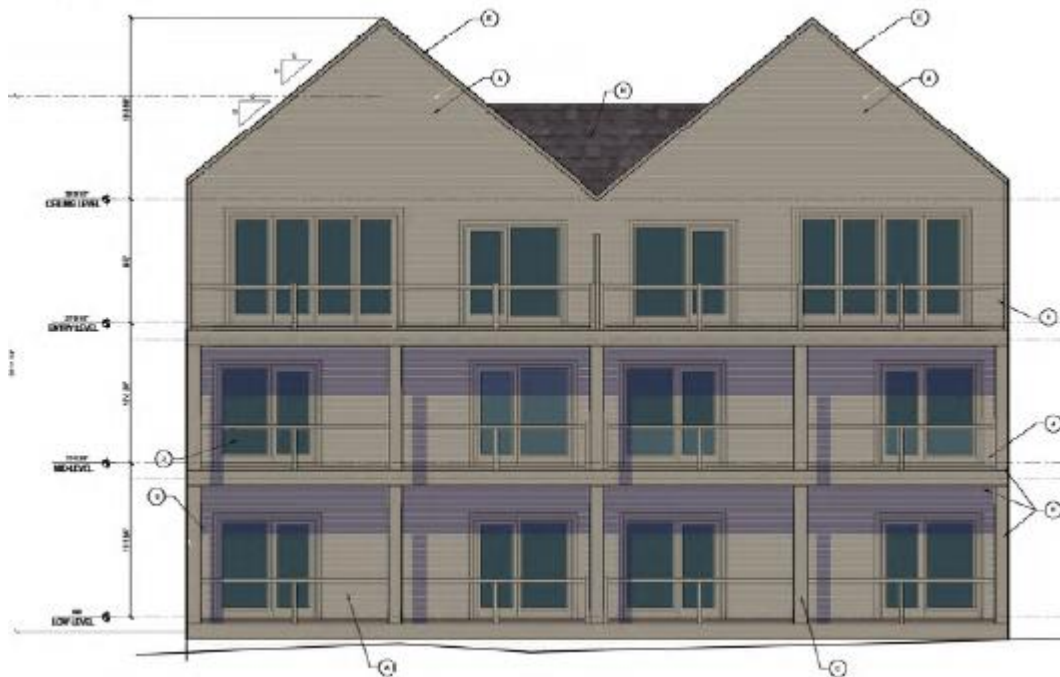
The proposal contains a total of 58 townhome units within 11 buildings; this includes 20 units on Sundance Drive (units 1-20), 18 units on Ensign Quay Lane (units 21-38), and 20 units on Ensign Lane (units 39-58). Three colour variations (i.e., dark, medium, light) are proposed to be applied to each grouping of buildings.

Building materials for all buildings include Hardie lap siding, brick – pacific art stone, Hardie plank, Hardie board trim lintel, painted fascia, dual black asphalt shingle roofing, and aluminum railing with glass panels and pickets – full architectural drawings are provided in Attachment 2. A list of additional features unique to each unit type is include below:

- Sundance Drive (Units 1-20):
  - Three storeys, three bedrooms, and double (parallel) garages.
  - Each unit contains an upper (entry) floor with garage, living area and master bedroom, mid-level floor with two bedrooms, living space and balcony, and a lower-level basement with patio.
  - Each unit is accessed by a paired driveway.



**Figure 2:** Street elevation (Sundance Dr., Units 1-20)



**Figure 3:** Rear elevation (Sundance Dr., Units 1-20)



**Figure 4:** Rendering of Sundance Dr. units with colour variation between two buildings, Units 1-20

- Ensign Quay Lane (Units 21-38)
  - Contains both “Type A” and “Type B” units.
  - Type A units are contained in one six-unit building (units 21-26) and include single garages with one required tandem parking space on the driveway in front of each (6) garage.
  - Type B units (units 27-38) are contained in two six-unit buildings and include double (tandem) garages with no driveway parking.
  - Each unit contains a lower (entry)-level with garage and flex room, mid-level living space with rear balcony, and three bedrooms at the top level.



**Figure 5:** Front / lane elevation (units 21-38 and 39-58)



**Figure 6:** Rear elevation (units 21-38 and 39-58)



**Figure 7:** Rendering of lane units with colour variation (units 21-38 and 39-58)

- Ensign Lane (Units 39-58)
  - Contains both “Type B” and “Type C” units.
  - Type B units (units 39-50) are contained in two six-unit buildings and include double (tandem) garages with no driveway.
  - Type C units are contained in one eight-unit building (units 51-58) and include single garages with one required tandem parking space on the driveway in front of each (8) garage.
  - Identical to the units on Ensign Quay Lane, each unit contains an entry (lower)-level with garage and flex room, mid-level living space with rear balcony, and three bedrooms at the top level.



**Figure 8:** Laneway units (combined) streetscape with colour variation (units 21-58)



## Landscaping / Amenity Space

A landscape plan was submitted with the application that proposes a common amenity space between the upper (Sundance Dr.) and lower (laneway) units accessible to all owners, providing connectivity through the property (Attachment 3, Figure 9).

The proposed landscaping consists of a mixture of concrete pavers, decorative rocks, dry meadow slope retention hydro-seed, coarse boulder slope retention, composite wood decking, xeriscape shrub beds, as well as a mixture of native trees, shrubs, dwarf conifers, grasses, perennials, and ground covers. The interior amenity area also includes a series of landscape walls and stairs leading to a main boardwalk with handrails, as well as a seating area with trellis and bar tables and a playground area (Figure 9). See Attachment 3 for full details.

The proposed landscaping estimate is \$320,064.72. Subject to Council approval, and in accordance with the City's Development Applications Procedures Bylaw No. 0260, 125% (\$400,080.90) of this amount would be required as a condition of permit issuance – see Alternate Motion and Attachment 1.



**Figure 9:** Landscape plan / site plan, rendering, and conceptual drawing.



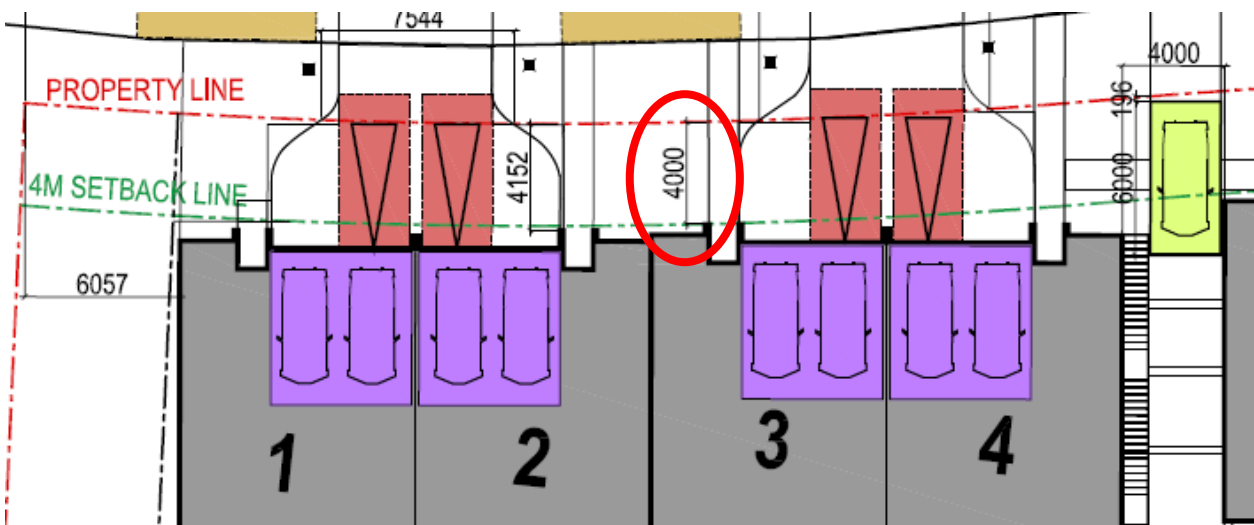
**Figure 10:** Playground area (proposed for centre of subject property), rendering and sample image.

**Zoning Bylaw No. 0265**

The subject property is zoned Medium Density Multiple Residential (R4). The proposed development is generally consistent with the siting regulations of the R4 zone except for the front parcel boundary setback (Sundance Drive), but otherwise meets maximum coverage (50%) and height (12.0 m up to max. three storeys). However, the proposal does contain seven variances, with the majority related to the Bylaw’s off-street parking regulations. An overview of the proposed variances is provided below.

*Proposed Zoning Bylaw Variances:*

1. S.10.11.4(g)(i) – Reduce the minimum required front parcel boundary setback (Sundance Drive) from 6.0 m to 4.0 m (varies), in accordance with the site plan (Attachment 2, Figure 1 and 11). This variance affects all five buildings located on Sundance Drive. Recent amendments to the Bylaw allowing for setback measurements to be taken from the back of a curb or sidewalk were not added to the R4 Zone.



**Figure 11:** Setback variance for Sundance Units (1-20) – example of Building 1, units 1-4.

Since the Sundance Drive Right of Way will accommodate 3-4 metres of driveway from the curb to the property line, plus the additional 4 m setback (minimum) from

the property line to the buildings, vehicle overhang into the physical roadway is not anticipated. Staff support this variance.

2. S.4.3.2(b) – Reduce the minimum required distance between the required parking, loading and visitor parking spaces to the front or exterior parcel boundary from 3.0 m from 0.0 m (varies), in accordance with the site plan (Attachment 2, Figure 12).



**Figure 12:** Site plan, parking setback variances with insert.

This proposed variance affects nine of 12 visitor spaces, one (and sole) loading space, and 13 required townhouse parking spaces proposed in front of the garages for the Type A and C units located on the laneways (i.e., units 21-26, 51-56, and 58).

Staff have concerns about the potential impact of these variances, specifically in regard to the laneway and site circulation.

The intent of this bylaw regulation is to provide a buffer between more intensive multiple-family surface parking areas and public or private roadways, typically via landscaping. In this circumstance, the regulation is applied due to required parking being proposed in tandem with, and in front, of the single garages adjacent to the laneway. While this particular application of the parking regulation was not specifically considered with its original intent, it does reflect overall site design

challenges to accommodate the overall density and does have the potential to contribute toward site circulation challenges and periodic obstruction of the laneway.

3. S.4.10.1(a) – Reduce the minimum required number of loading spaces from four to one space(s), subject to a variance in the dimensions of the loading space (see Variance No. 4, Figure 13).

The number of loading spaces is proposed to be reduced from four to one space(s) to maximize the number of units on the site. The proposal includes a single loading space near the terminus of Ensign Quay Lane, adjacent to a proposed emergency vehicle turnaround. No loading space is proposed on the segment of Ensign Lane, and no loading spaces are proposed from Sundance Drive.



Figure 13: Site plan with loading space

Staff have concerns with a variance to reduce the required number of loading spaces, due to potential circulation and safety impacts to Ensign Lane. Ideally, the proposal would include a loading space on each segment of laneway for each grouping of townhome buildings (for example, units 21-38 and 39-58). In this case, only units 21-38 are served by a loading space. Without a loading space on Ensign Lane, it is anticipated that moving vehicles would temporarily block the laneway and would need to reverse in or out. Staff do not support this variance and recommend that a loading space is provided on Ensign Lane.

The lack of a loading space on Sundance Drive is not anticipated to create significant impacts due to the additional driveway depth between the property line and the curb and availability of on-street parking.

4. S.4.10.2(a) – Reduce the minimum required dimensions of a loading space from 3.0 m x 9.0 m to 7.8 m x 3.0 m (Attachment 2, Figure 14).

Related to Variance No. 3 above, the single loading space proposed on Ensign Quay Lane cannot be adequately accommodated on the subject property (Figure 14).

The construction of the loading space must also occur within the easement boundary contained on the adjacent property. The access easement permits maintenance of the physical laneway. The easement boundary also widens at this point of the laneway, so vehicles using the loading space are not anticipated to obstruct the pass or repass of vehicles. Staff support the proposed variance.

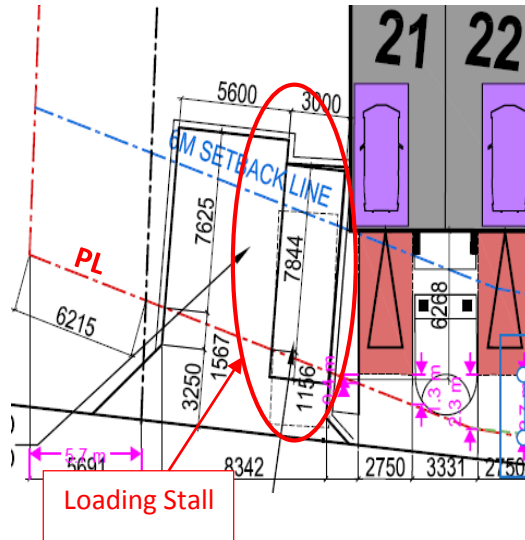


Figure 14: Loading space dimensions.

5. S.3.14.1 – Increase the maximum height of two retaining walls from 2.5 m to 3.5 m (Figures 15-18).

The proposal includes two over-height retaining walls up to a maximum 3.5 m. The first retaining wall (Figure 15) is proposed to accommodate the emergency turnaround at the terminus of Ensign Quay Lane. Staff are supportive of this variance, given the challenging topography of the site, the critical purpose of the turnaround, and the limited impacts to adjacent properties.

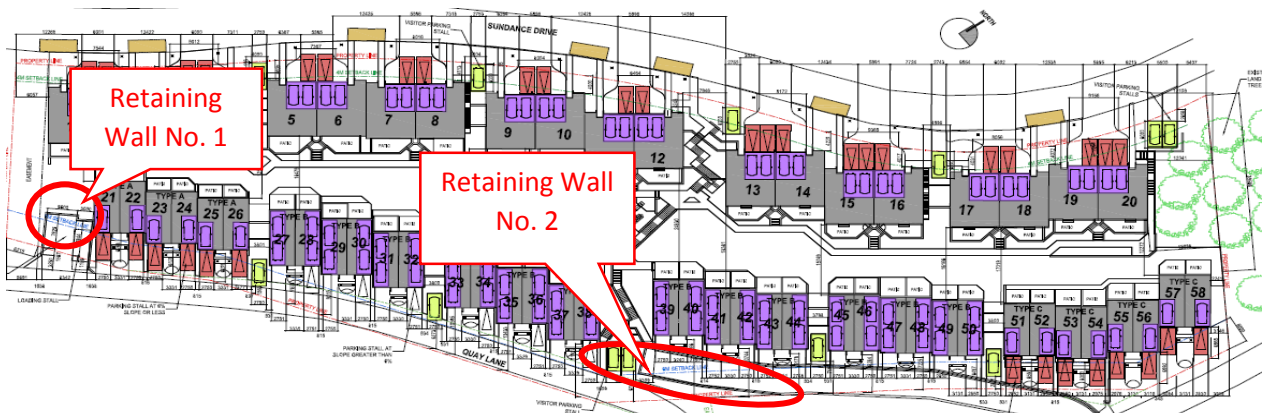


Figure 15: Over-height retaining walls (2)

The second over-height retaining wall (Figure 15-18) is proposed to extend the existing physical laneway on Ensign Lane to accommodate vehicle access/egress to units 39-44, as the existing site topography is steep at this location. The wall is

proposed to be located adjacent to the easement boundary but not encroach within it or the adjacent property.

Staff do not have concerns with the height of the wall, but do have concerns due to its location and the proximity of the extended portion of laneway to the units near its terminus as it relates to on-site circulation and safety. Proposed units 39 and 40 are likely to encounter challenges with egress from their tandem garages given the minimal space available for turning. Where turning is possible, the wall results in an immediate 3.5 m drop in elevation to surrounding steep slopes and visitor parking spaces. Winter conditions and snow storage at the terminus of the lane is also likely to further exacerbate this hazard.

Staff are recommending that Council direct the applicant to revise the design of the extended portion of Ensign Lane to include increased safety elements consistent with best practices and the City's Hillside DPA guidelines and demonstrate that turning movements can be reasonably accommodated to any units near its terminus.

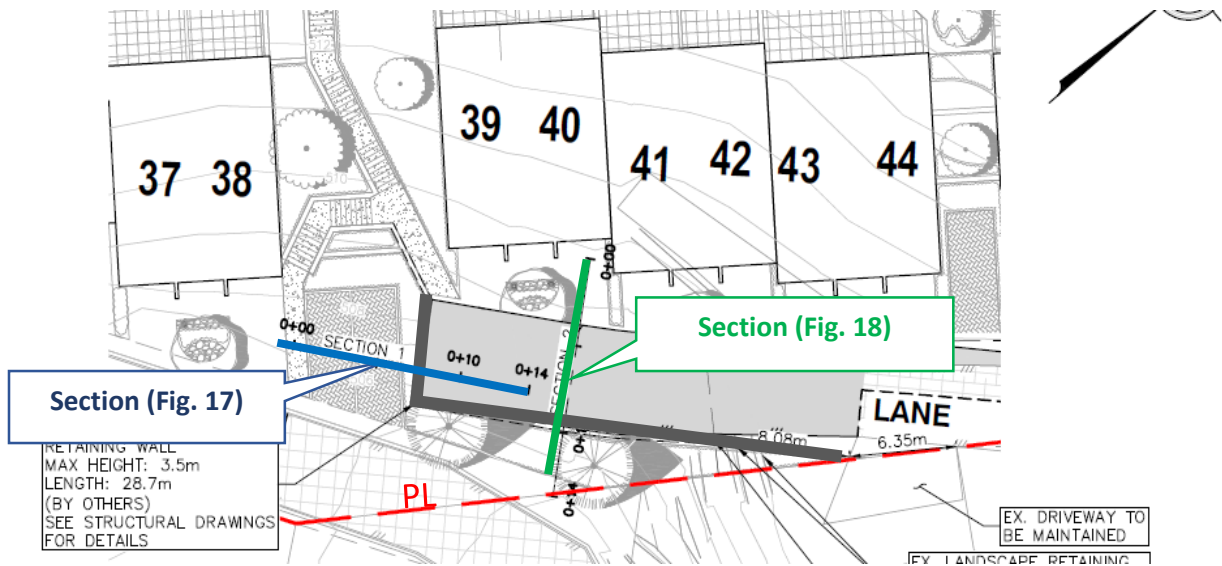


Figure 16: Over-height retaining wall No. 2.

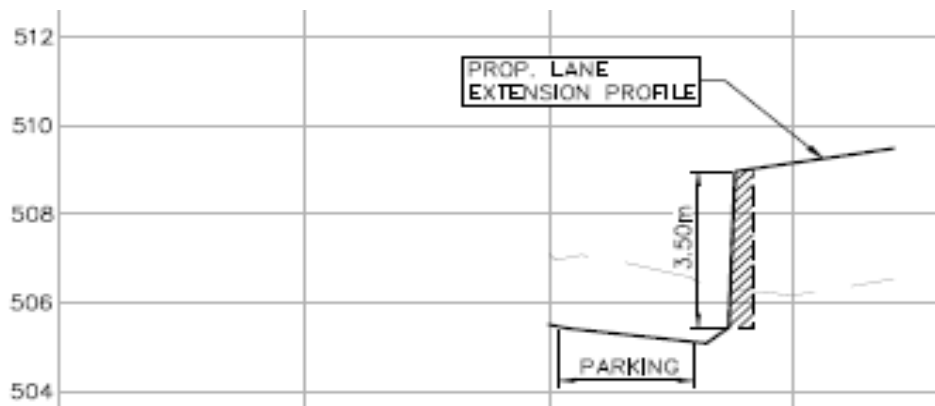
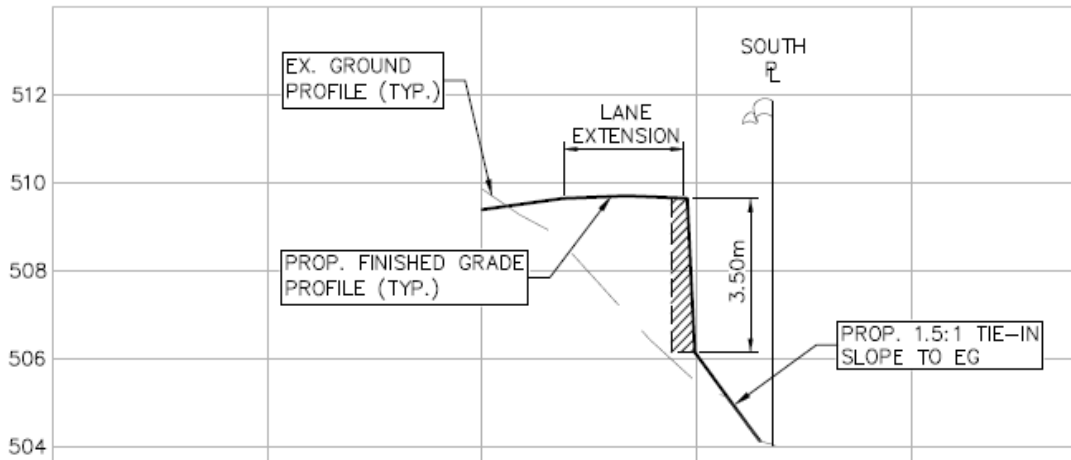
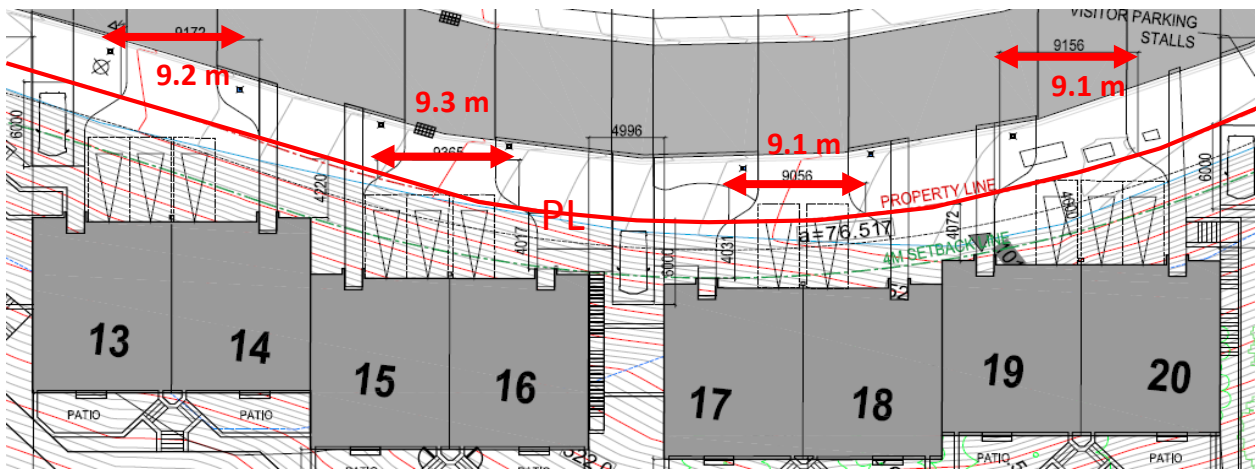


Figure 17: Over-height retaining wall No. 2, section drawing (blue).



**Figure 18:** Over-height retaining wall No. 2, section drawing (green).

6. S.4.4.3(ii)(b) – Increase the width of driveway crossings at the property line (Sundance Drive) from a maximum 7.0 m to 9.4 m (varies), in accordance with the site plan (Attachment 2, Figure 19).



**Figure 19:** variance to the width of driveway crossings (4 of 8 crossing over 7.0 m shown here).

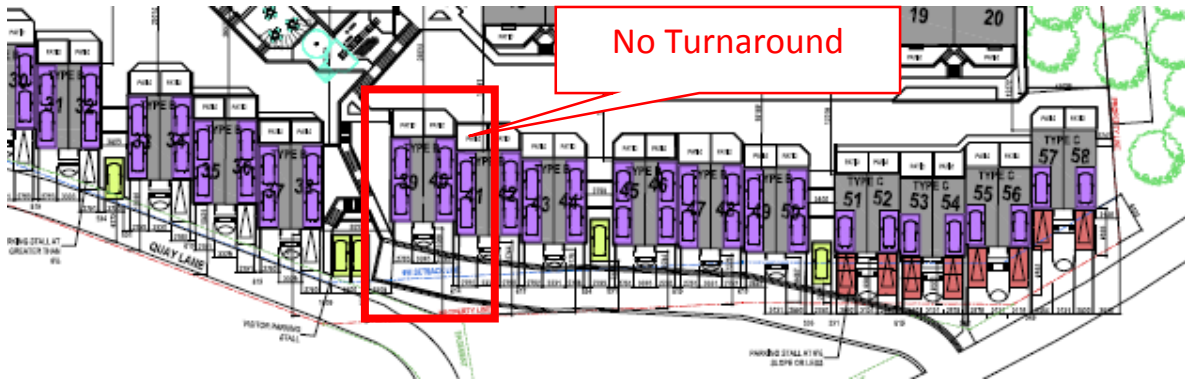
A variance to the maximum width of driveway crossings is to accommodate double driveways for the units on Sundance Drive. This variance applies to eight of 10 paired driveway crossings. Staff do not anticipate impacts from the paired driveways and support the variance.

*Works and Services Bylaw No. 0249 Variance*

7. S.8.2.2: To forgo the requirement to install a turnaround at or near the terminus of private hillside lane (Figure 20).

The City's Works and Services Bylaw requires private hillside lanes to include a turnaround at or near their terminus. This is for the purpose of improving vehicular

circulation, particularly with emergency or service vehicles (snow clearing, delivery, waste management). In the absence of a turnaround, it is anticipated that larger vehicles would need to turnaround on private driveways or reverse in or out of the laneway. This variance applies to Ensign Lane only, as a turnaround is proposed on Ensign Quay Lane.



**Figure 20:** Variance to forgo turnaround on Ensign Lane

Although the City’s Fire Department has confirmed they do not oppose the variance, the City’s Engineering Department has stated that the turnaround is important for vehicle circulation and safety. In the absence of a turnaround, service and emergency vehicles would potentially be obstructed or obstruct the laneway. Passenger vehicles are also anticipated to have challenges turning around, given that the laneway contains only two visitor spaces and short driveway apron depths for units 39-50. Also, units 51-58 include only single garages; while consistent with the Zoning Bylaw regulations for off-street parking, including required parking in front of the garages adjacent to the laneway may exacerbate anticipated access and circulation challenges.

## Technical Review

### *Servicing*

A Functional Servicing Report (FSR) has been provided that concludes the property is well suited for this development and can be developed for the intended use. The property is noted to be connected to community water, storm, and sanitary sewer services. Access is accommodated by the public road, Sundance Drive, and two private laneways – one of which requires a variance to forgo a turnaround (see variance No. 7, Figure 20).



*Construction Management Plan*

A Construction Management Plan (CMP) was submitted with the application (Attachment 4). The CMP outlines the phasing of the proposed development and steps to mitigate impacts to adjacent properties. Primary site access is proposed from Sundance Drive, with the lanes to the south used only in case of emergency and as needed to conduct construction activities otherwise not feasible from Sundance Drive. Construction is proposed to occur in five phases in the sequence noted in Figure 21.



**Figure 21:** Construction phasing (Construction Management Plan)

Work is anticipated to occur on the laneways to extend and tie-in utilities to existing city infrastructure. A variety of mitigation measures are noted in the CMP, including those that address erosion and sediment, dust, traffic, trade parking, and noise. The CMP is also intended to be attached as a schedule to the permit to ensure construction follows the noted phasing and mitigation measures.

*Snow-Clearing*

Ensign Lane and Ensign Quay Lane are both private lanes. Snow-clearing and maintenance of the physical laneways are managed by the subject property and those existing residences/properties located to the south-east of the laneway. Snow storage locations for the site have not been confirmed and have the potential to cause circulation challenges, specifically on Ensign Lane due to the retaining wall and lack of turnaround or loading space. Based on this, it is recommended that additional consideration be put into snow storage.

*Garbage / Recycling Collection*

Due to the proposed variances to the turnaround requirement on Ensign Lane, staff have been in contact with the RDCO to confirm serviceability related to garbage and recycling collection. The RDCO confirmed that due to the size of the large collection vehicles, narrow width of the laneway, and lack of turnaround, the townhouse units (21-58) are not serviceable. In providing this information to the applicant, they have stated that private

garbage/recycling collection has been confirmed possible through the use of smaller trucks for ease of access in the area.

## **Referrals**

The application was referred to multiple external agencies and internal departments. Staff have been working with the applicant to reduce the number of variances as much as possible, with the priority being the mitigation of potential impacts to existing and proposed residences along the laneways and related circulation and safety. Detailed review comments were provided to the applicant for their consideration in advance of their request to move the application forward to Council as presented.

## **Public Notification**

In accordance with the *Local Government Act*, a notice has been mailed to residents and tenants within 100 m of the subject property advising them how to make a submission for Council's consideration, as it relates to the proposed variances. Notice of Application signage has also been installed on the subject property in accordance with the City's Application Procedures Bylaw No. 0260. At the time of writing this report, one submission has been received.

During the notification period, staff were advised of a small area of land that would require an access easement to support access for approximately four units (53-56) proposed on Ensign Lane. This issue has been included in the recommended motion to be addressed prior to the application returning to Council for consideration. Alternatively, should Council otherwise be supportive of the variances and the proposal as presented, registration of an access easement will be included as a condition of permit issuance – see Alternate Motion.

## **CONCLUSION**

While staff are generally supportive of the additional housing units, form and character, building materials and many of the variances, individually, there are concerns with the collective impacts of the variances related to off-street parking and circulation. When considered collectively, their anticipated impact creates a situation that may compromise the safety and circulation of site traffic and visitors to the site, as well as service and emergency vehicles, particularly on Ensign Lane.

Staff recommend that Council postpone consideration of this application and direct the applicant to revise the following elements of their proposal without resulting in further variances:

- Include a turnaround and loading space on Ensign Lane;
- Secure legal access for units 53-56 (approx.) on Ensign Lane;

- Reallocate the number of visitor spaces for each laneway to be proportional to the number of units;
- Revise the design of the extended portion of Ensign Lane to include increased safety elements consistent with best practices and the City's Hillside DPA guidelines and demonstrate that turning movements can be reasonably accommodated to any units near its terminus; and
- Clearly provide a location for snow deposition on Ensign Lane.

**Alternate Recommendation** to Consider and Resolve:

1. Authorize Issuance of Development Permit (DP 22-26)

**THAT** Council authorize the issuance of a multiple family and intensive residential, hillside, and sensitive terrestrial ecosystem development permit with variances (File: DP 22-26) to accommodate a 58-unit townhome development, in accordance with the attached permit (Attachment 1), subject to:

- submission of a landscape security in the amount of \$400,080.90; and
- registration of an easement for legal access to units 53-56 (approx.) proposed on Ensign Lane.

2. Deny Application

**THAT** Council deny Development Permit (DP 22-26).

Council may wish to deny the application and have the applicant redesign the proposal in accordance with the City's Official Community Plan Development Permit guidelines. If the proposal was revised, the Development Permit would require further consideration by Council.

**REVIEWED BY**

Chris Oliver, Planning Manager

Brent Magnan, Director of Development Approvals

Corinne Boback, Legislative Services Manager / Corporate Officer

**APPROVED FOR THE AGENDA BY**

Paul Gipps, CAO

Powerpoint: Yes  No

Attachments:

1. Draft Development Permit (DP 22-26)
2. Architectural Submission (Site Plan, Elevations, Floor Plan, Renderings)
3. Landscape Plan
4. Construction Management Plan
5. Submission
6. Delegation Request – Ryan Jones



**CITY OF WEST KELOWNA**  
**DEVELOPMENT PERMIT WITH VARIANCES**  
**DP 22-26**

**To:** Gatehouse Developments (Providence) Inc., BC1304810  
 c/o Mike Sheppard  
 PO Box 2585 STN Sardis Main  
 Sardis, BC, VR2 1A8

**CC:** Distefano Jaud Architecture  
 c/o Carlo Distefano  
 3-1331 Ellis Street  
 Kelowna, BC, V1Y 1Z9

1. This Permit is issued subject to compliance with all of the Bylaws of the City of West Kelowna applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Permit applies to and only to those lands within the City of West Kelowna described below, and any and all buildings, structures and other developments thereon:

**Lot 37 District Lot 2044 ODYD Plan KAP90501**  
**(3401 Sundance Drive)**

3. This **Multiple Family and Intensive Residential (DPA 3), Hillside (DPA 4), and Sensitive Terrestrial Ecosystem (DPA 5) Development Permit Area** allows the construction of 58 townhouses contained in 11 buildings, subject to the following conditions and related Schedules:
  - The siting and phasing of buildings are to be in accordance the **Site Plan Drawings A1.0-A1.2**, prepared by DiStefano Jaud Architecture, dated February 24, attached as Schedule "A";
  - The exterior design and finish of buildings are to be in accordance with the **Architectural submission** (elevations, material and colour schedule, renderings) prepared by DiStefano Jaud Architecture, dated February 24, attached as Schedule "A";
  - The dimensions and siting of retaining walls and servicing to be constructed on the land shall be in accordance with **Civil Engineering Drawings** (site servicing and grading plans, pre- and post-contours, hammerhead cross sections, lane extension cross sections, stormwater management, erosion and sediment control plan, turning movement plan), package prepared by Aplin & Martin Consultants Ltd., prepared April 18, 2023, Rev. 2, "Issued for Development Permit", Project No. 20-3099, attached as Schedule "B";
  - Landscaping to be provided on the land in general accordance with **Landscape Drawings**, prepared by van der Zal + Associates, Drawing No. L-00, L-01A-L01C, L-02, L-03A-L03C, LS-01-LS-03, LD-01-LD-04, dated April 18, 2023, attached as Schedule "C";

- Construction activities to be in accordance with the **Environmental Assessment Reports**, prepared by Makonis Consulting Ltd., dated June 2021, attached as Schedule “E”, including but not limited to:
  - i. Bird nest surveys must be done in advance of clearing of trees between March 15 and August 15, and in accordance with the *Migratory Birds Act* and any other provincial and federal regulations;
  - ii. Spoil piles left for longer than two weeks are to be tarped;
  - iii. Spill-containment kits will be on site and on each equipment/machine; and
  - iv. Work site will be maintained in clean state. Oil containers, cans, grease tubes, rags, etc. and any other materials packaging will be removed from the work area to an approved disposal location immediately on completion of the servicing job.
  
- All construction activities and associated mitigation measures to be conducted on the land be in general accordance with the **Geotechnical Report**, dated February 8, 2021, and Geotechnical Memo, dated July 8, 2021, prepared by Interior Testing Services Ltd, attached as Schedule “F”, and the **Construction Management Plan**, prepared by Gatehouse Developments Inc., dated September 2, 2020, attached as Schedule “G”, including but not limited to:
  - i. Rock slopes to be finished no steeper than 0.5(H):1(V) and scaled to remove loose particles at the rock face.
  - ii. 3 m clearing of overburden above the top of the rock cuts with chain link fencing installed above the rock cut.
  - iii. With rock slopes less than 2.5 m in height, a catchment buffer is not required, however where rock cuts are 2.5 m to 6 m in height, provide a 1.5 m wide catchment buffer area.
  - iv. Foundations to be set below and behind a conventional 2H:1V plane projected up from the toe of a downhill slope.
  - v. Finished grades should be sloped away from the building in order to minimize infiltration of water into the backfill zone. Foundations to be set below and behind a conventional 2H:1V plane projected up from the toe of a downhill slope.
  - vi. ITSL should be called to review the stripped subgrade prior to placing new grading fills, as well as during fill placement to carry out periodic field density testing.
  
- The following **variances to Zoning Bylaw No. 0265** are included as part of this Development Permit, in accordance with the Site Plan attached as Schedule “A”, and Civil Package, attached as Schedule “B”:
  - i. S.10.11.4(g)(i) – Reduce the minimum required front parcel boundary setback (Sundance Drive) from 6.0 m to 4.0 m (varies);
  - ii. S.4.3.2(b) – Reduce minimum required distance between the parking and loading spaces from the front or exterior parcel boundary from 3.0 m from 0.0 m (varies);
  - iii. S.4.10.1(a) – Reduce the minimum required number of loading spaces from four to one space(s);

- iv. S.4.10.2(a) – Reduce the minimum required dimensions of a loading space from 3.0 m x 9.0 m; and
  - v. S.3.14.1 – Increase the maximum height of two retaining walls from 2.5 m to 3.5 m.
  - vi. S.4.4.3(ii)(b) – increase the width of driveway crossing at the property line from a maximum 7.0 m to 9.4 m (varies).
- The following **variances to the Works and Services Bylaw No.0249** are included as part of this Development Permit, in accordance with the Site Plan attached as Schedule “A”:
  - i. S.8.2.2: Forgo the requirement to install a turnaround at or near the terminus of private hillside lane.
4. As a condition of the issuance of this Permit, the property owner shall deposit 125% of the cost estimate for the **Landscaping (\$400,080.90)** as performance security to ensure installation of the required landscape plantings, in accordance with the City’s Development Application Procedures Bylaw No. 0260 and Schedule “D”.
5. Should any interest be earned upon the security, it shall accrue to the Permittee and be paid to the Permittee if the security is returned. The condition of the posting of the security is that should the Permittee fail to carry out the development hereby authorized, according to the terms and conditions of the Permit within the time provided, the City of West Kelowna may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Permittee, or should the Permittee carry out the development permitted by this Permit within the time set out below, the security shall be returned to the Permittee. There is filed accordingly:
6. The land described herein shall be developed strictly in accordance with the terms and conditions of this Permit and any plans and specifications attached to this Permit, which shall form a part hereof. Should any changes be required to this permit, please ensure that you obtain written approval from City of West Kelowna prior to making any changes.
7. If this Development Permit has not been issued within one year from approval, Development Permit DP 22-26 shall be deemed to have been refused and the file will be closed.
8. **This Permit is not a Building Permit.**
9. **This is not a Municipal Highways Permit.**
10. All archaeological sites in B.C. are protected under the Heritage Conservation Act. This applies to whether sites are located on public or private land and whether the site is known or unknown. If you think you have uncovered an archaeological site during a building project or renovation, please do not disturb the site further and call B.C.’s Archaeology Branch immediately at (250) 953-3334. Branch archaeologists will review your project plans and make recommendations to manage site impacts and secure the required permitting.
11. Subject to the terms of the permit, where the holder of a permit issued under the *Local Government Act* does not substantially commence any construction with respect to which

the permit was issued within one year after the date it is issued, the permit lapses.

AUTHORIZING RESOLUTION NO. **CXXX/XX** PASSED BY THE MUNICIPAL COUNCIL ON \_\_\_\_\_, 2023.

Signed on \_\_\_\_\_

\_\_\_\_\_  
Corporate Officer

I hereby confirm that I have read and agree with the conditions of Development Permit DP 22-26 with Variances and will ensure that copies of the Permit will be provided to onsite personnel at time of construction.

Signed on \_\_\_\_\_

\_\_\_\_\_  
Property Owner or Agent

ISSUED on \_\_\_\_\_

Schedules:

- A. Architectural submission by DiStefano Jaud Architecture, Drawing No. A1.0-1.2, A2.1-2.7, A3.1-3.7, dated February 24, 2023.
- B. Civil drawings, prepared by Aplin & Martin Consultants Ltd., Drawing Package prepared April 18, 2023, Rev. 2, Issued for Development Permit, Project No. 20-3099.
- C. Landscape Plan, prepared by van der Zal + Associates, Drawing No. L-00, L-01A-Lo1C, L-02, L-03A-L03C, LS-01-LS-03, LD-01-LD-04, dated April 18, 2023.
- D. Landscape Estimate, prepared van der Zal + Associates, dated May 5, 2023, Project File Reference 2021-128.
- E. Environmental Reports, prepared by Makonis Consulting Ltd., dated June 2021.
- F. Geotechnical report, dated February 8, 2021, and Geotechnical Memo dated, July 8, 2021, prepared by Interior Testing Services Ltd.
- G. Construction management plan, prepared by Kyle Weiher, Senior Project Manager, Gatehouse Construction Inc., no date.



# Attachment 2

ISSUE	NO.	DATE
DP SUBMISSION	01	MAY 21, 2022
DP REVISIONS	02	FEBRUARY 24, 2023
DP REVISIONS	03	APRIL 17, 2023

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EXISTING NATURAL LANDSCAPE AND TREES TO REMAIN

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### SITE INFORMATION

PARCEL ZONING	R4
PARCEL AREA	13,043m <sup>2</sup>
TOTAL FOOTPRINT AREA OF HOMES	4,534m <sup>2</sup>
LOT COVERAGE	35%

### AMENITY SPACE

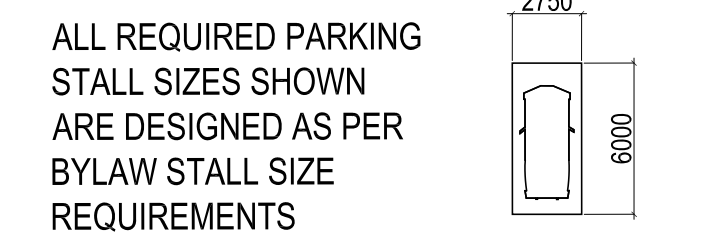
FOR MORE THAN 1 BEDROOM UNIT	25.0m <sup>2</sup> (269.1 ft <sup>2</sup> )
TOTAL NUMBER OF UNITS	58
REQUIRED AMENITY AREA	25 X 60 = 1,500m <sup>2</sup> OF AMENITY SPACE
AMENITY AREA PROVIDED	4,012 m <sup>2</sup> for central court area and patios

LOADING	
REQUIRED	PROVIDED
1 PER 15 UNITS TOTAL UNITS = 58 REQUIRED = 3.9 = 4	PROVIDE 1 DEDICATED LOADING ZONE ON QUAY LANE  ON SUNDANCE 8 HOMES HAVE ADEQUATE DRIVEWAY AREA TO ALLOW FOR LOADING  ON QUAY LANE 3 HOMES HAVE ADEQUATE DRIVEWAY AREA TO ALLOW FOR LOADING

TANDEM UNIT TYPE A: SHORT UNIT WITH ONE DEDICATED STALL IN GARAGE	TANDEM UNIT TYPE B: DEEP UNIT WITH 2 CAR TANDEM GARAGE	TANDEM UNIT TYPE C: SHORT UNIT WITH ONE DEDICATED STALL IN GARAGE. SUBSTANTIAL GRADE CHANGE RESULTS IN PATIO ONLY ACCESSIBLE AT 3RD LEVEL. FRONT DECK ALSO EXTENDED AT 2ND LEVEL ON FRONT OF UNIT.
--	---	---

SUNDANCE DRIVE UNITS - SIDE BY SIDE	QUAY LANE UNITS - TANDEM		
TYPICAL UNIT AREA = 112.4m <sup>2</sup>	TYPICAL UNIT AREA TYPE A = 59.92m <sup>2</sup>	TYPICAL UNIT AREA TYPE B = 60.29m <sup>2</sup>	TYPICAL UNIT AREA TYPE C = 59.92m <sup>2</sup>
TOTAL NUMBER OF UNITS = 20	TOTAL NUMBER OF UNITS TYPE A = 6	TOTAL NUMBER OF UNITS TYPE B = 24	TOTAL NUMBER OF UNITS TYPE C = 8
TOTAL AREA FOR ALL UNIT 1 TO 20 = 2,248 m <sup>2</sup>	TOTAL AREA FOR ALL UNITS = 360 m <sup>2</sup>	TOTAL AREA FOR ALL UNITS = 1,447 m <sup>2</sup>	TOTAL AREA FOR ALL UNITS = 479 m <sup>2</sup>

UNIT PARKING			
REQUIRED	PROVIDED SUNDANCE	REQUIRED	PROVIDED QUAY
PER UNIT = 2 TOTAL UNITS = 20 REQUIRED = 40	GARAGE PARKING = 40 DRIVEWAY STALLS = 23 TOTAL = 63	PER UNIT = 2 TOTAL UNITS = 38 REQUIRED = 76	GARAGE PARKING = 62 DRIVEWAY STALLS = 14 TOTAL = 76
<b>VISITOR PARKING</b>		TOTAL REQUIRED PARKING = 40+76 = 116 x 10% = 11.6 OR 12 PROVIDED 12	
DEVELOPMENT VISITOR PARKING REQUIREMENT = 10% OF REQ. TOTAL REQUIRED = 40 + 76 = 116 x 10% = 11.6 OR 12		STALLS AVAILABLE = 7	
ALSO AVAILABLE IS STREET PARKING ALONG SUNDANCE ROAD			



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PROJECT  
**PROVIDENCE**  
RESIDENTIAL DEVELOPMENT

PROJECT NUMBER  
DJA 2021-58

PROJECT LOCATION  
3401 SUNDANCE DRIVE

SHEET TITLE  
FULL SITE PLAN  
PROJECT DETAILS

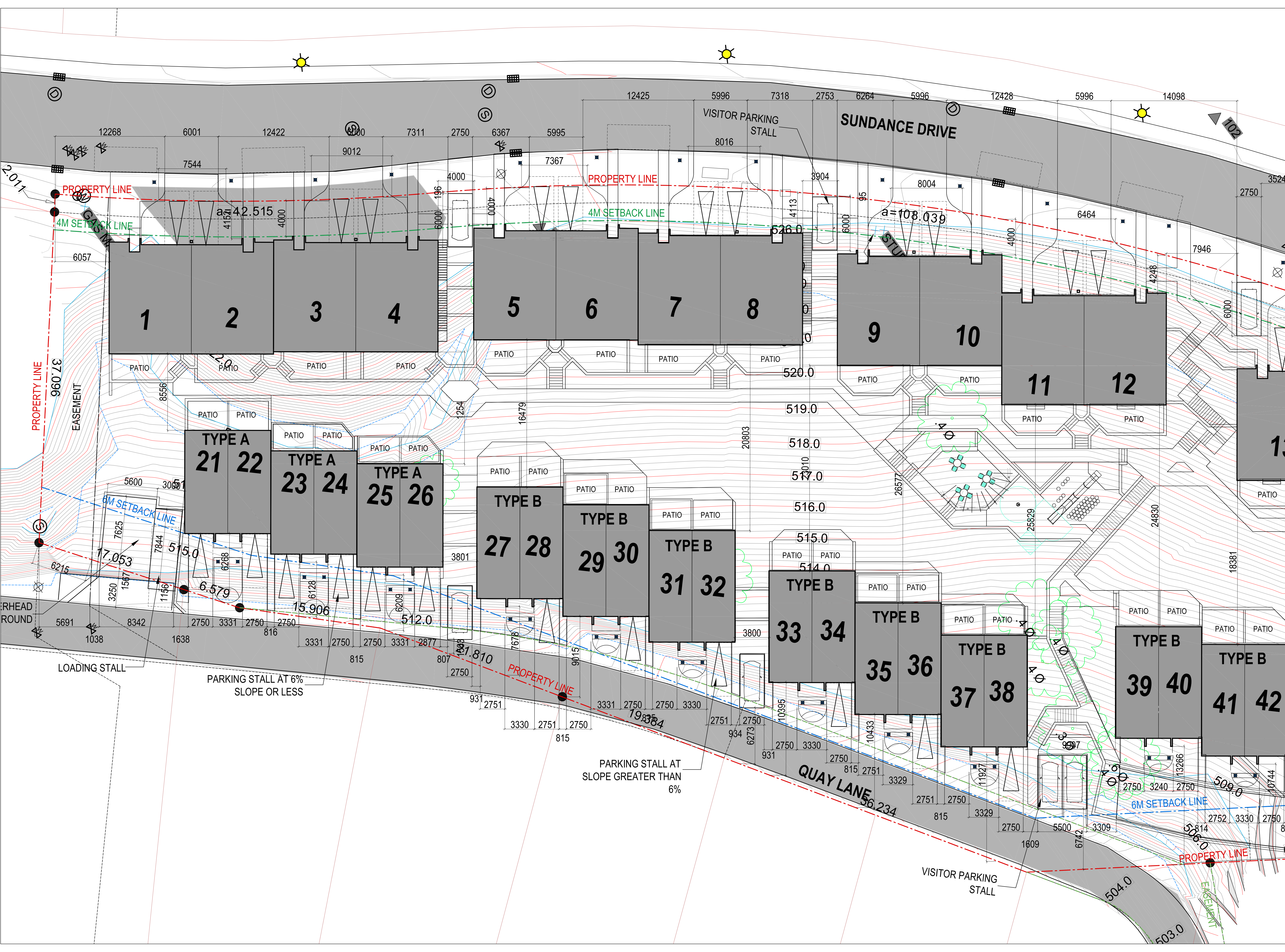
DATE  
FEBRUARY 24, 2023

SHEET NUMBER

# A1.0

SCALE  
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PROJECT  
**PROVIDENCE**  
RESIDENTIAL DEVELOPMENT

PROJECT NUMBER  
DJA 2021-58

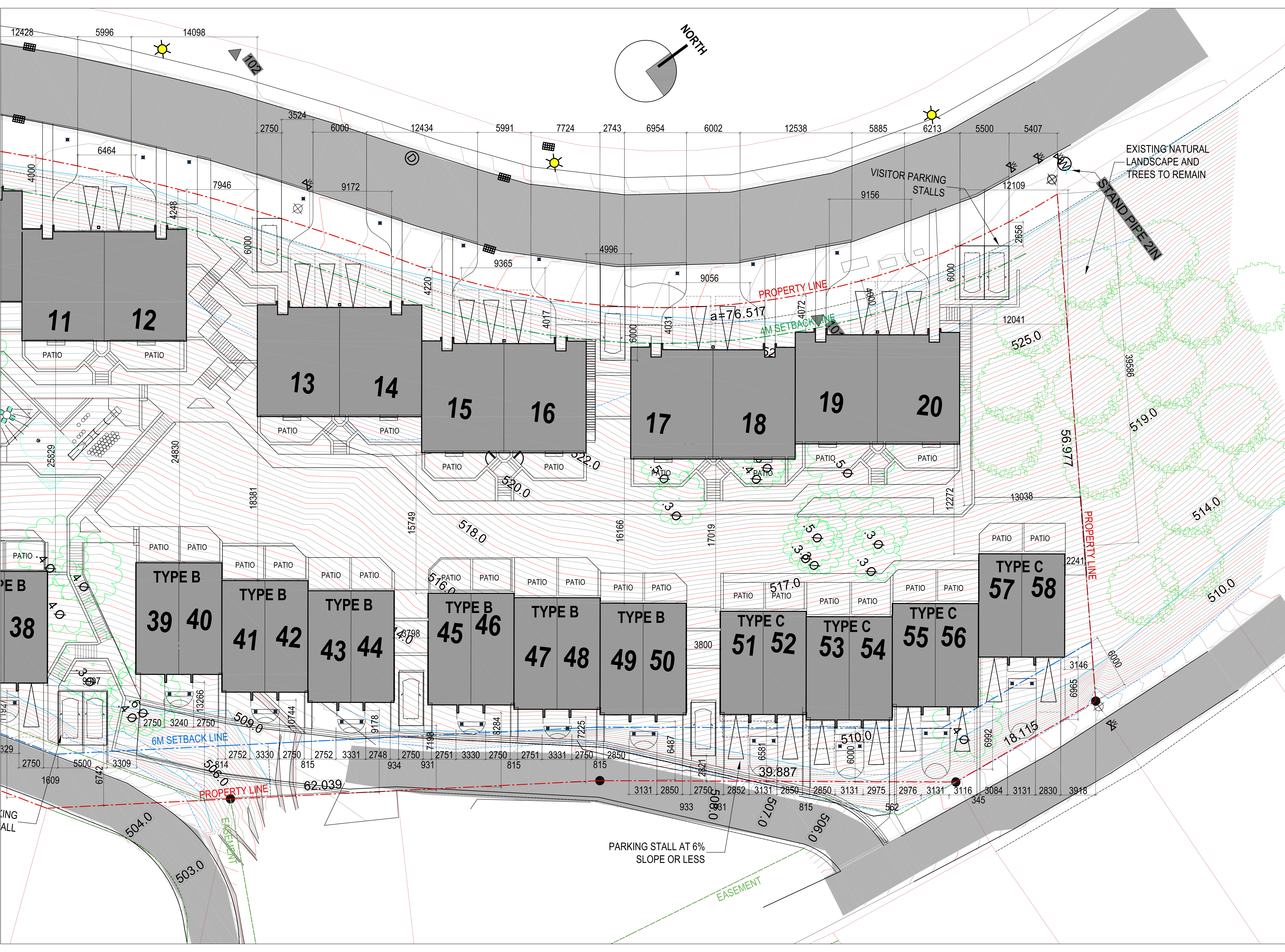
PROJECT LOCATION  
3401 SUNDANCE DRIVE

SHEET TITLE  
PARTIAL SITE PLAN  
SETBACKS AND DIMENSIONS

DATE  
FEBRUARY 24, 2023

SHEET NUMBER  
**A1.1**

SCALE  
1:175



ISSUE	NO.	DATE
DP SUBMISSION	01	MAY 21, 2022
DP REVISIONS	02	FEBRUARY 24, 2023
DP REVISIONS	03	APRIL 17, 2023

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PROJECT  
**PROVIDENCE**  
RESIDENTIAL DEVELOPMENT

PROJECT NUMBER  
DJA 2021-58

PROJECT LOCATION  
3401 SUNDANCE DRIVE

SHEET TITLE  
PARTIAL SITE PLAN  
SETBACKS AND DIMENSIONS

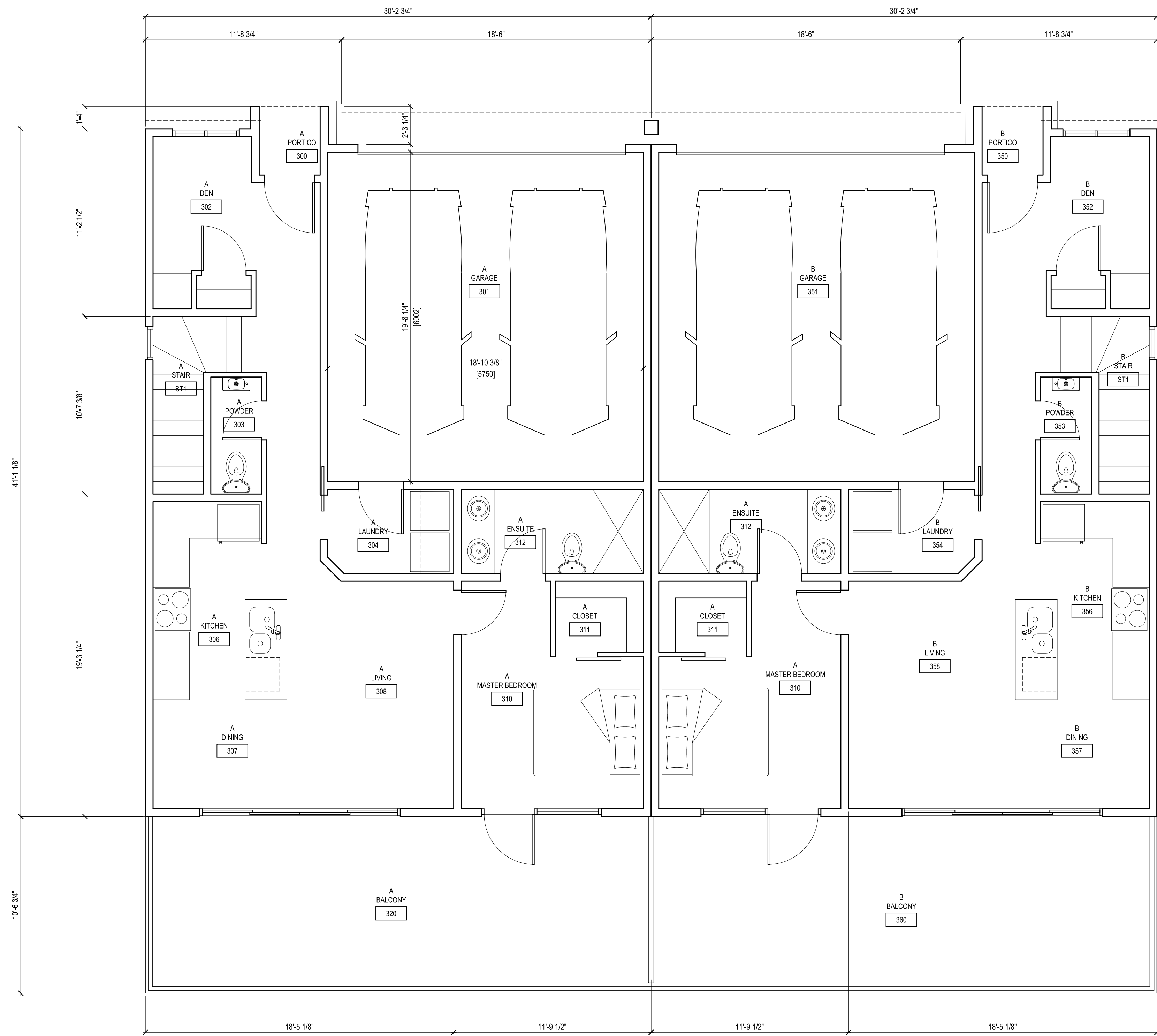
DATE  
FEBRUARY 24, 2023

SHEET NUMBER  
**A1.2**

SCALE  
1:175

ISSUE	NO.	DATE
DP SUBMISSION	01	MAY 21, 2022
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DP REVISIONS	03	APRIL 17, 2023

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**UNIT AREAS:**  
MAIN FLOOR (ENTRY LEVEL) = 1,210 sq.ft.  
MID-LOWER LEVEL = 738 sq.ft.  
BOTTOM LEVEL = 738 sq.ft.

**GENERAL NOTES:**

- PLANS SHOWN ARE THE TYPICAL TWO UNIT GROUPING. FOR THESE UNIT TYPES THEY WILL BE ASSEMBLED IN 2 GROUPS OF 2 FOR A TOTAL OF 4 UNITS AS PER THE SITE PLAN.
- SEE SITE PLAN FOR LOCATIONS AND SETBACKS ON LOTS

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**SIDE BY SIDE GARAGE UNIT  
TYPICAL PLAN  
SUNDANCE ROAD FRONTAGE**

1 ENTRY LEVEL  
A2.1 1/4"=1'-0"

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PROJECT  
**PROVIDENCE**

PROJECT NUMBER  
DJA 2021-58

PROJECT LOCATION  
SUNDANCE ROAD

SHEET TITLE  
SIDE BY SIDE UNITS  
ENTRY LEVEL PLAN  
SUNDANCE ROAD

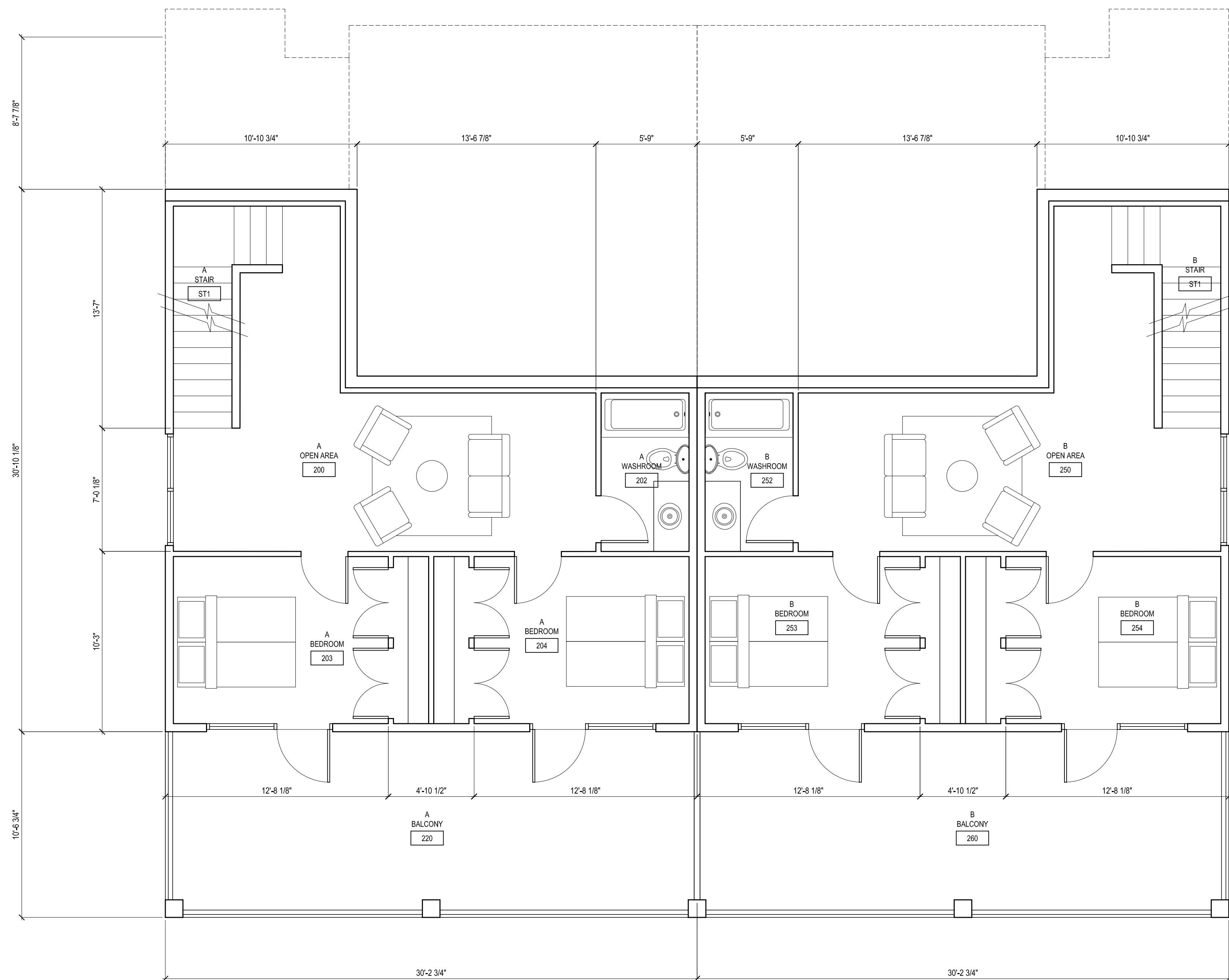
DATE  
FEBRUARY 24, 2023

SHEET NUMBER  
**A2.1**

SCALE  
1/4"=1'-0"

ISSUE	NO.	DATE
DP SUBMISSION	01	MAY 21, 2022
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DP REVISIONS	03	APRIL 17, 2023

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PROJECT  
**PROVIDENCE**

PROJECT NUMBER  
DJA 2021-58

PROJECT LOCATION  
SUNDANCE ROAD

SHEET TITLE  
SIDE BY SIDE UNITS  
LOWER MID-LEVEL PLAN  
SUNDANCE ROAD

DATE  
FEBRUARY 24, 2023

SHEET NUMBER

**A2.2**

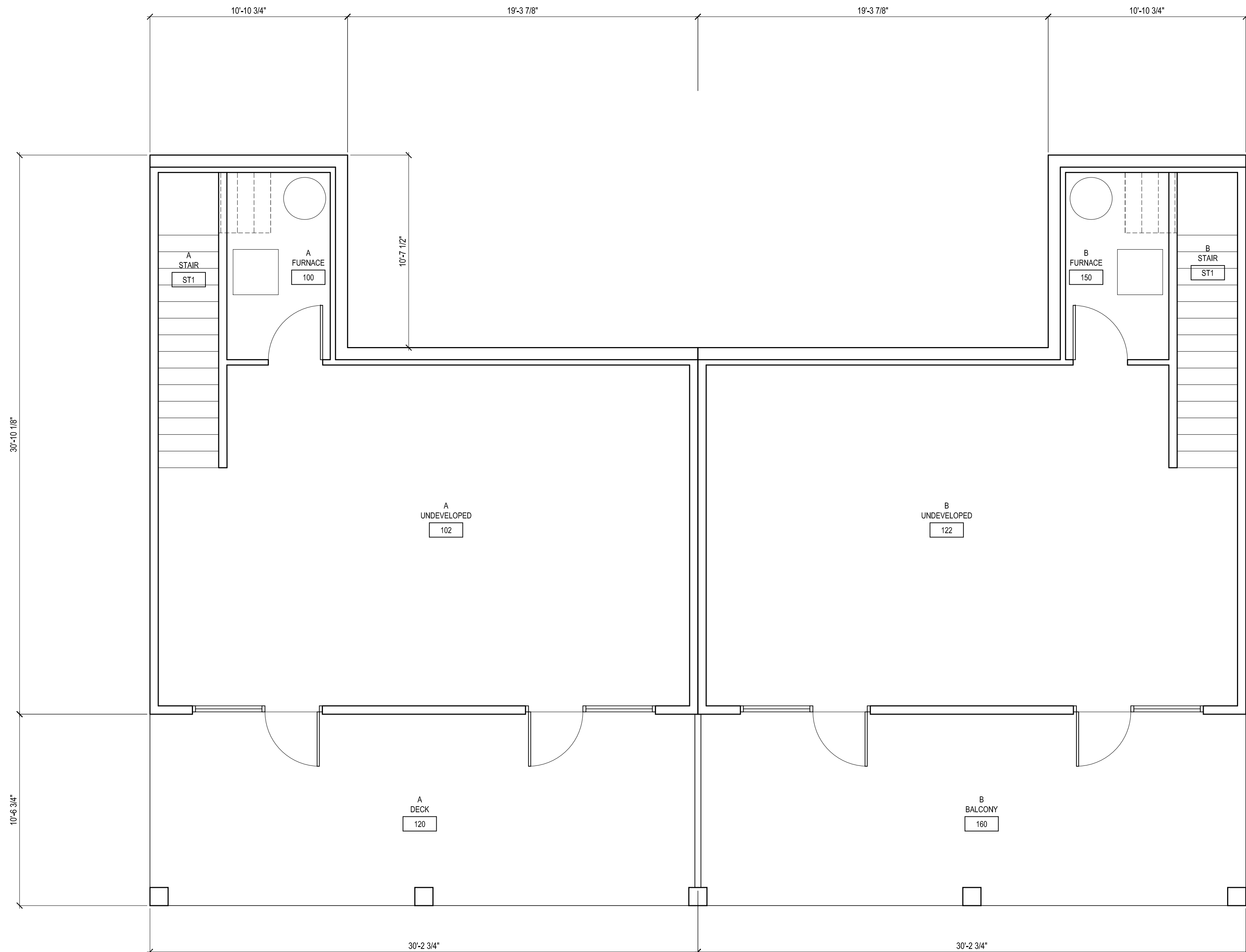
SCALE  
1/4"=1'-0"

**SIDE BY SIDE GARAGE UNIT  
TYPICAL PLAN  
SUNDANCE ROAD FRONTAGE**

1  
A2.2 MID-LOWER LEVEL  
1/4"=1'-0"

ISSUE	NO.	DATE
DP SUBMISSION	01	MAY 21, 2022
DP REVISIONS	02	FEBRUARY 24, 2023
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PROJECT  
**PROVIDENCE**

PROJECT NUMBER  
DJA 2021-58

PROJECT LOCATION  
SUNDANCE ROAD

SHEET TITLE  
SIDE BY SIDE UNITS  
BOTTOM LEVEL PLAN  
SUNDANCE ROAD

DATE  
FEBRUARY 24, 2023

SHEET NUMBER  
**A2.3**

SCALE  
1/4"=1'-0"

**SIDE BY SIDE GARAGE UNIT  
TYPICAL PLAN  
SUNDANCE ROAD FRONTAGE**

1  
A2.3  
LOW LEVEL  
1/4"=1'-0"

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PROJECT NUMBER  
DJA 2021-58

PROJECT LOCATION  
SUNDANCE ROAD

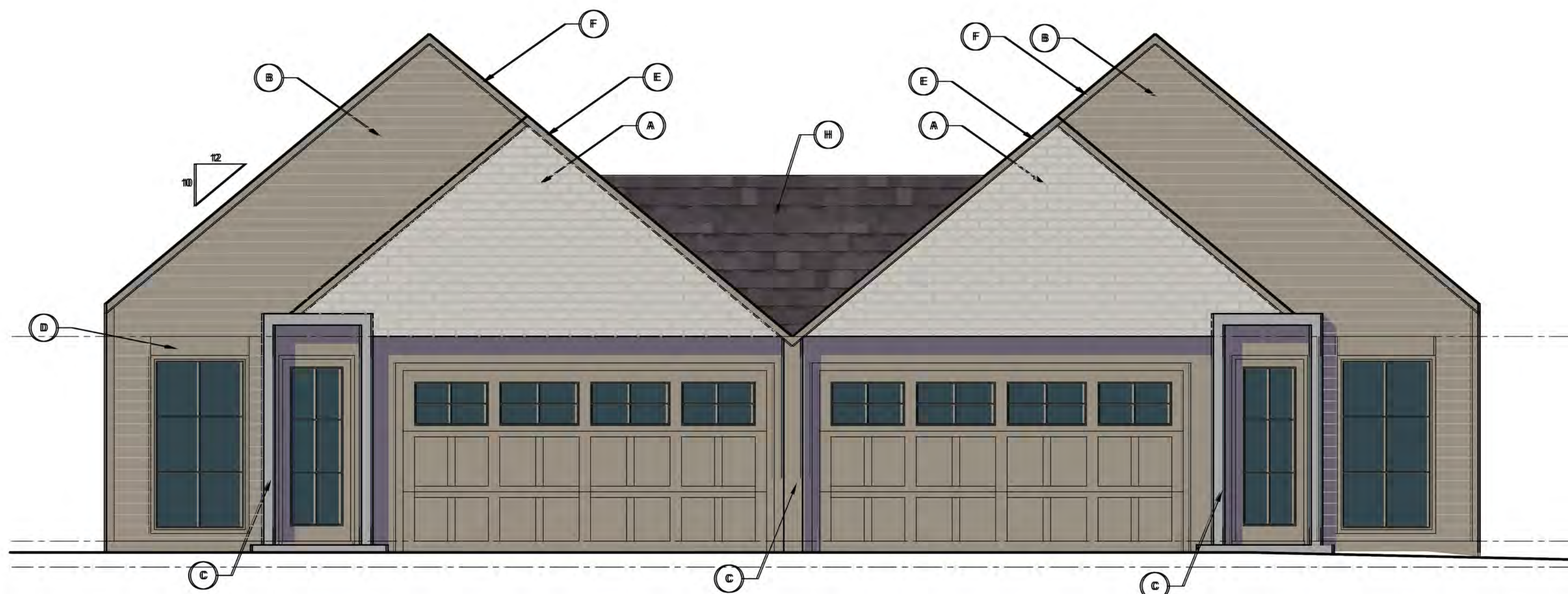
SHEET TITLE  
SIDE BY SIDE UNITS  
ELEVATIONS

DATE  
FEBRUARY 24, 2023

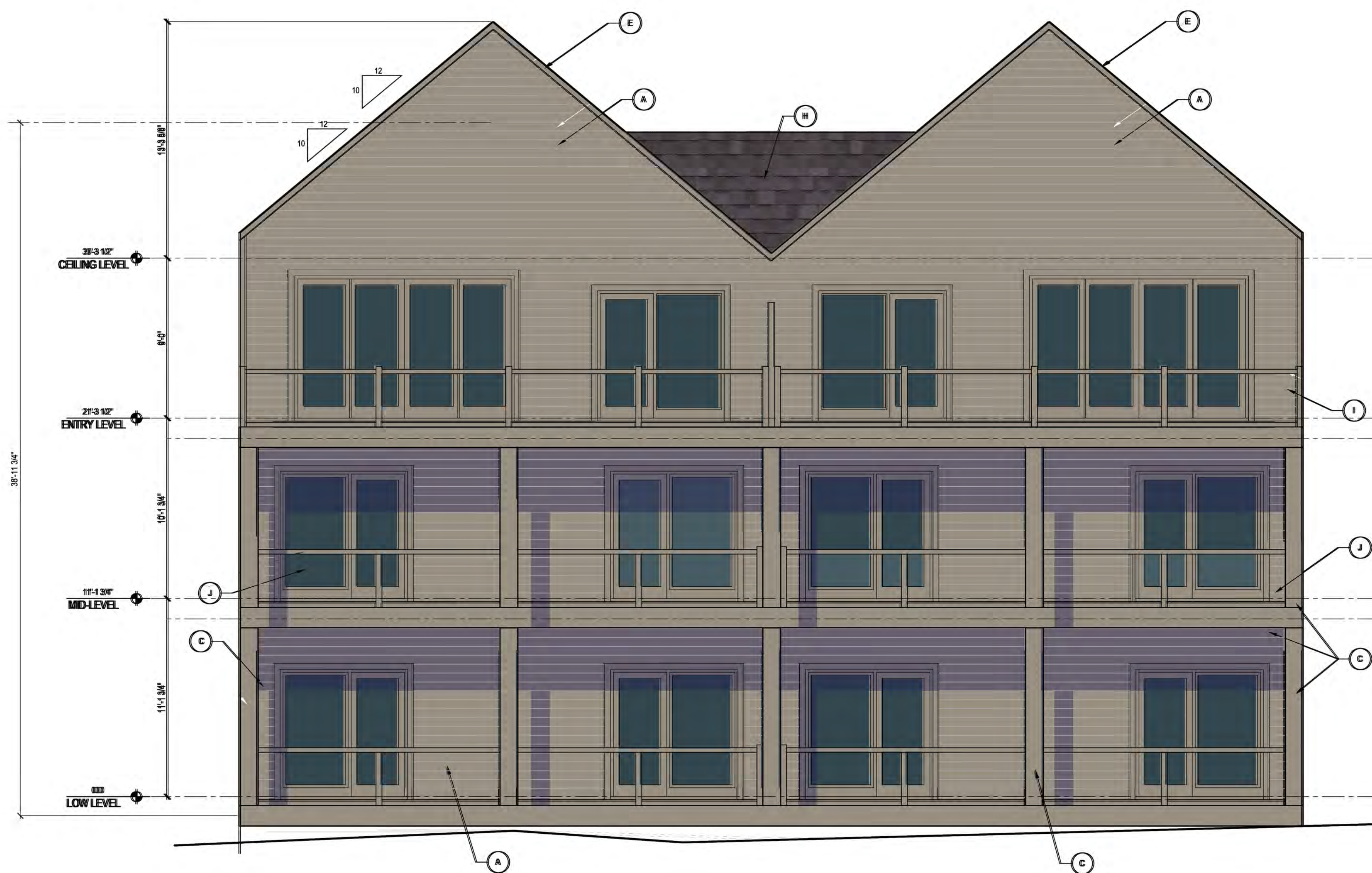
SHEET NUMBER

**A2.4**

SCALE  
1/4"=1'-0"



**1 STREET ELEVATION - COMBINED**  
1/4"=1'-0"



**2 REAR ELEVATION - DOUBLE UNIT**  
1/4"=1'-0"

**EXTERIOR CLADDING LEGEND**

TYPE	DESCRIPTION		DESCRIPTION
A	HARDIE PLANK LAP SIDING COLOUR: 3 VARIATIONS	F	PAINTED FASCIA COLOUR: 3 VARIATIONS
B	BRICK - PACIFIC ART STONE COLOUR: 3 VARIATIONS	H	ASPHALT SHINGLE ROOFING COLOUR: DUAL BLACK
C	HARDIE PLANK COLOUR: 3 VARIATIONS	I	ALUMINUM RAILING WITH GLASS PANELS COLOUR: 3 VARIATIONS
D	HARDIE BOARD TRIM LINTEL COLOUR: 3 VARIATIONS	J	ALUMINUM RAILING WITH PICKETS COLOUR: 3 VARIATIONS
E	PAINTED FASCIA COLOUR: 3 VARIATIONS		GLASS

**BUILDING COLOUR VARIATIONS**

3 COLOUR VARIATIONS WILL BE USED FOR THE DEVELOPMENT. EACH GROUPING OF BUILDING WILL USE ONE COLOUR OPTION WITH THE NEXT GROUP OF UNITS USING COLOUR VARIATION 2 AND THEN 3. THE GENERAL DIFFERENCE IS A CHANGE IN COLOUR TONES FROM LIGHT TO MID AND THEN TO DARK TONES. SEE ATTACHED CLADDING SPECIFICATION SHEETS AND RENDERINGS FOR FURTHER DETAILS. THE COLOURS SHOWN IN THIS ELEVATION REPRESENT THE MID-TONE COLOUR OPTION.

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PROJECT  
**PROVIDENCE**

PROJECT NUMBER  
DJA 2021-58

PROJECT LOCATION  
SUNDANCE ROAD

SHEET TITLE  
SIDE BY SIDE UNITS  
ELEVATIONS

DATE  
FEBRUARY 24, 2023

SHEET NUMBER  
**A2.5**

SCALE  
1/4"=1'-0"

**GENERAL NOTES:**

- STREET ELEVATION SHOWS TYPICAL GROUPING OF UNITS ALONG SUNDANCE ROAD. MATERIAL USAGE AND MODULATION WILL BE REPEATED IN THIS MANNER FOR FULL DEVELOPMENT AS PER RENDERINGS
- REAR ELEVATIONS WILL USE ONLY THE SIDING COLOUR USED ON THE FRONT ELEVATION WITH NO MODULAR PER 4 UNIT GROUPINGS.
- DEVELOPMENT TO HAVE 3 DIFFERENT COLOUR THEMES USED THROUGHOUT THE DEVELOPMENT. SEE THEMES OR VARIATIONS IN LEGEND AND IN STREET SCAPE ELEVATIONS FOR HOW COLOURS WILL BE ASSIGNED

**EXTERIOR CLADDING LEGEND**

TYPE	DESCRIPTION
A	HARDIE PLANK LAP SIDING COLOUR: 3 VARIATIONS
B	BRICK - PACIFIC ART STONE COLOUR: 3 VARIATIONS
C	HARDIE PLANK COLOUR: 3 VARIATIONS
D	HARDIE BOARD TRIM LINTEL COLOUR: 3 VARIATIONS
E	PAINTED FASCIA COLOUR: 3 VARIATIONS
F	PAINTED FASCIA COLOUR: 3 VARIATIONS
H	ASPHALT SHINGLE ROOFING COLOUR: DUAL BLACK
I	ALUMINUM RAILING WITH GLASS PANELS COLOUR: 3 VARIATIONS
J	ALUMINUM RAILING WITH PICKETS COLOUR: 3 VARIATIONS
	GLASS

**BUILDING COLOUR VARIATIONS**

3 COLOUR VARIATIONS WILL BE USED FOR THE DEVELOPMENT. EACH GROUPING OF BUILDING WILL USE ONE COLOUR OPTION WITH THE NEXT GROUPING USING COLOUR VARIATION 2 AND THEN 3. THE GENERAL DIFFERENCE IS A CHANGE FROM LIGHT TO MID TO DARK TONES. SEE ATTACHED CLADDING SPECIFICATION SHEETS AND RENDERINGS FOR FURTHER DETAILS



ISSUE	NO.	DATE
DP SUBMISSION	01	MAY 21, 2022
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WWW.DISTEFANOJAUD.COM

PROJECT  
**PROVIDENCE**

PROJECT NUMBER  
DJA 2021-58

PROJECT LOCATION  
SUNDANCE ROAD

SHEET TITLE  
SIDE BY SIDE UNITS  
STREET SCAPE  
ELEVATIONS

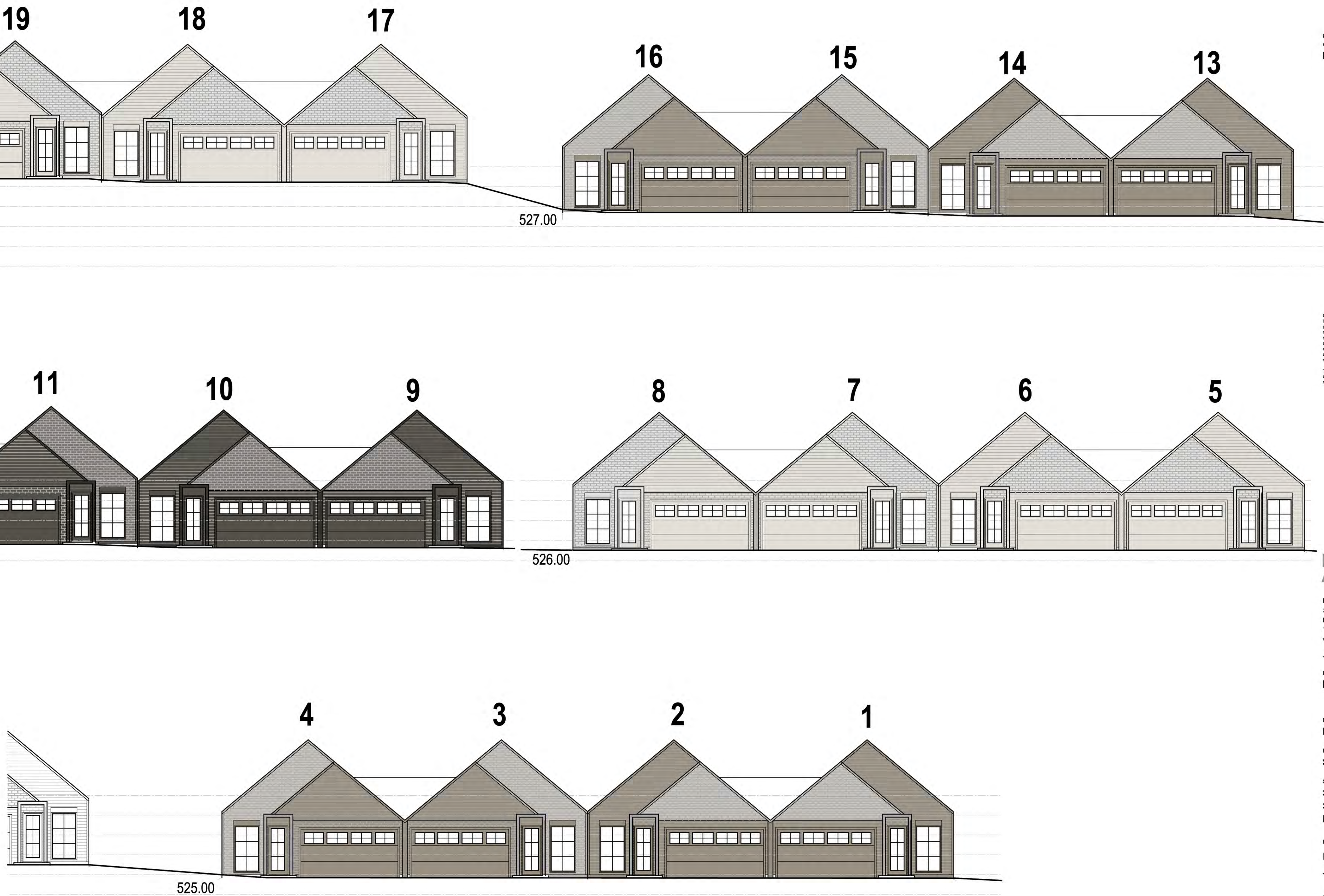
DATE  
FEBRUARY 24, 2023

SHEET NUMBER

**A2.6**

SCALE  
1/8"=1'-0"

1  
A2.6 STREET SCAPE  
1/8" = 1'-0"



ISSUE	NO.	DATE
DP SUBMISSION	01	MAY 21, 2022
DP REVISIONS	02	FEBRUARY 24, 2023



FINAL RENDERINGS BEING COMPLETED AND WILL BE SUBMITTED AS SOON AS DONE. MINOR CHANGES ONLY TO OCCUR TO IMAGES

PERSPECTIVE STREET VIEW OF SUNDANCE DRIVE SIDE-BY-SIDE UNITS SHOWING GROUPINGS OF LIGHT TONE UNITS AND MID TONE UNITS IN DISTANCE

PROFESSIONAL SEAL(S)  
CONSULTANTS  
DiStefano Jaud, Architecture

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PERSPECTIVE STREET VIEW OF SUNDANCE DRIVE SIDE-BY-SIDE UNITS SHOWING GROUPING OF DARK TONE UNITS

**DiStefano Jaud Architecture**

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PROJECT  
**PROVIDENCE**

PROJECT NUMBER  
DJA 2021-58

PROJECT LOCATION  
SUNDANCE ROAD

SHEET TITLE  
SIDE BY SIDE UNITS  
RENDERED PERSPECTIVES

DATE  
FEBRUARY 24, 2023

SHEET NUMBER  
**A2.7**

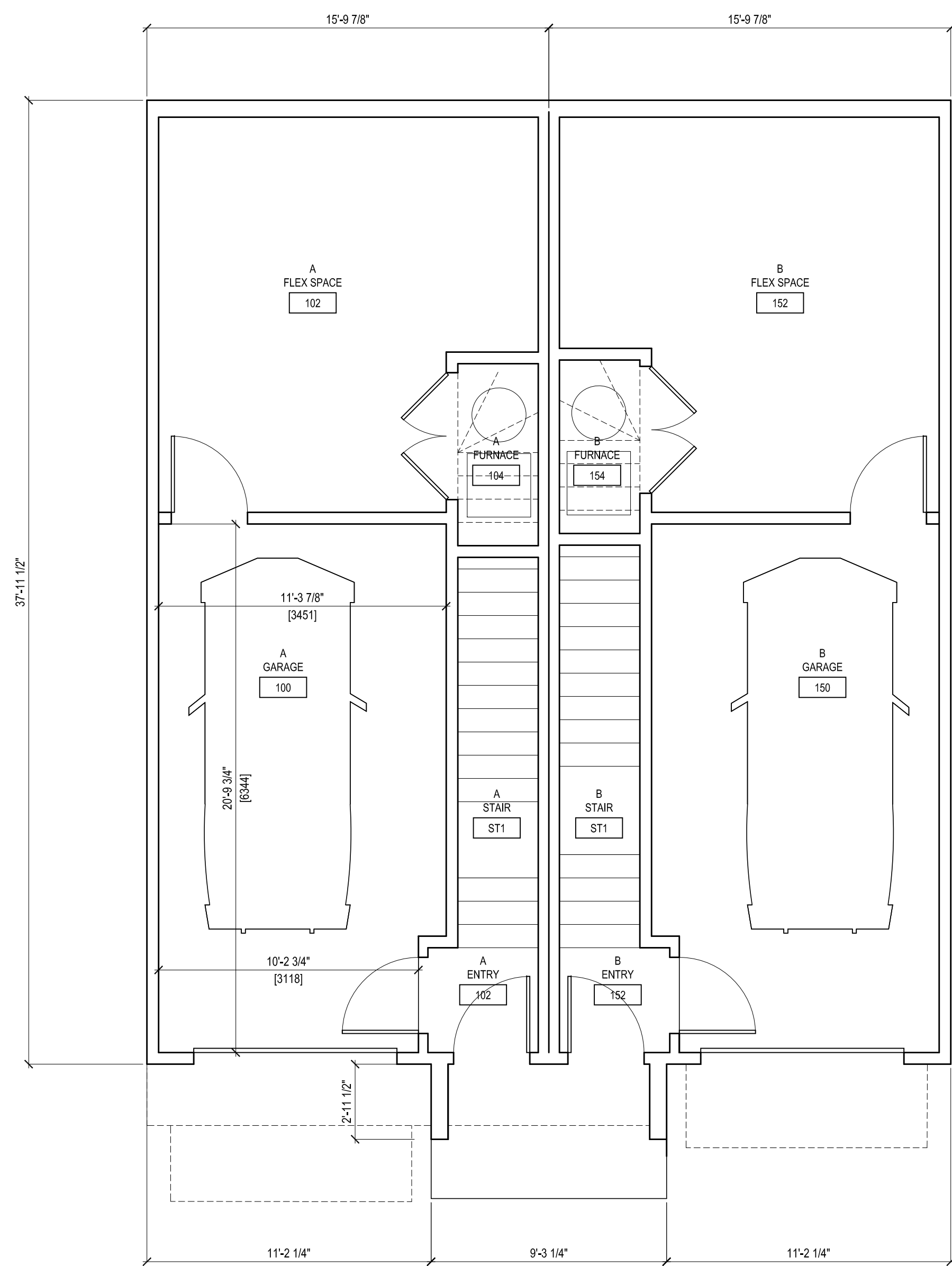
SCALE  
N.T.S.

ISSUE	NO.	DATE
DP SUBMISSION	01	MAY 21, 2022
DP REVISIONS	02	FEBRUARY 24, 2023
DP REVISIONS	03	MARCH 17, 2023

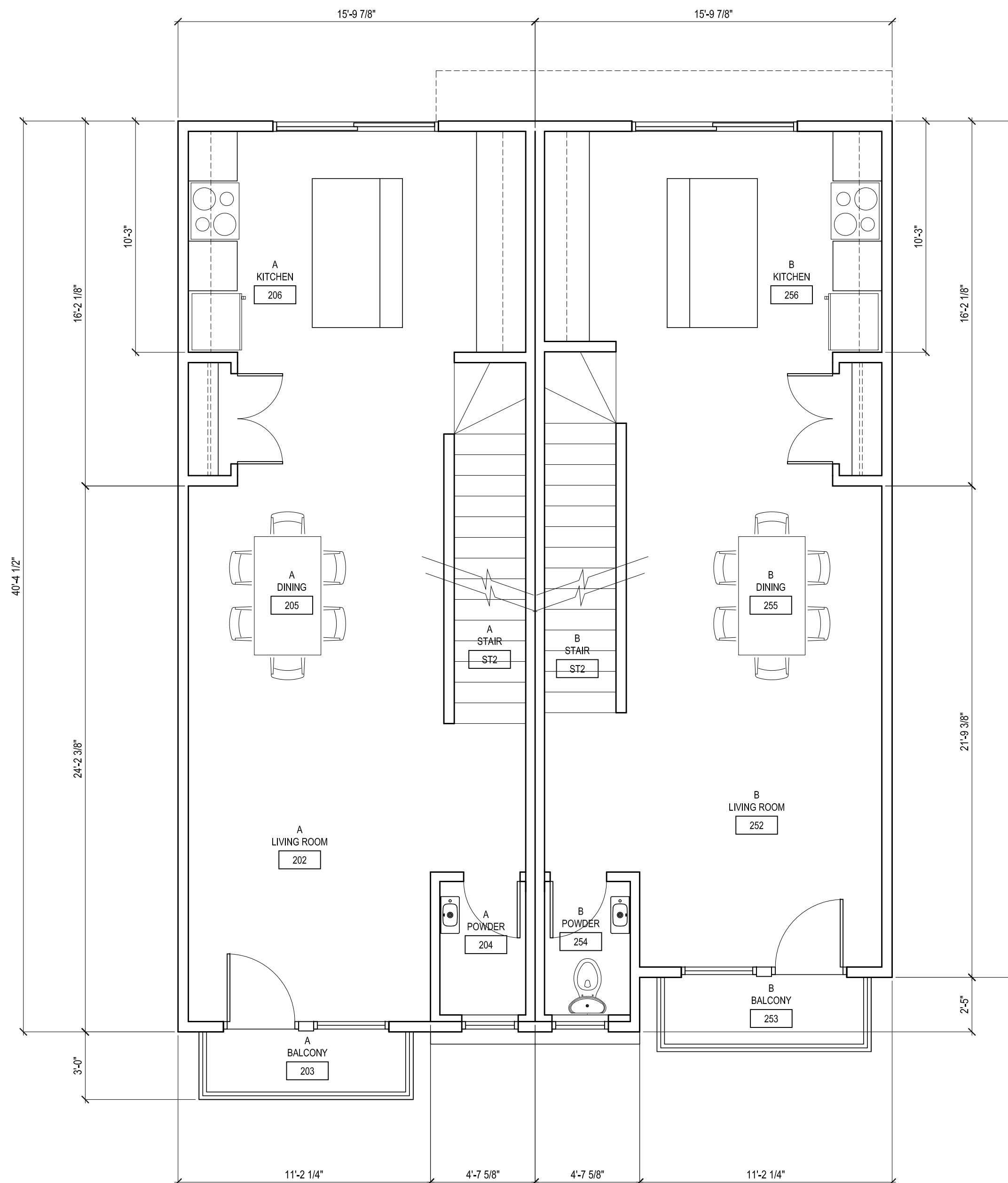
**GENERAL NOTES:**

- PLANS SHOWN ARE THE TYPICAL TWO UNIT GROUPING. FOR THESE UNIT TYPES THEY WILL BE ASSEMBLED AS PER THE SITE PLAN
- SEE SITE PLAN FOR LOCATIONS AND SETBACKS ON LOTS

PROFESSIONAL SEAL(S)  
CONSULTANTS  
**DiStefano Jaud, Architecture**



1 ENTRY LEVEL - TYPE A  
A3.1 1/4" = 1'-0"



2 MID LEVEL - TYPE A  
A3.1 1/4" = 1'-0"

**TANDEM GARAGE UNIT  
UNIT TYPE A - SHORTENED PLAN  
QUAY LANE FRONTAGE**

**UNIT AREAS TYPE A:**

<b>SIDE A</b>	<b>SIDE B</b>
ENTRY LEVEL (GARAGE) 645 sq.ft.	ENTRY LEVEL (GARAGE) 645 sq.ft.
MID LEVEL = 668 sq.ft.	MID LEVEL = 645 sq.ft.
TOP FLOOR = 679 sq.ft.	TOP FLOOR = 678 sq.ft.

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PROJECT  
**PROVIDENCE**

PROJECT NUMBER  
DJA 2021-58

PROJECT LOCATION  
SUNDANCE ROAD

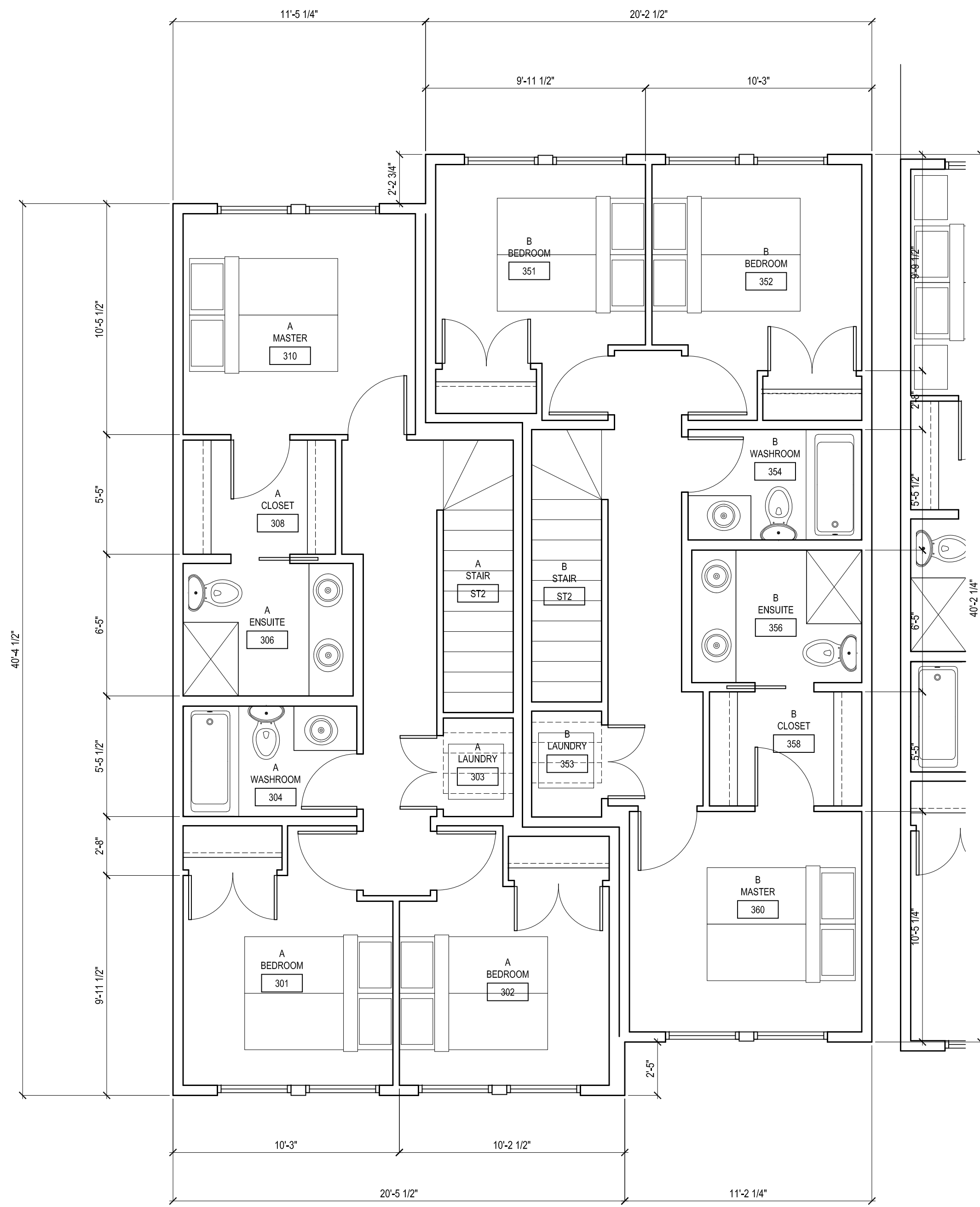
SHEET TITLE  
TANDEM UNITS - TYPE A  
FLOOR PLANS  
QUAY LANE

DATE  
FEBRUARY 24, 2023

SHEET NUMBER

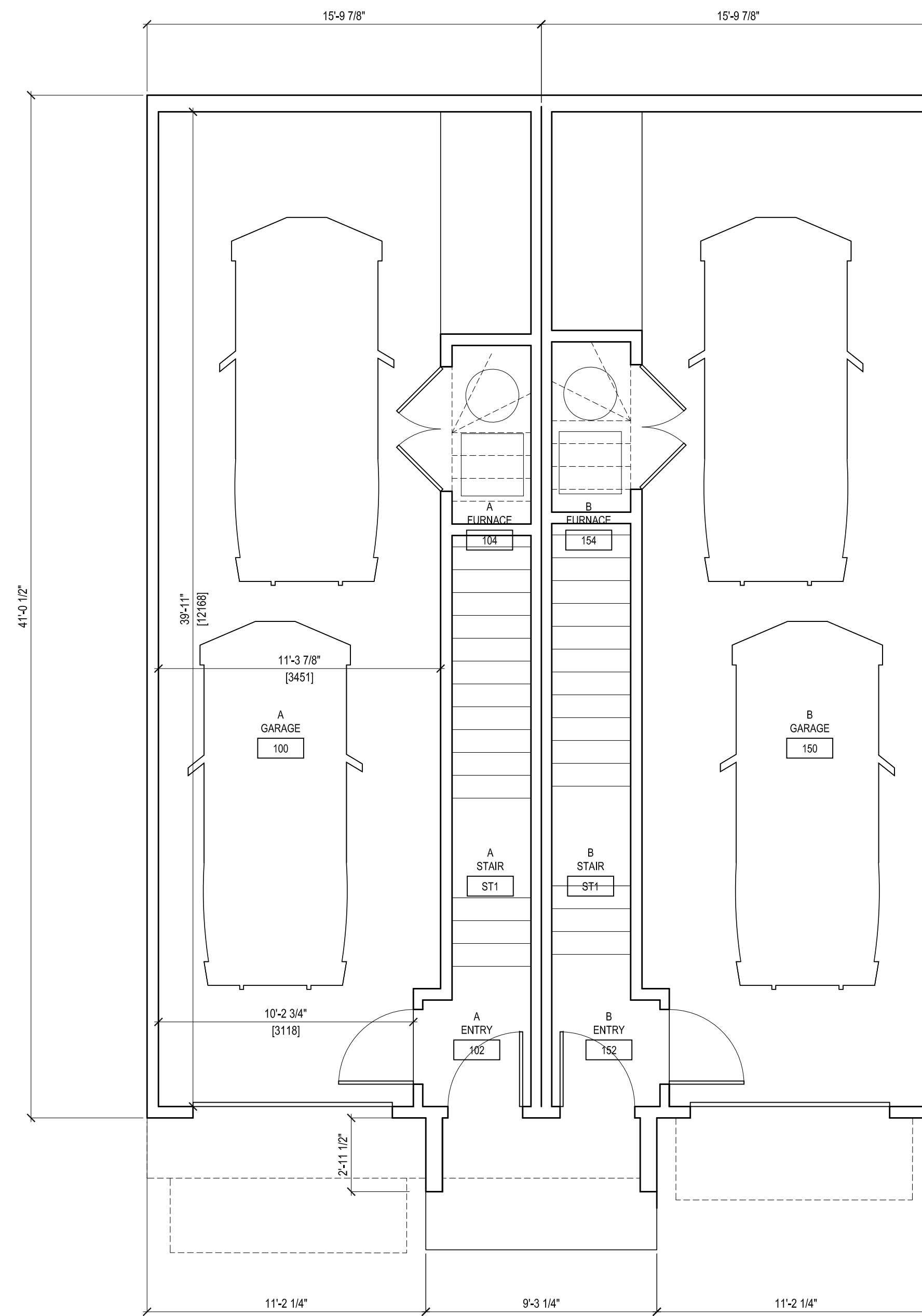
**A3.1**

SCALE  
1/4" = 1'-0"



1 TOP LEVEL - TYPE A  
A3.2 1/4" = 1'-0"

TANDEM GARAGE UNIT  
UNIT TYPE A - SHORTENED PLAN  
QUAY LANE FRONTAGE



2 ENTRY LEVEL - TYPE B  
A3.2 1/4" = 1'-0"

TANDEM GARAGE UNIT  
UNIT TYPE B - ELONGATED PLAN  
QUAY LANE FRONTAGE

**UNIT AREAS TYPE B:**

<b>SIDE A</b>	<b>SIDE B</b>
ENTRY LEVEL (GARAGE) 649 sq.ft.	ENTRY LEVEL (GARAGE) 649 sq.ft.
MID LEVEL = 686 sq.ft.	MID LEVEL = 663 sq.ft.
TOP FLOOR = 683 sq.ft.	TOP FLOOR = 711 sq.ft.

- GENERAL NOTES:**
- PLANS SHOWN ARE THE TYPICAL TWO UNIT GROUPING. FOR THESE UNIT TYPES THEY WILL BE ASSEMBLED AS PER THE SITE PLAN
  - SEE SITE PLAN FOR LOCATIONS AND SETBACKS ON LOTS

ISSUE	NO.	DATE
DP SUBMISSION	01	MAY 21, 2022
DP REVISIONS	02	FEBRUARY 24, 2023
DP REVISIONS	03	MARCH 17, 2023

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WWW.DISTEFANOJAUD.COM

PROJECT  
**PROVIDENCE**

PROJECT NUMBER  
DJA 2021-58

PROJECT LOCATION  
SUNDANCE ROAD

SHEET TITLE  
TANDEM UNITS, TYPE A AND B  
FLOOR PLANS  
QUAY LANE

DATE  
FEBRUARY 24, 2023

SHEET NUMBER  
**A3.2**

SCALE  
1/4" = 1'-0"

ISSUE	NO.	DATE
DP SUBMISSION	01	MAY 21, 2022
DP REVISIONS	02	FEBRUARY 24, 2023

**GENERAL NOTES:**

- PLANS SHOWN ARE THE TYPICAL TWO UNIT GROUPING. FOR THESE UNIT TYPES THEY WILL BE ASSEMBLED AS PER THE SITE PLAN
- SEE SITE PLAN FOR LOCATIONS AND SETBACKS ON LOTS

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CONSULTANTS  
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PROJECT  
**PROVIDENCE**

PROJECT NUMBER  
**DJA 2021-58**

PROJECT LOCATION  
**SUNDANCE ROAD**

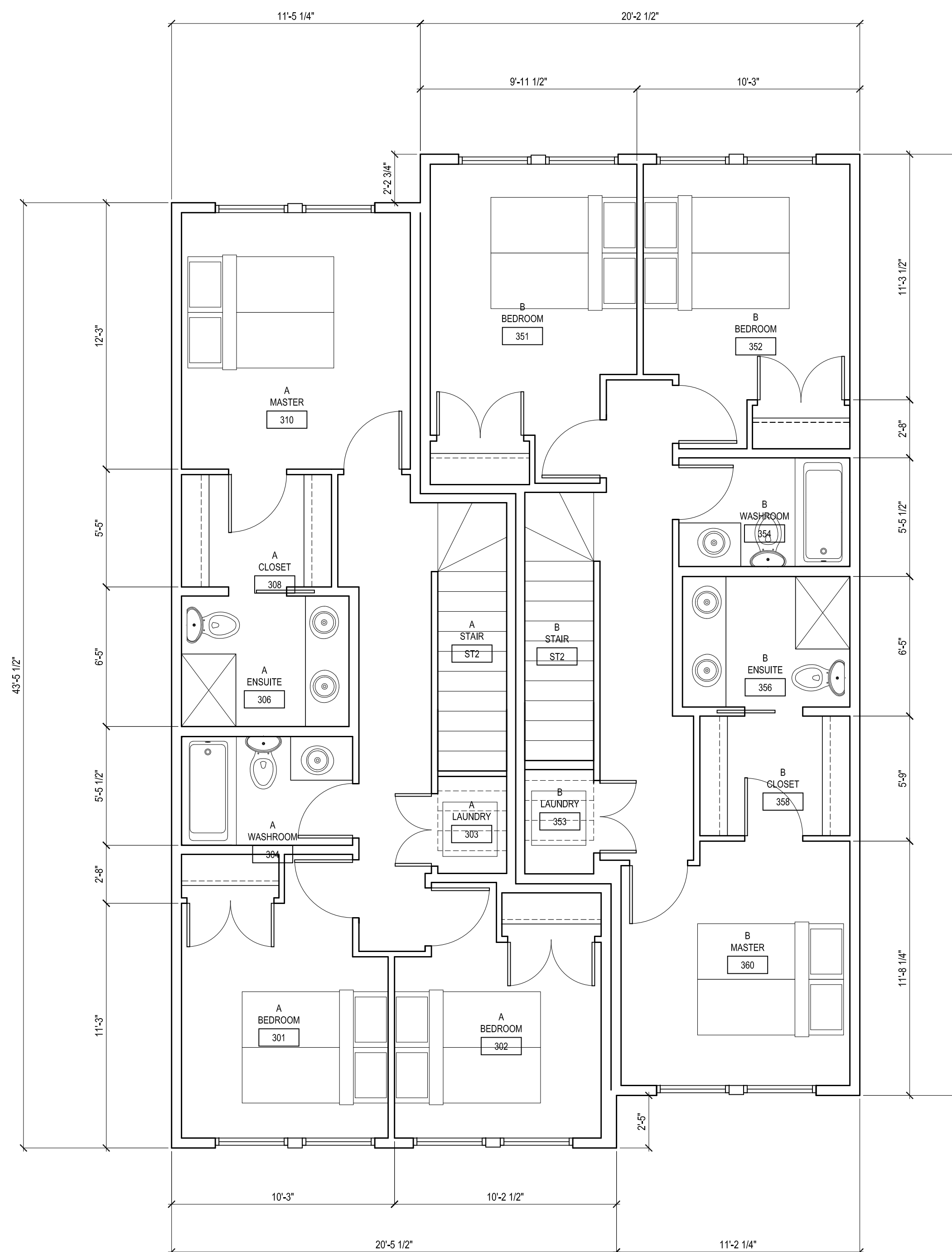
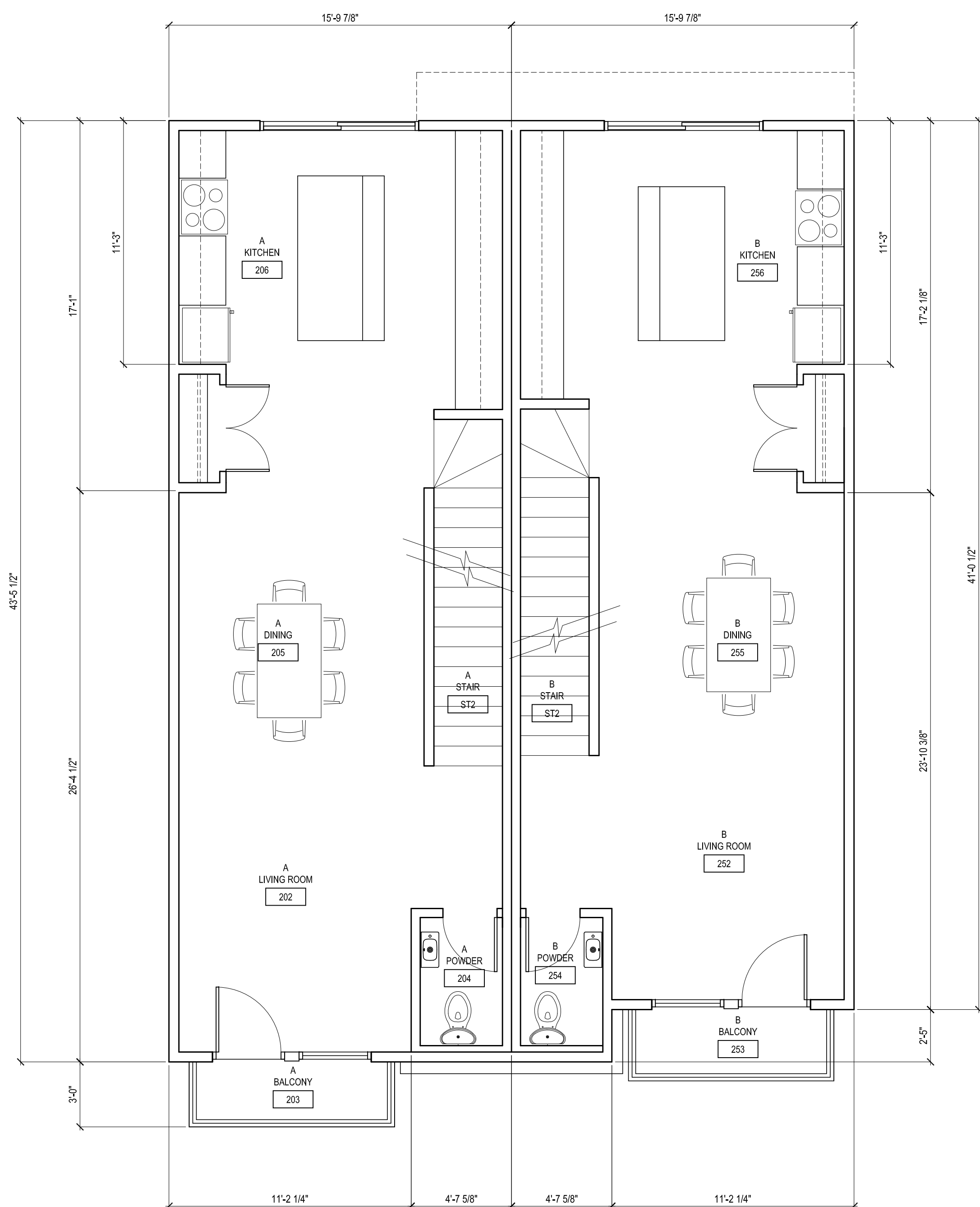
SHEET TITLE  
**TANDEM UNITS - TYPE B  
FLOOR PLANS  
QUAY LANE**

DATE  
**FEBRUARY 24, 2023**

SHEET NUMBER

**A3.3**

SCALE  
**1/4"=1'-0"**



# TANDEM GARAGE UNIT UNIT TYPE C - SHORTENED PLAN, EXTENDED FRONT DECK QUAY LANE FRONTAGE

## UNIT AREAS TYPE C:

**SIDE C**  
ENTRY LEVEL (GARAGE) 645 sq.ft.  
MID LEVEL = 668 sq.ft.  
TOP FLOOR = 679 sq.ft.

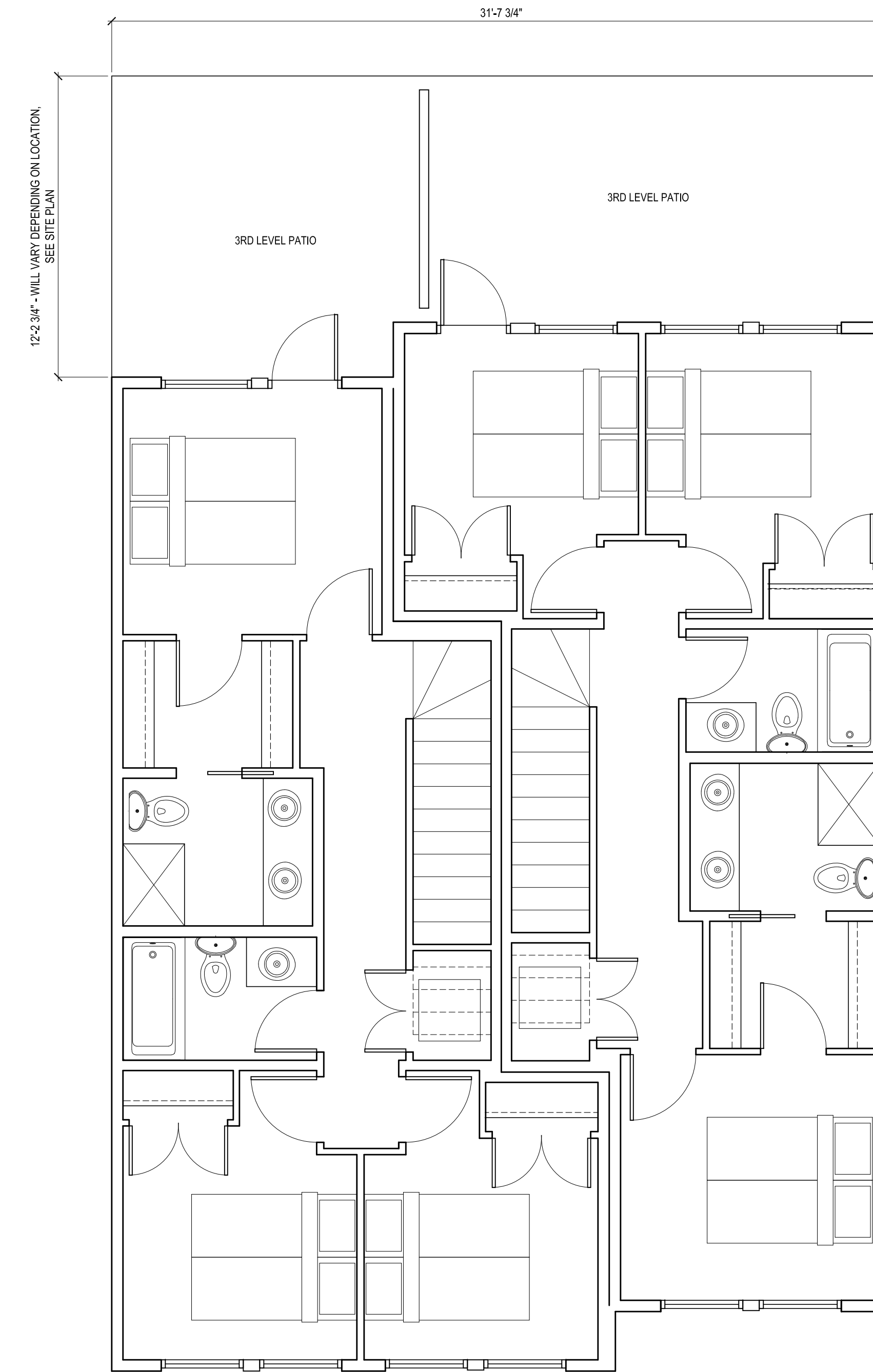
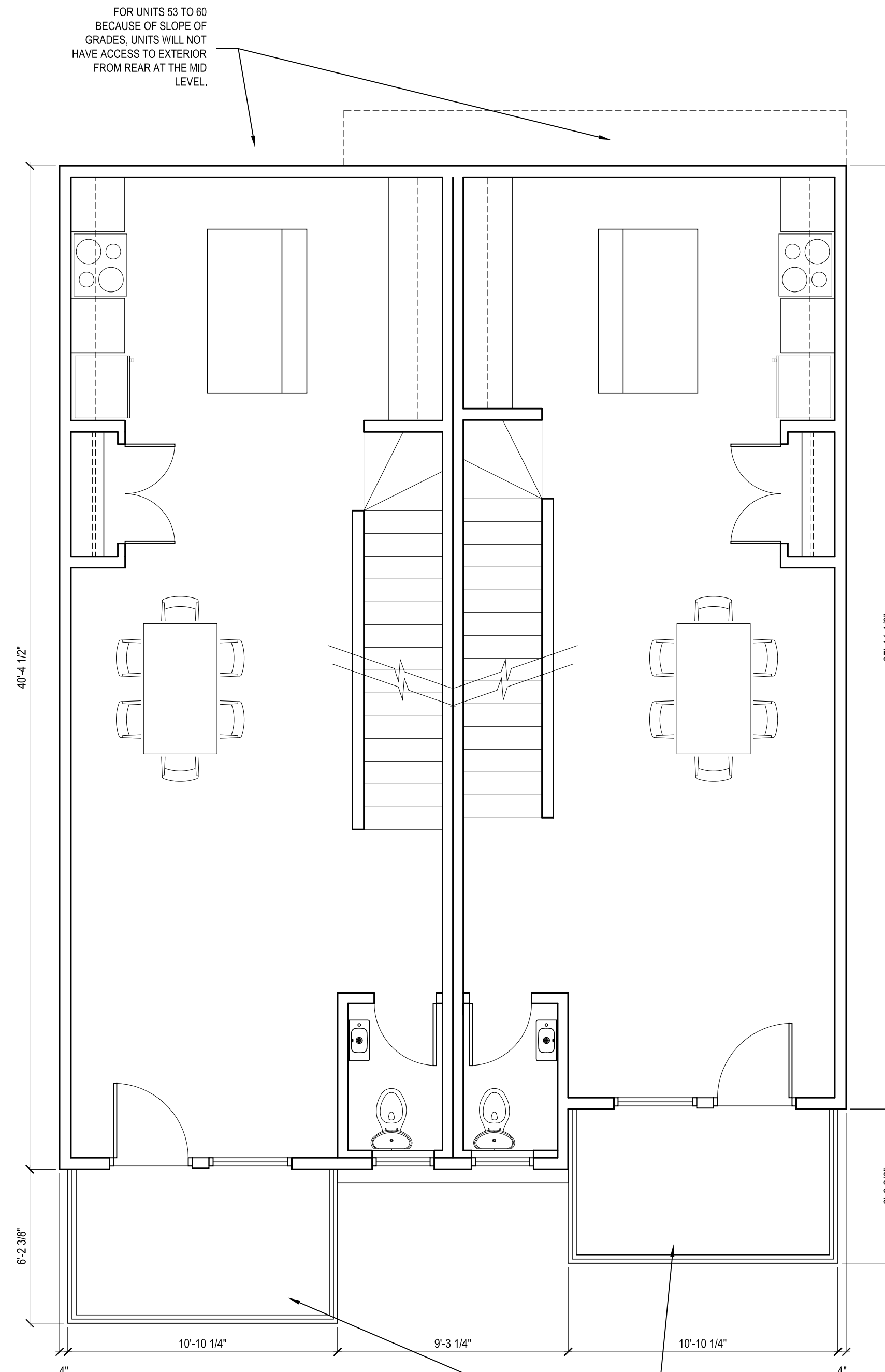
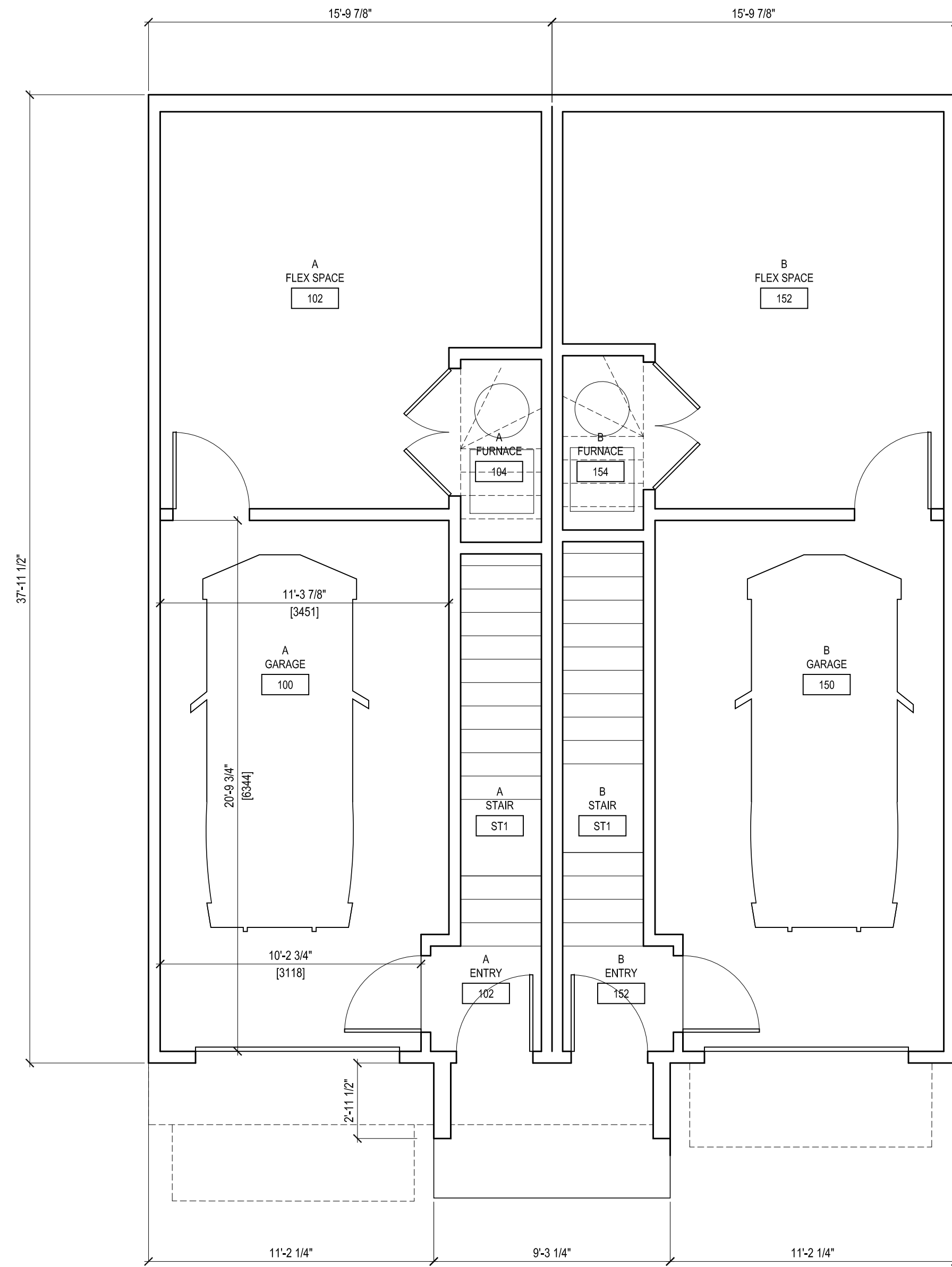
### GENERAL NOTES:

- PLANS SHOWN ARE THE TYPICAL TWO UNIT GROUPING. FOR THESE UNIT TYPES THEY WILL BE ASSEMBLED AS PER THE SITE PLAN
- SEE SITE PLAN FOR LOCATIONS AND SETBACKS ON LOTS

ISSUE	NO.	DATE
DP SUBMISSION	01	MAY 21, 2022
DP REVISIONS	02	FEBRUARY 24, 2023
DP REVISIONS	03	APRIL 17, 2023

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CONSULTANTS  
**DiStefano Jaud, Architecture**

## TANDEM UNITS 51 TO 58



FOR UNITS 53 TO 60  
BECAUSE OF SLOPE OF  
GRADES, UNITS WILL NOT  
HAVE ACCESS TO EXTERIOR  
FROM REAR AT THE MID  
LEVEL.

FOR UNITS 45 TO 58 LARGER  
FRONT BALCONY WILL BE  
PROVIDED. DIMENSIONS  
WILL VARY DEPENDING ON  
FRONT YARD SETBACKS

1 ENTRY LEVEL - TYPE C  
1/4" = 1'-0"

2 MID LEVEL - TYPE C  
1/4" = 1'-0"

3 TOP LEVEL - TYPE C  
1/4" = 1'-0"

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Kelowna, British Columbia, V1Y 1Z9  
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WWW.DISTEFANOJAUD.COM

PROJECT  
**PROVIDENCE**

PROJECT NUMBER  
DJA 2021-58

PROJECT LOCATION  
SUNDANCE ROAD

SHEET TITLE  
TANDEM UNITS - TYPE C  
FLOOR PLANS  
QUAY LANE

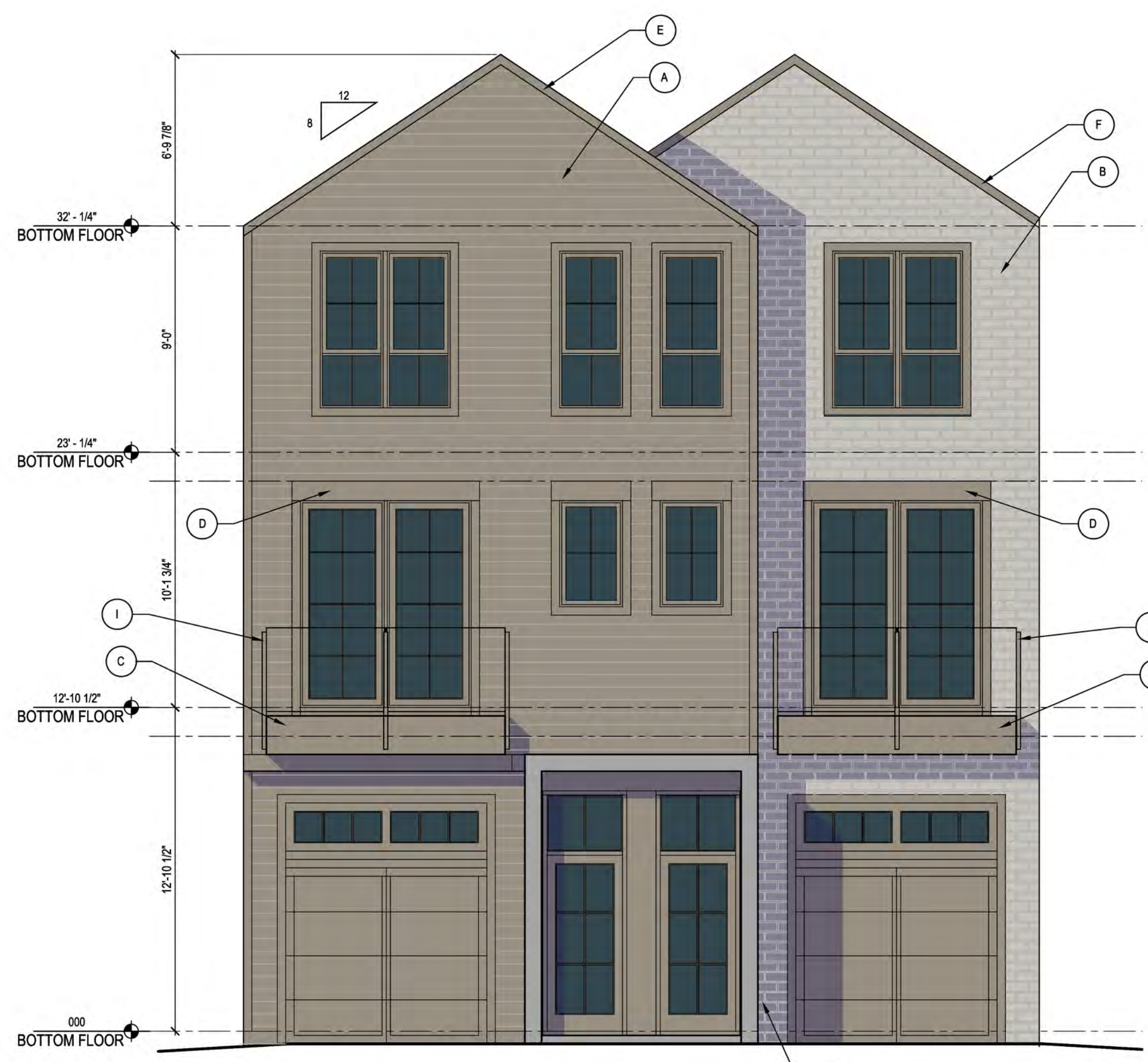
DATE  
FEBRUARY 24, 2023

SHEET NUMBER

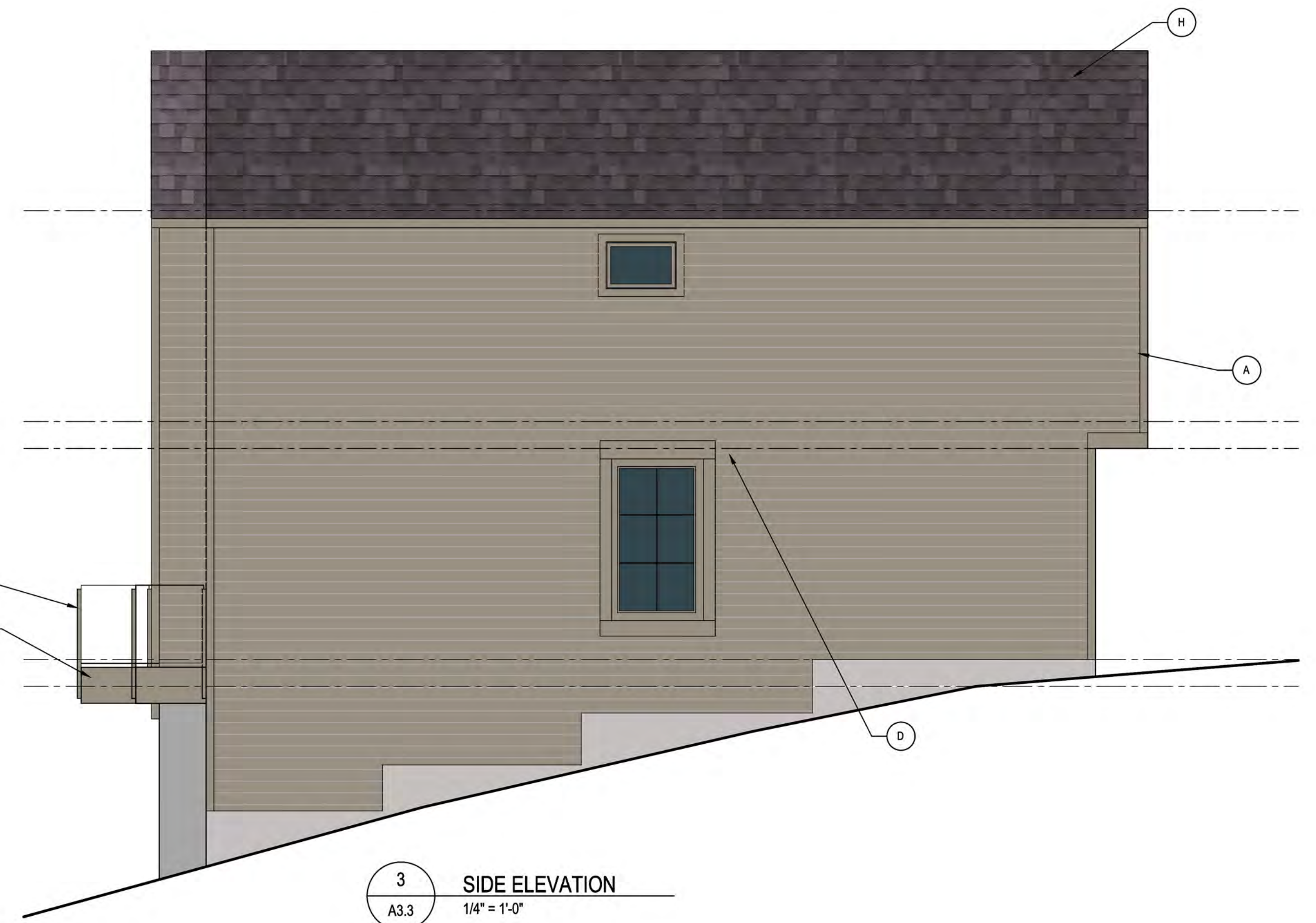
# A3.4

SCALE  
1/4" = 1'-0"

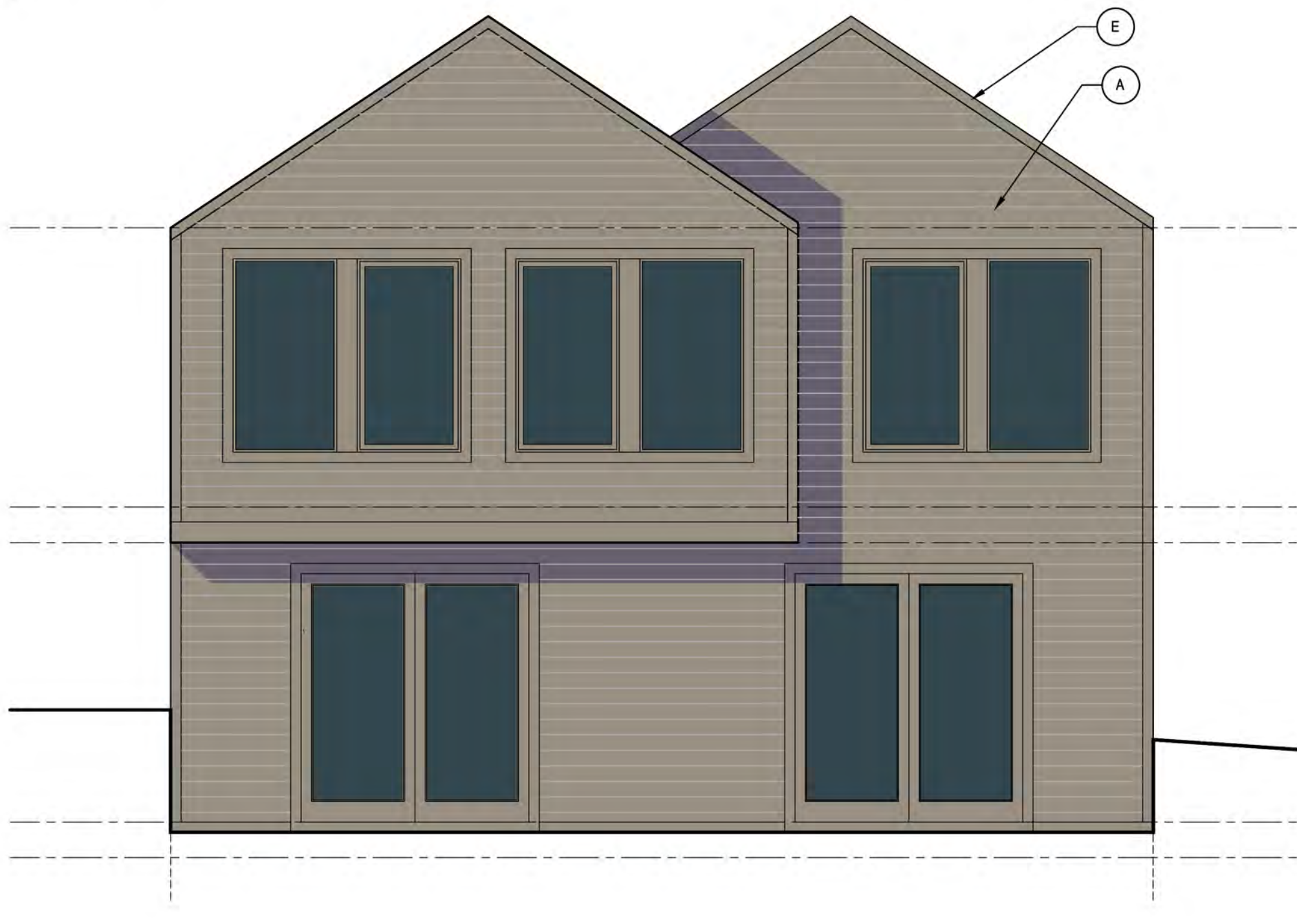
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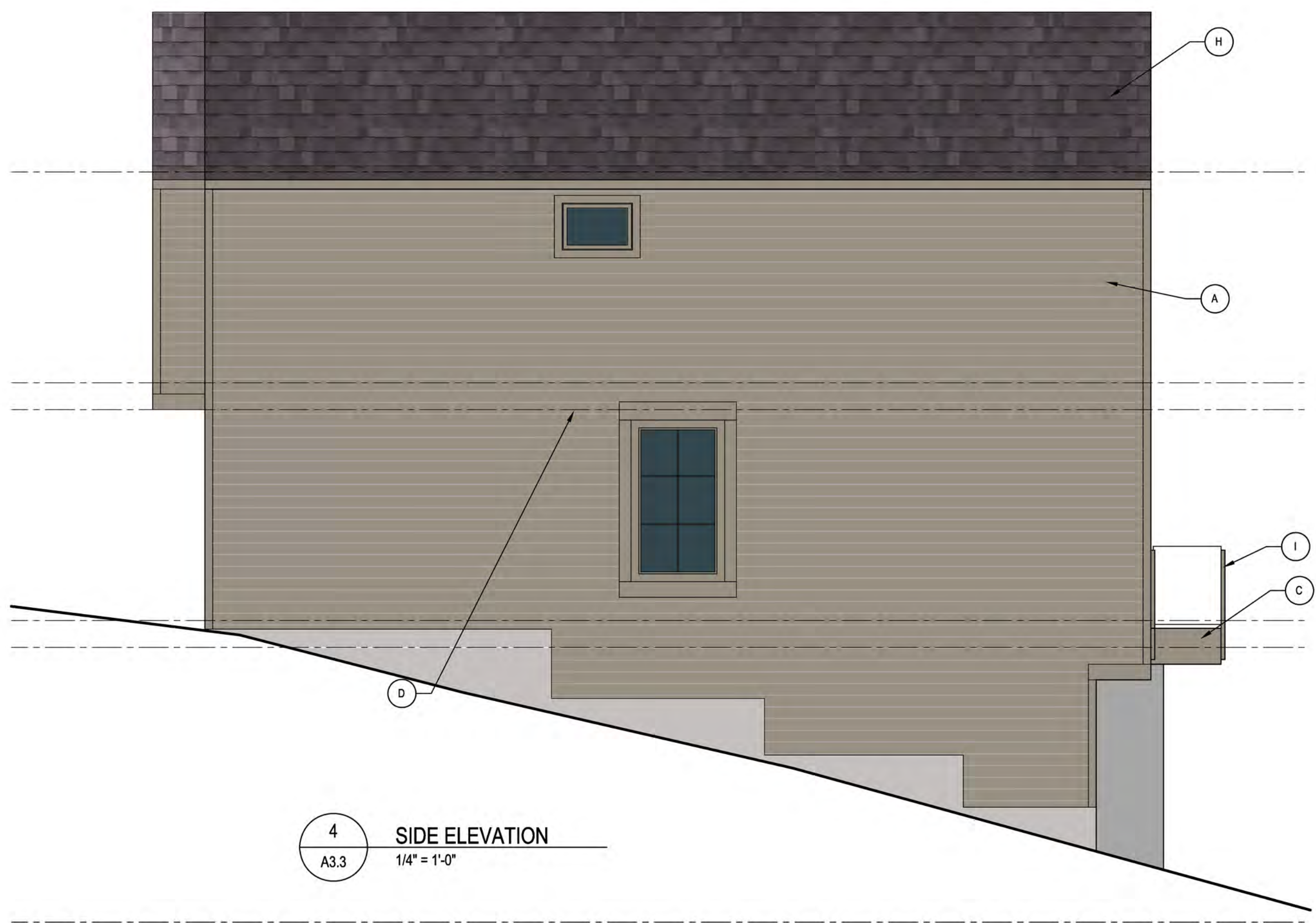
**1 STREET ELEVATION**  
A3.3 1/4" = 1'-0"



**3 SIDE ELEVATION**  
A3.3 1/4" = 1'-0"



**2 REAR ELEVATION**  
A3.3 1/4" = 1'-0"



**4 SIDE ELEVATION**  
A3.3 1/4" = 1'-0"

**EXTERIOR CLADDING LEGEND**

TYPE	DESCRIPTION
A	HARDIE PLANK LAP SIDING COLOUR: 3 VARIATIONS
B	BRICK - PACIFIC ART STONE COLOUR: 3 VARIATIONS
C	HARDIE PLANK CLAD ELEMENT COLOUR: 3 VARIATIONS
D	HARDIE BOARD TRIM LINTEL COLOUR: 3 VARIATIONS
E	PAINTED FASCIA COLOUR: 3 VARIATIONS
F	PAINTED FASCIA COLOUR: 3 VARIATIONS
H	ASPHALT SHINGLE ROOFING COLOUR: DUAL BLACK
I	ALUMINUM RAILING WITH GLASS PANELS COLOUR: 3 VARIATIONS
	GLASS

**BUILDING COLOUR VARIATIONS**

3 COLOUR VARIATIONS WILL BE USED FOR THE DEVELOPMENT. EACH GROUPING OF BUILDING WILL USE ONE COLOUR OPTION WITH THE NEXT GROUPING USING COLOUR VARIATION 2 AND THEN 3. THE GENERAL DIFFERENCE IS A CHANGE FROM LIGHT TO MID TO DARK TONES. SEE ATTACHED CLADDING SPECIFICATION SHEETS AND RENDERINGS FOR FURTHER DETAILS

**GENERAL NOTES:**

- STREET ELEVATION SHOWS TYPICAL GROUPING OF UNITS ALONG SUNDANCE ROAD. MATERIAL USAGE AND MODULATION WILL BE REPEATED IN THIS MANNER FOR FULL DEVELOPMENT AS PER RENDERINGS
- REAR ELEVATIONS WILL USE ONLY THE SIDING COLOUR USED ON THE FRONT ELEVATION WITH NO MODULAR PER 4 UNIT GROUPINGS.
- DEVELOPMENT TO HAVE 3 DIFFERENT COLOUR THEMES USED THROUGHOUT THE DEVELOPMENT. SEE THEMES OR VARIATIONS IN LEGEND AND IN STREET SCAPE ELEVATIONS FOR HOW COLOURS WILL BE ASSIGNED

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Kelowna, British Columbia, V1Y 1Z9  
T 250 868-9278 F 250 868-9217  
WWW.DISTEFANOJAUD.COM

PROJECT  
**PROVIDENCE**

PROJECT NUMBER  
DJA 2021-58

PROJECT LOCATION  
SUNDANCE ROAD

SHEET TITLE  
TANDEM UNITS - TYPE C  
TYPICAL ELEVATIONS  
QUAY LANE

DATE  
FEBRUARY 24, 2023

SHEET NUMBER

**A3.5**

SCALE  
1/4"=1'-0"



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PROJECT  
**PROVIDENCE**

PROJECT NUMBER  
DJA 2021-58

PROJECT LOCATION  
SUNDANCE ROAD

SHEET TITLE  
TANDEM UNITS - TYPE C  
STREETSCAPE ELEVATION  
QUAY LANE

DATE  
FEBRUARY 24, 2023

SHEET NUMBER

**A3.6**

SCALE  
1/8"=1'-0"



ISSUE	NO.	DATE
DP SUBMISSION	01	MAY 21, 2022
DP REVISIONS	02	FEBRUARY 24, 2023

PROFESSIONAL SEAL(S)  
CONSULTANTS  
**DiStefano Jaud, Architecture**



PERSPECTIVE STREET VIEW OF SUNDANCE DRIVE SIDE-BY-SIDE UNITS SHOWING GROUPINGS OF LIGHT TONE UNITS AND MID TONE UNITS IN DISTANCE

FINAL RENDERINGS BEING COMPLETED AND WILL BE SUBMITTED AS SOON AS DONE. MINOR CHANGES ONLY TO OCCUR TO IMAGES

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**DiStefano Jaud  
Architecture**

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PROJECT  
**PROVIDENCE**

PROJECT NUMBER  
DJA 2021-58

PROJECT LOCATION  
SUNDANCE ROAD

SHEET TITLE  
TANDEM UNITS  
RENDERED VIEW  
QUAY LANE

DATE  
FEBRUARY 24, 2023

SHEET NUMBER  
**A3.7**

SCALE  
N.T.S.

# GATEHOUSE SUNDANCE DEVELOPMENT

## Issued for Development Permit

**VDZ+A**  
 LANDSCAPE ARCHITECTURE | CIVIL ENGINEERING | URBAN FORESTRY  
 FORT LANGLEY STUDIO | MOUNT PLEASANT STUDIO  
 100-9181 Church St | 102-355 Kingsway  
 Fort Langley, BC | Vancouver, BC  
 V1M 2R8 | V1T 3J7  
 www.vdz.ca | 604-882-0024

### Contact Information

#### VDZ+A

Project Landscape Architecture  
 Kelowna Studio  
 302 - 1150 Sunset Drive  
 Kelowna, British Columbia, V1Y 9Z5

Fort Langley Studio  
 102 - 9181 Church Street  
 Fort Langley, British Columbia, V1M 2R8

Mount Pleasant Studio  
 102-355 Kingsway  
 Vancouver, British Columbia, V5T 3J7

Primary project contact:  
 Kim McNamee  
 Landscape Architect  
 kim@vdz.ca  
 778 298 9738

Alternate contacts (incase away):  
 Stephen Heller  
 Associate Landscape Architect  
 stephen@vdz.ca  
 604 546 0925

### Key Project Contacts

#### GATEHOUSE Project Owner

PO BOX 2585 Stn Sardis  
 Chilliwack, BC V2R 1A8

Mike Shepherd  
 mike@madebygatehouse.com  
 604 819 2192

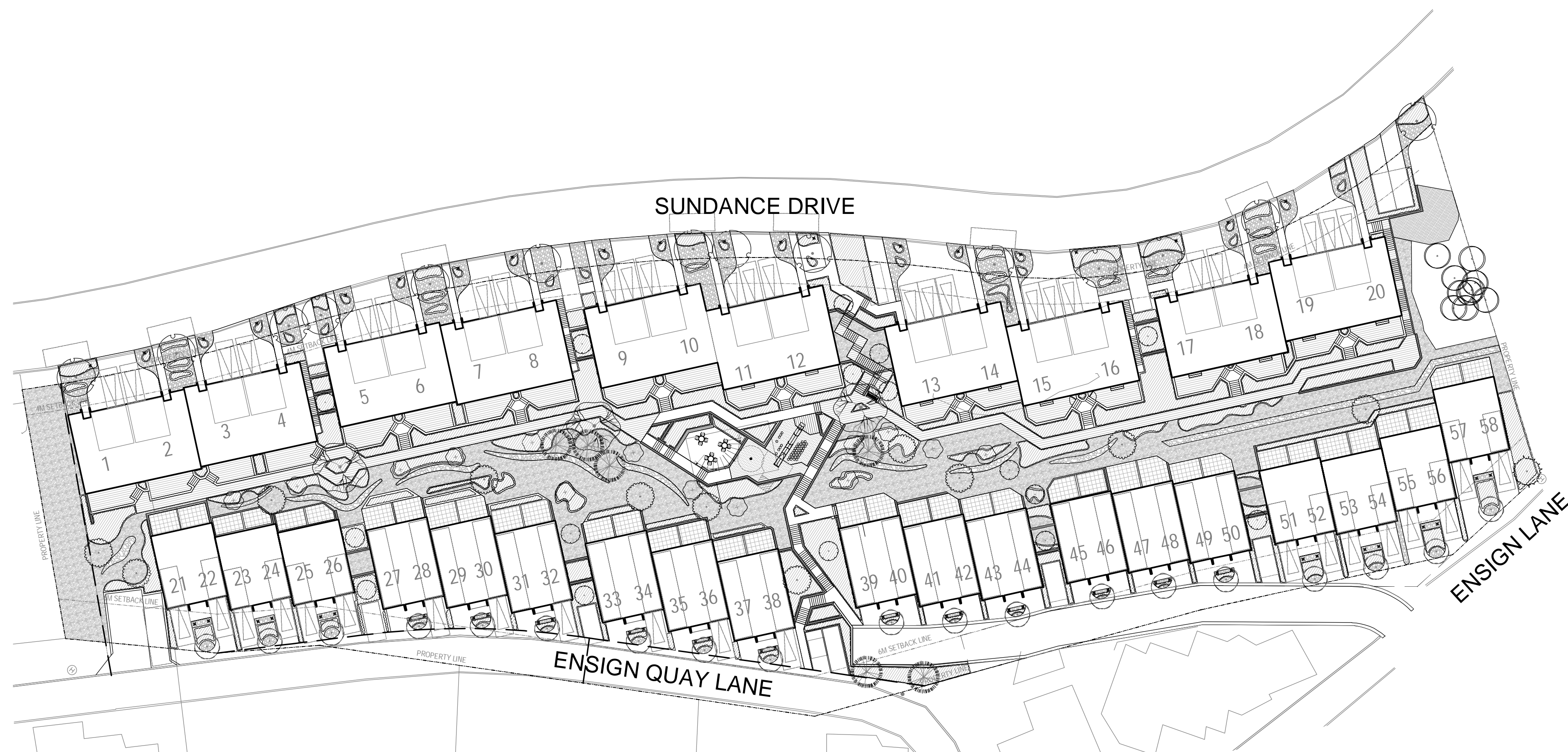
#### Distefano Jaud Architecture Project Architect

3, 1331 Ellis Street  
 Kelowna, BC V1Y 1Z9

Carlo Distefano  
 carlo@distefanojud.com  
 250 868 9278

### Sheet List Table

Sheet Number	Sheet Title
L-00	COVER PAGE
L-01A	LANDSCAPE SITE PLAN WEST
L-01B	LANDSCAPE SITE PLAN CENTER
L-01C	LANDSCAPE SITE PLAN EAST
L-02	PLANT PALETTE
L-03A	FENCE AND GRADING PLAN WEST
L-03B	FENCE AND GRADING PLAN CENTER
L-03C	FENCE AND GRADING PLAN EAST
LS-01	SECTION A & B
LS-02	SECTION C & D
LS-03	SECTION E & F
LD-01	DETAILS
LD-02	DETAILS
LD-03	DETAILS
LD-04	DETAILS



1 SITE PLAN OVERVIEW  
 Scale 1:500



2 LOCATION MAP  
 NTS

No.	By:	Description	Date
8	KM	Issued for Development Permit	2023-04-18
7	KM	Issued for Development Permit	2023-02-24
6	KM	Re-Issued for Coordination	2023-02-17
5	KM	Re-Issued for Coordination	2023-02-10
4	KM	Issued for Coordination	2023-02-08
3	ET	Issued for Development Permit	2022-06-10
2	ET	Issued for Review	2022-05-31
1	SH	Issued for Review	2022-05-18

REVISIONS TABLE FOR DRAWINGS  
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No.	By:	Description	Date

REVISIONS TABLE FOR SHEET

Project:  
 PROVIDENCE / SUNDANCE

Location:  
 3401 Sundance Drive  
 West Kelowna, B.C.

Drawn: AH ET	Stamp:
Checked: SH	
Approved: MVDZ	
Scale: AS SHOWN	Original Sheet Size: 24"x36"

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS/CHANGES/ADDENDUMS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.

Drawing Title:  
COVER PAGE

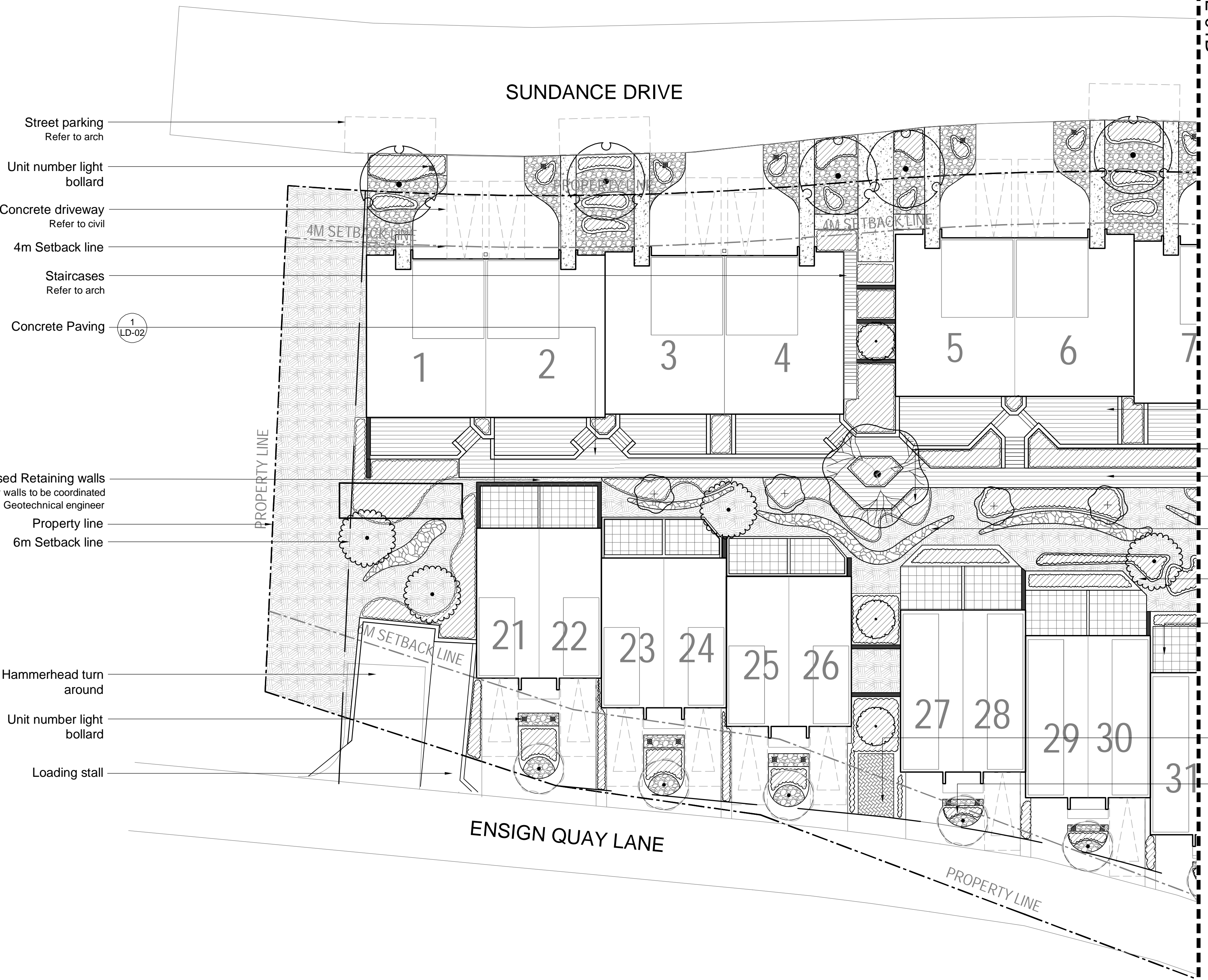


VDZ Project #:  
DP2022-16

Drawing #:  
L-00

Z:\PROJECTS\DEVELOPMENT PERMIT\ACT\DP2022-16 GATEHOUSE SUNDANCE DEVELOPMENT\5. DWG\SHEET\SL-00 COVER SHEET.DWG

Z:\PROJECTS\DEVELOPMENT PERMIT\ACTIVEDP2022-16 GATEHOUSE SUNDANCE DEVELOPMENTS\_5\_DWG\SHEETS\L-01 SITE PLAN.DWG



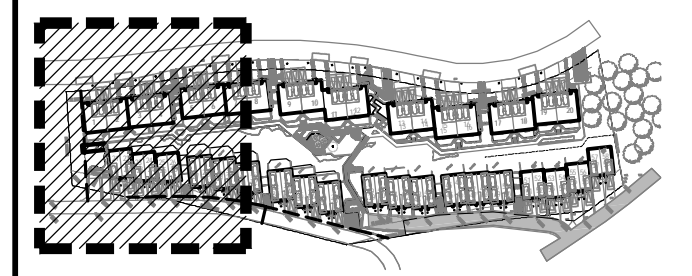
**MATERIALS**

KEY	REF.	DESCRIPTION
	1 LD-02	CONCRETE PAVING
		DECORATIVE ROCK Provider: Northwest Landscape & Stone Supply Specification: 2" Basaltic River Stone
		DRY MEADOW SLOPE RETENTION HYDROSEED
	3 LD-02	COARSE BOULDER SLOPE RETENTION
	8 LD-02	HYDRAPRESSED SLABS Lower patios typ.
	6 LD-03	COMPOSITE WOOD DECK Upper patios typ.
	4 LD-01	XERISCAPE SHRUB BEDS
		Visitor parking stalls 80mm vehicle rated pavers

**RETAINING WALL LEGEND**

KEY	REF.	DESCRIPTION
		PROPOSED 1.2M MAX HEIGHT RETAINING WALL: CONCRETE OR BOULDERS WALL
		PROPOSED STRUCTURAL RETAINING WALL: REFER TO CIVIL AND STRUCTURAL PLANS
		PROPOSED BEDROCK WALL; REFER TO SECTIONS

**Key Map (NTS)**



No.	By:	Description	Date
8	KM	Issued for Development Permit	2023-04-18
7	KM	Issued for Development Permit	2023-02-24
6	KM	Re-Issued for Coordination	2023-02-17
5	KM	Re-Issued for Coordination	2023-02-10
4	KM	Issued for Coordination	2023-02-08
3	ET	Issued for Development Permit	2022-06-10
2	ET	Issued for Review	2022-05-31
1	SH	Issued for Review	2022-05-18

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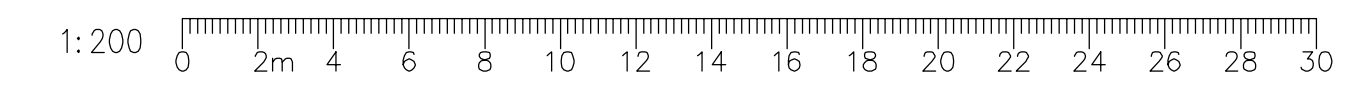
**Project:**  
PROVIDENCE / SUNDANCE

**Location:**  
3401 Sundance Drive  
West Kelowna, B.C.

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<b>Checked:</b> SH	
<b>Approved:</b> APPROVED	<b>Original Sheet Size:</b> 24"x36"
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**TREE SCHEDULE**

TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	Acer grandidentatum 'Schmidt' / Rocky Mountain Glow Maple	B&B		6cm cal.	19
	Amelanchier alnifolia / Serviceberry	B&B		2.5m ht	15
	Arbutus menziesii / Pacific Madrone	#15		4cm	15
	Cercis canadensis / Eastern Redbud	B&B		6cm cal.	8
	Existing Tree	-			12
	Gleditsia triacanthos 'Skyline' / Skyline Honey Locust	B&B		6cm cal.	14
	Pinus contorta 'Contorta' / Shore Pine	B&B		2m ht	1
	Pinus ponderosa / Ponderosa Pine	B&B		2.5m ht	6
	Quercus garryana / Oregon Oak	B&B		6cm cal.	3



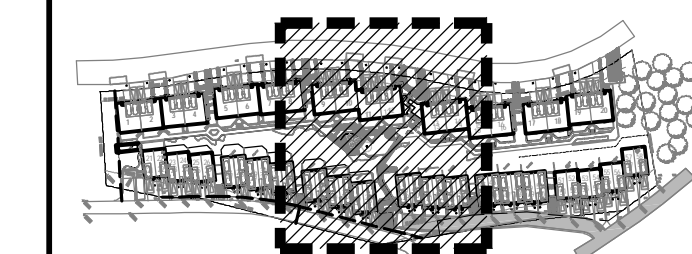
## MATERIALS

KEY	REF.	DESCRIPTION
	1 LD-02	CONCRETE PAVING
		DECORATIVE ROCK Provider: Northwest Landscape & Stone Supply Specification: 2" Basaltic River Stone
		DRY MEADOW SLOPE RETENTION HYDROSEED
	3 LD-02	COARSE BOULDER SLOPE RETENTION
	8 LD-02	HYDRAPRESSED SLABS Lower patios typ.
	6 LD-03	COMPOSITE WOOD DECK Upper patios typ.
	4 LD-01	XERISCAPE SHRUB BEDS
		Visitor parking stalls 80mm vehicle rated pavers

## RETAINING WALL LEGEND

KEY	REF.	DESCRIPTION
		PROPOSED 1.2M MAX HEIGHT RETAINING WALL; CONCRETE OR BOULDERS WALL
		PROPOSED STRUCTURAL RETAINING WALL; REFER TO CIVIL AND STRUCTURAL PLANS
		PROPOSED BEDROCK WALL; REFER TO SECTIONS

## Key Map (NTS)



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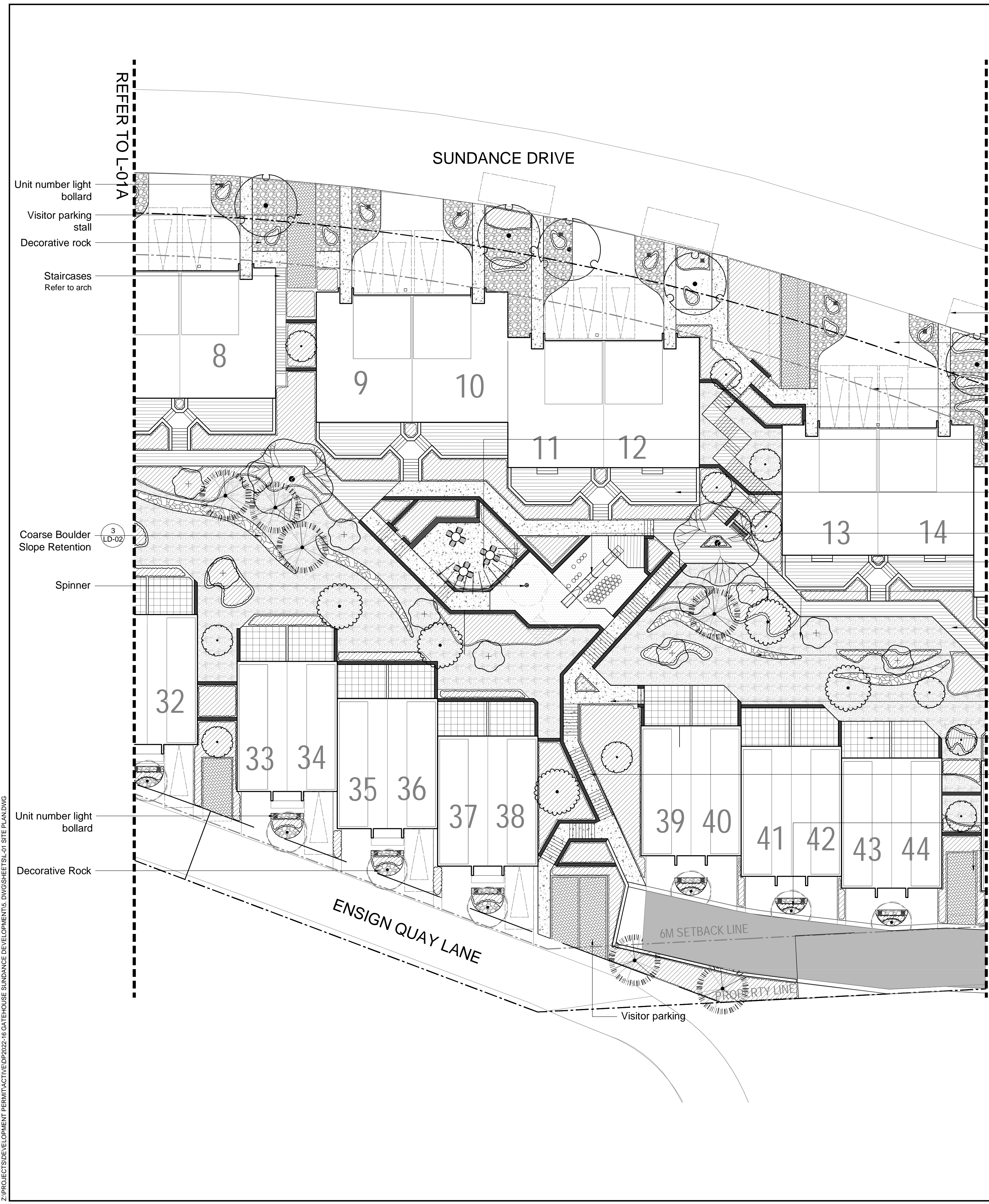
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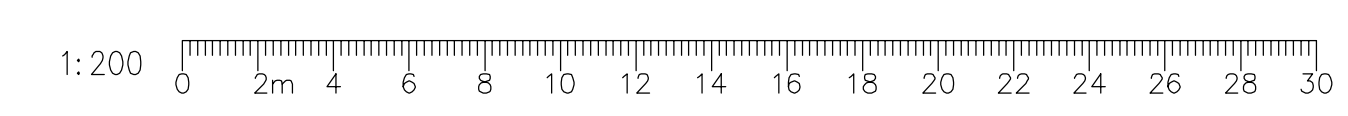
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- Street parking Refer to arch
- Concrete driveway Refer to civil
- Property line
- 4m Setback line
- Boardwalk stairs with handrails; refer to Grading plan
- Seating area with trellis and bar table
- Private Deck Composite decking typ.
- Adventure Climbing Hill and Youth Slide
- Xeriscape Shrub Beds
- Dry Meadow Slope Retention Hydraseed
- Boardwalk w/ guardrail
- Coarse Boulder Slope Retention
- Concrete walkway
- Lower patio Hydra Pressed Slabs
- Concrete stairs with handrails and cheek walls; max 1.2m height; refer to grading plan
- Decorative Rock
- Visitor parking

## TREE SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	Acer grandidentatum 'Schmidt' / Rocky Mountain Glow Maple	B&B		6cm cal.	19
	Amelanchier alnifolia / Serviceberry	B&B		2.5m ht	15
	Arbutus menziesii / Pacific Madrone	#15	4cm		15
	Cercis canadensis / Eastern Redbud	B&B		6cm cal.	8
	Existing Tree	-			12
	Gleditsia triacanthos 'Skyline' / Skyline Honey Locust	B&B		6cm cal.	14
	Pinus contorta 'Contorta' / Shore Pine	B&B		2m ht	1
	Pinus ponderosa / Ponderosa Pine	B&B		2.5m ht	6
	Quercus garryana / Oregon Oak	B&B		6cm cal.	3



Z:\PROJECTS\DEVELOPMENT PERMITS\DP2022-16 GATEHOUSE SUNDANCE DEVELOPMENTS\DWGS\SHEETS\L-01 SITE PLAN.DWG

Drawing Title: LANDSCAPE SITE PLAN CENTER  
 Drawing #: L-01B  
 DP2022-16

**MATERIALS**

KEY	REF.	DESCRIPTION
	1 LD-02	CONCRETE PAVING
		DECORATIVE ROCK Provider: Northwest Landscape & Stone Supply Specification: 3" Basaltic River Stone
		DRY MEADOW SLOPE RETENTION HYDROSEED
	3 LD-02	COARSE BOULDER SLOPE RETENTION
	8 LD-02	HYDRAPRESSED SLABS Lower patios typ.
	6 LD-03	COMPOSITE WOOD DECK Upper patios typ.
	4 LD-01	XERISCAPE SHRUB BEDS
		Visitor parking stalls 90mm vehicle rated pavers

**RETAINING WALL LEGEND**

KEY	REF.	DESCRIPTION
		PROPOSED 1.2M MAX HEIGHT RETAINING WALL; CONCRETE OR BOULDERS WALL
		PROPOSED STRUCTURAL RETAINING WALL; REFER TO CIVIL AND STRUCTURAL PLANS
		PROPOSED BEDROCK WALL; REFER TO SECTIONS

- Street parking  
Refer to arch
- Concrete driveway  
Refer to civil
- Visitor parking
- 4m Setback line
- Property line
- Structural fill slope; per  
geotechnical recommendation

- Boardwalk stairs with  
handrails  
Refer to grading plan
- Private Deck  
Composite decking typ.
- Existing Trees
- Xeriscape Shrub Beds

- Boardwalk w/ guardrail
- Dry Meadow Slope  
Retention Hydroseed
- Coarse Boulder Slope  
Retention

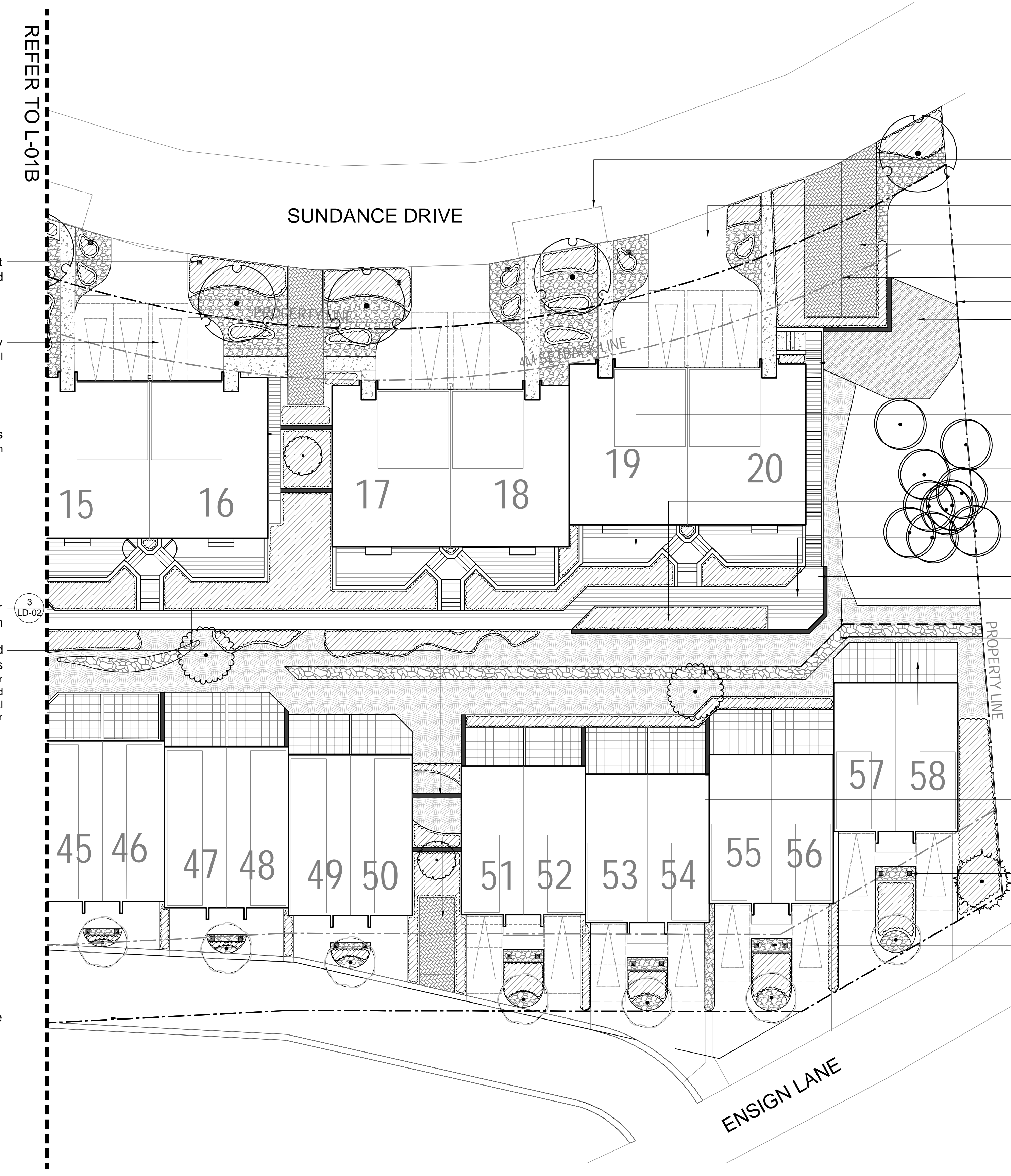
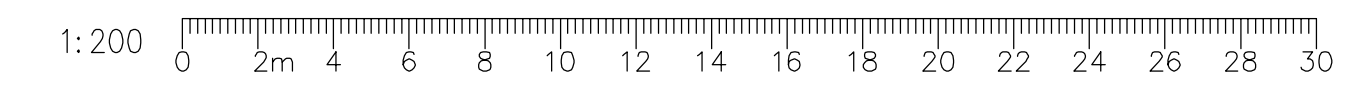
- Lower patio  
Hydra Pressed Slabs

- Bedrock wall; typ
- Visitor parking
- Unit number light  
bollard

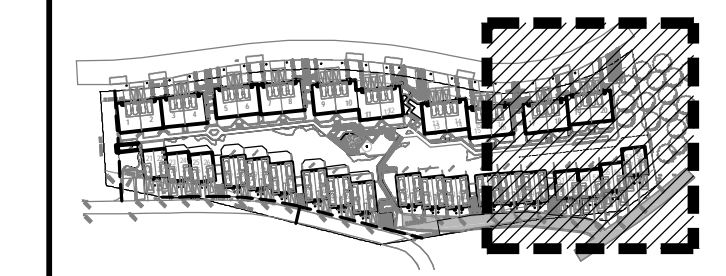
- Decorative Rock

**TREE SCHEDULE**

TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	Acer grandidentatum 'Schmidt' / Rocky Mountain Glow Maple	B&B		6cm cal.	19
	Amelanchier alnifolia / Serviceberry	B&B		2.5m ht	15
	Arbutus menziesii / Pacific Madrone	#15	4cm		15
	Cercis canadensis / Eastern Redbud	B&B		6cm cal.	8
	Existing Tree	-			12
	Gleditsia triacanthos 'Skyline' / Skyline Honey Locust	B&B		6cm cal.	14
	Pinus contorta 'Contorta' / Shore Pine	B&B		2m ht	1
	Pinus ponderosa / Ponderosa Pine	B&B		2.5m ht	6
	Quercus garryana / Oregon Oak	B&B		6cm cal.	3



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1	SH	Issued for Review	2022-05-18

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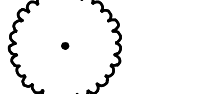
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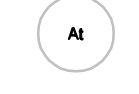

















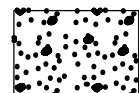


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**TREE SCHEDULE**

TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	Acer grandidentatum 'Schmidt' / Rocky Mountain Glow Maple	B&B		6cm cal.	19
	Amelanchier alnifolia / Serviceberry	B&B		2.5m ht	15
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	Cercis canadensis / Eastern Redbud	B&B		6cm cal.	8
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	Gleditsia triacanthos 'Skyline' / Skyline Honey Locust	B&B		6cm cal.	14
	Pinus contorta 'Contorta' / Shore Pine	B&B		2m ht	1
	Pinus ponderosa / Ponderosa Pine	B&B		2.5m ht	6
	Quercus garryana / Oregon Oak	B&B		6cm cal.	3

**PLANT SCHEDULE**

SHRUBS	BOTANICAL / COMMON NAME	CONT	
	Arbutus unedo 'Compacta' / Dwarf Strawberry Tree	#3	
	Artemisia tridentata / Big Sagebrush	#2	
	Berberis thunbergii 'Concorde' / Concorde Barberry	#2	
	Caryopteris x clandonensis / Bluebeard	#2	
	Ericameria nauseosa / Rubber Rabbitbrush	#2	
	Potentilla fruticosa 'Tangerine' / Tangerine Potentilla	#2	
	Rhus glabra / Smooth Sumac	#2	
DWARF CONIFERS	BOTANICAL / COMMON NAME	CONT	
	Juniperus chinensis 'Torulosa' / Hollywood Juniper	#3	
	Juniperus sabina / Savin Juniper	#2	
	Pinus mugo 'Pumilio' / Mugo Pine	#2	
GRASSES	BOTANICAL / COMMON NAME	CONT	
	Chasmanthium latifolium / Wood Oats	#1	
	Elymus mollis / American Dunegrass	#1	
PERENNIALS	BOTANICAL / COMMON NAME	CONT	
	Balsamorhiza sagittata / Arrowleaf Balsamroot	#1	
	Centranthus ruber / Red Valerian	#1	
	Echinacea purpurea 'Firebird' / Firebird Coneflower	#1	
	Eryngium alpinum 'Blue Star' / Sea Holly	#1	
	Perovskia x 'Little Spire' / Russian Sage	#1	
	Sedum x 'Thunderhead' / Thunderhead Sedum	#1	
	Yucca glauca / Narrowleaf Yucca	#2	
GROUND COVERS	BOTANICAL / COMMON NAME	CONT	SPACING
	Arctostaphylos uva-ursi / Kinnikinnick	#1	300mm
	Juniperus horizontalis 'Andorra' / Andorra Juniper	#1	600mm
	Thymus pseudolanuginosus / Woolly Thyme	#1	300mm



Ericameria nauseosa



Balsamorhiza sagittata



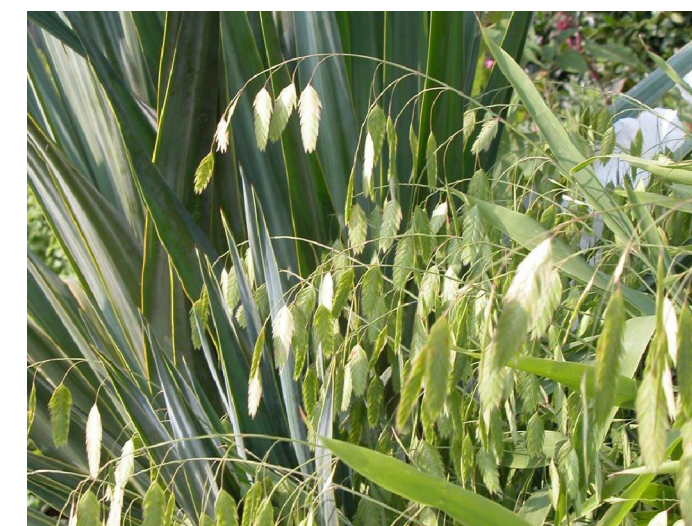
Potentilla fruticosa 'Tangerine'



Arbutus unedo 'nana'



Coreopsis 'Moonbeam'



Chasmanthium latifolium



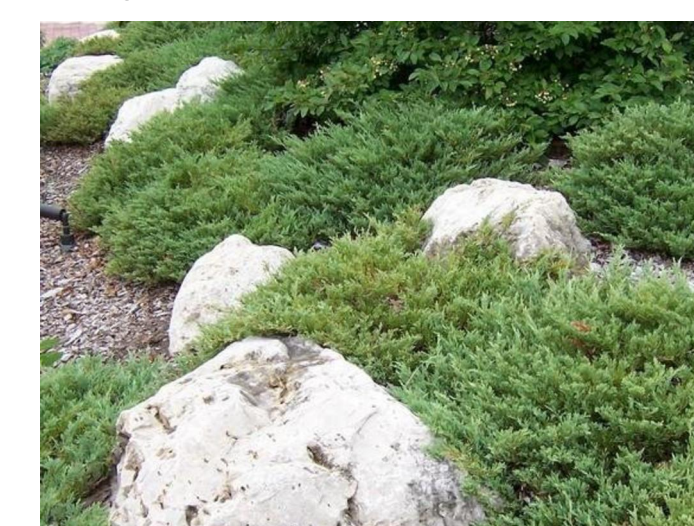
Elymus mollis



Centranthus Ruber



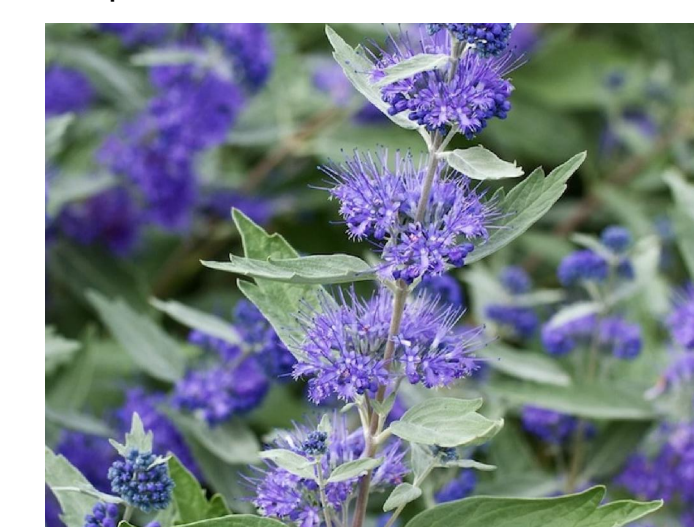
Eryngium Alpinum 'Blue star'



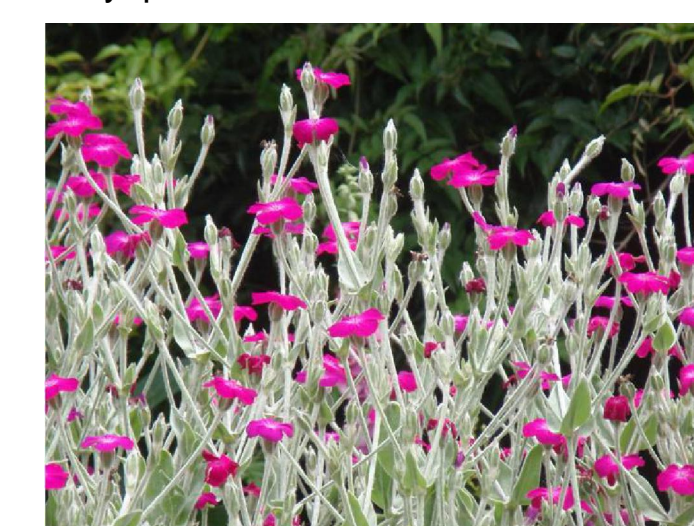
Juniperous Horizontalis 'Andorra'



Juniperous Sabina



Caryopteris x Clandonensis



Lychnis



Sedum x 'Thunderhead'



Berberis Thunbergii 'Concorde'



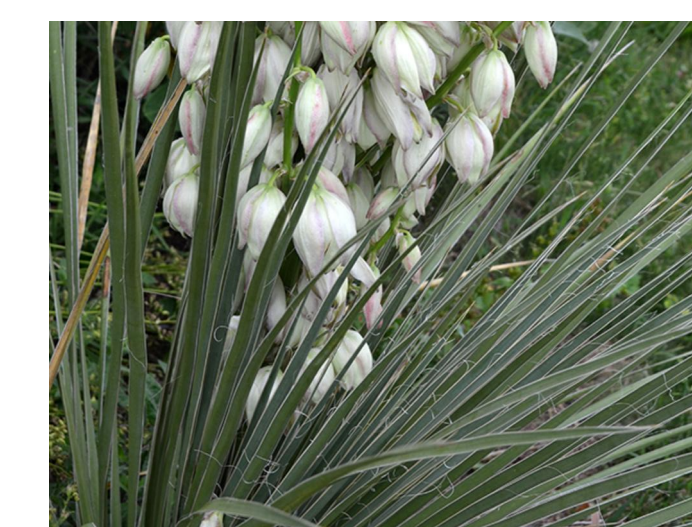
Artemisia Tridentata



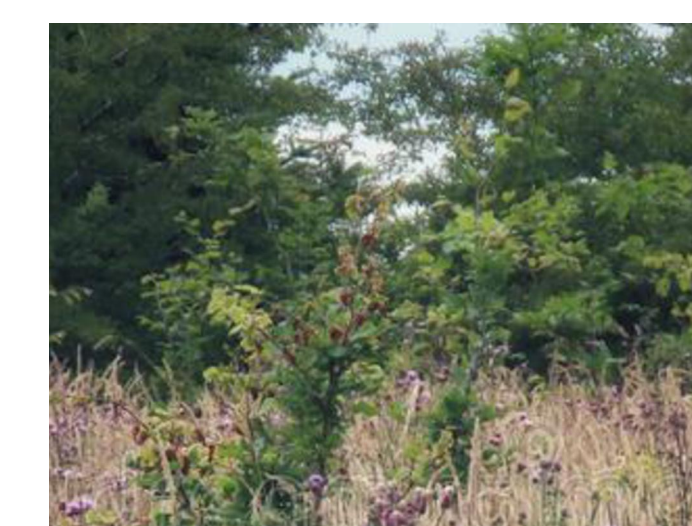
Thymus Pseudolanuginosus



Arctostaphylos Uva-Ursi



Yucca Glauca



Dry meadow seed mix


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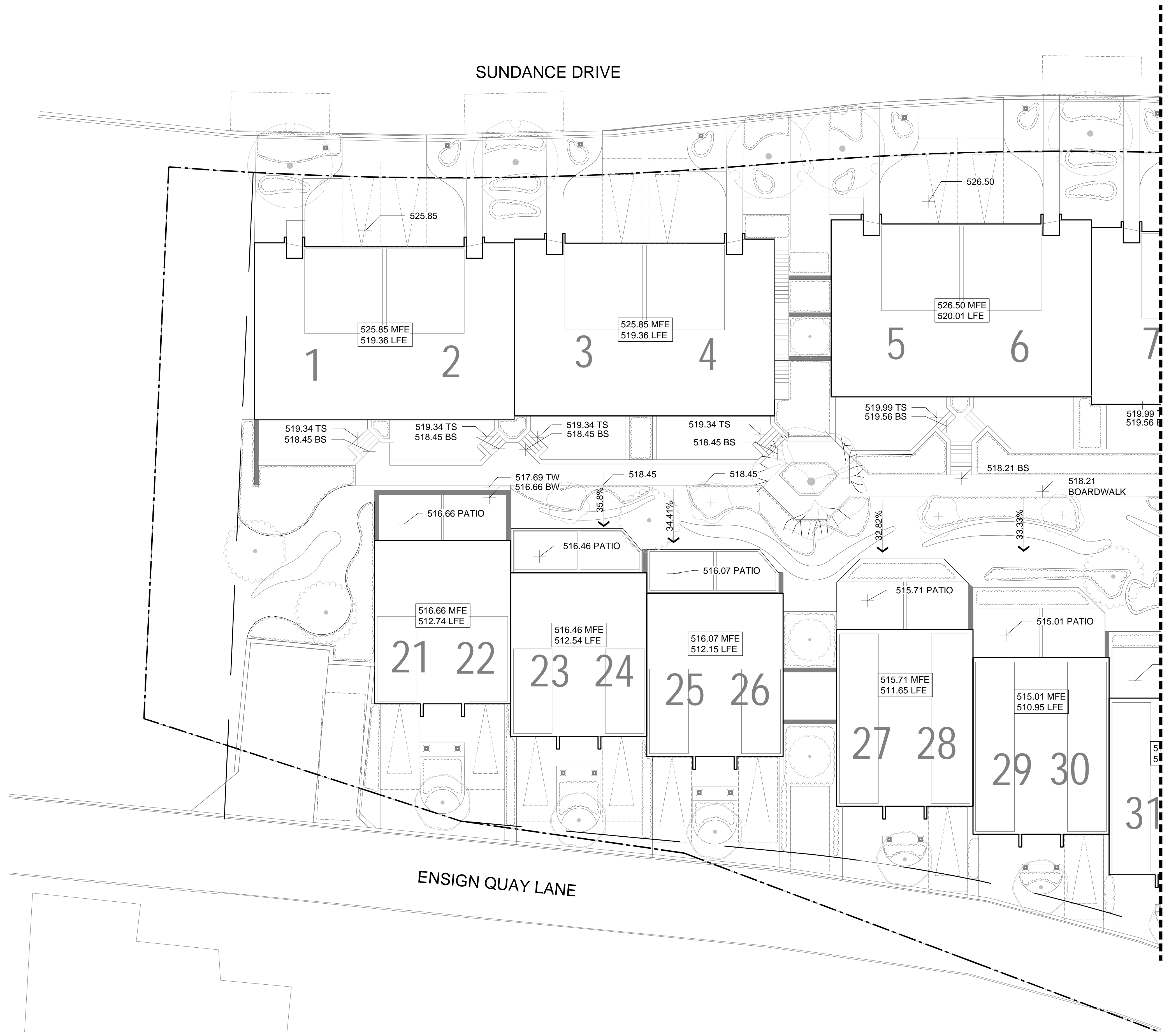
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 Location:  
 3401 Sundance Drive  
 West Kelowna, B.C.

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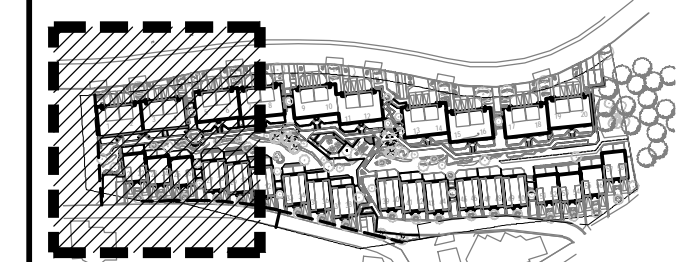
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REFER TO L-03B

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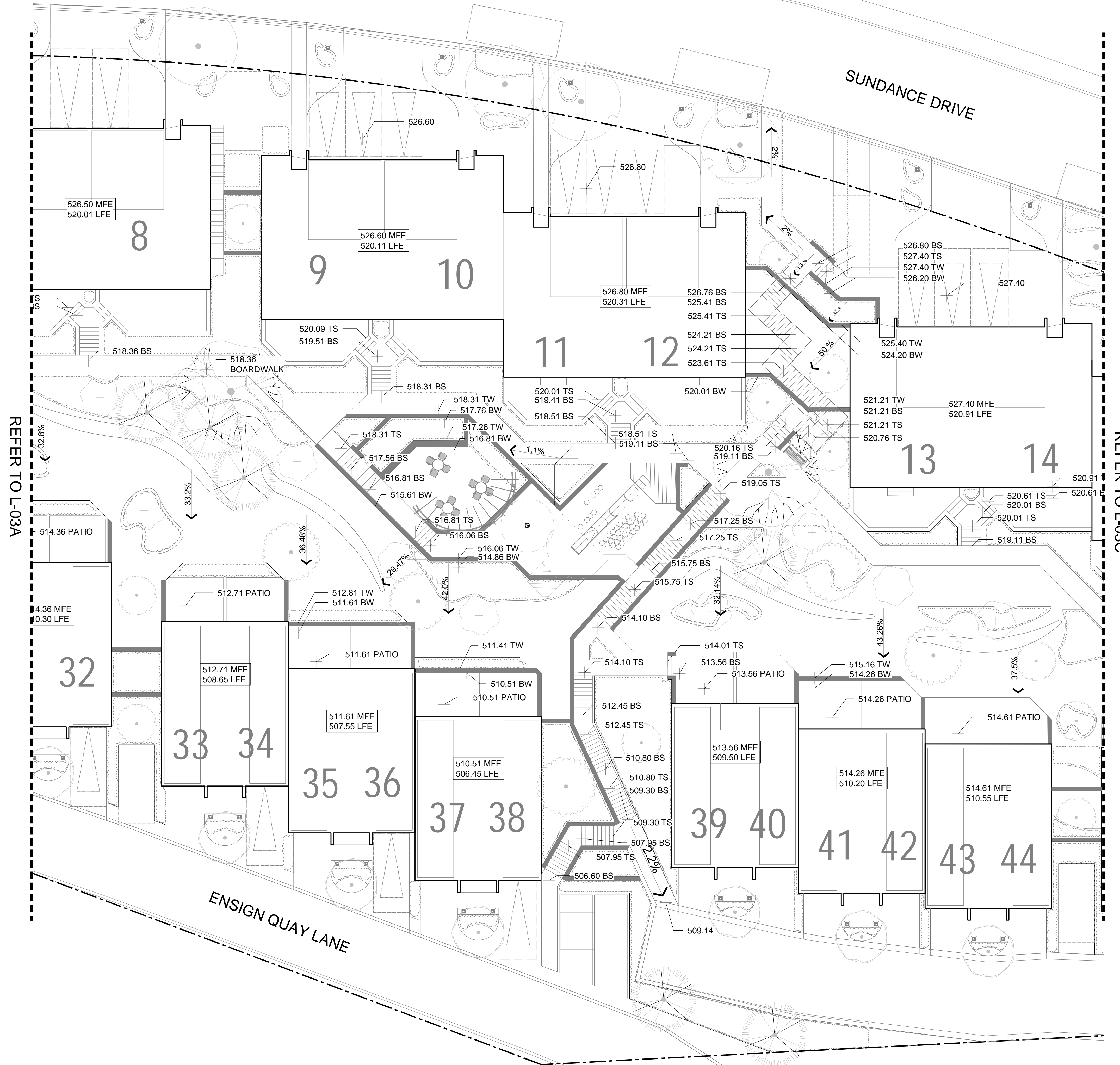
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Drawing Title:  
**FENCE AND GRADING PLAN WEST**



VDZ Project #:  
**DP2022-16**

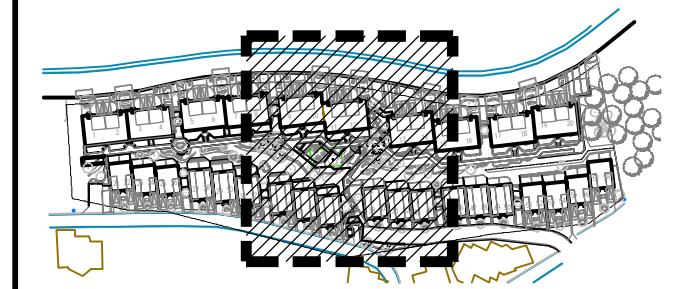
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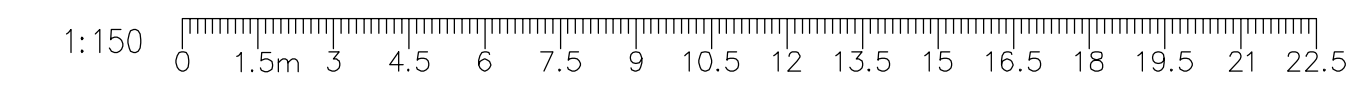
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Z:\PROJECTS\DEVELOPMENT PERMIT\ACTIVEDP2022-16 GATEHOUSE SUNDANCE DEVELOPMENT\5\_DWG\SHEETS\L-03 - FENCE AND GRADING PLANDWG

Drawing Title:  
**FENCE AND GRADING PLAN CENTER**



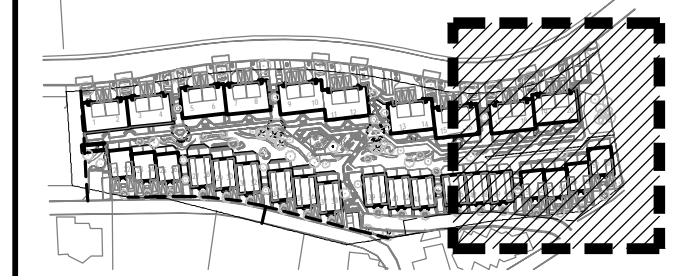
VDZ Project #:  
**DP2022-16**

Drawing #:  
**L-03B**





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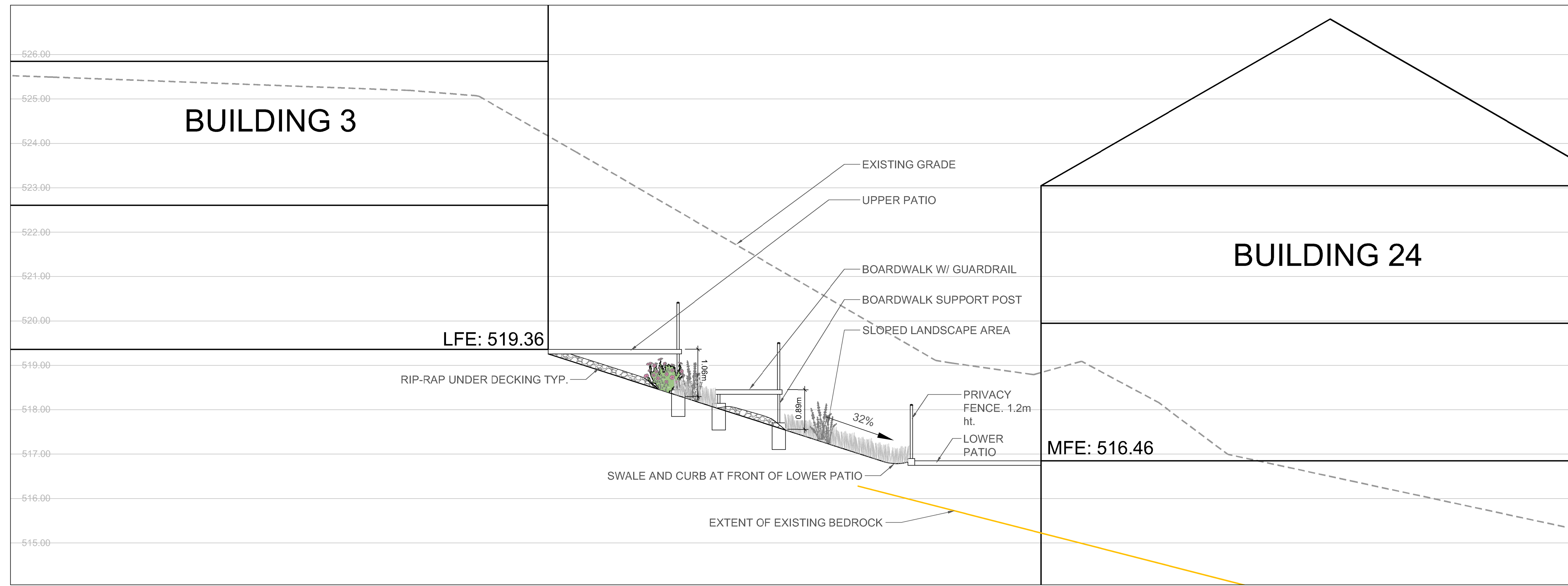
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Drawing Title:  
**FENCE AND GRADING PLAN EAST**

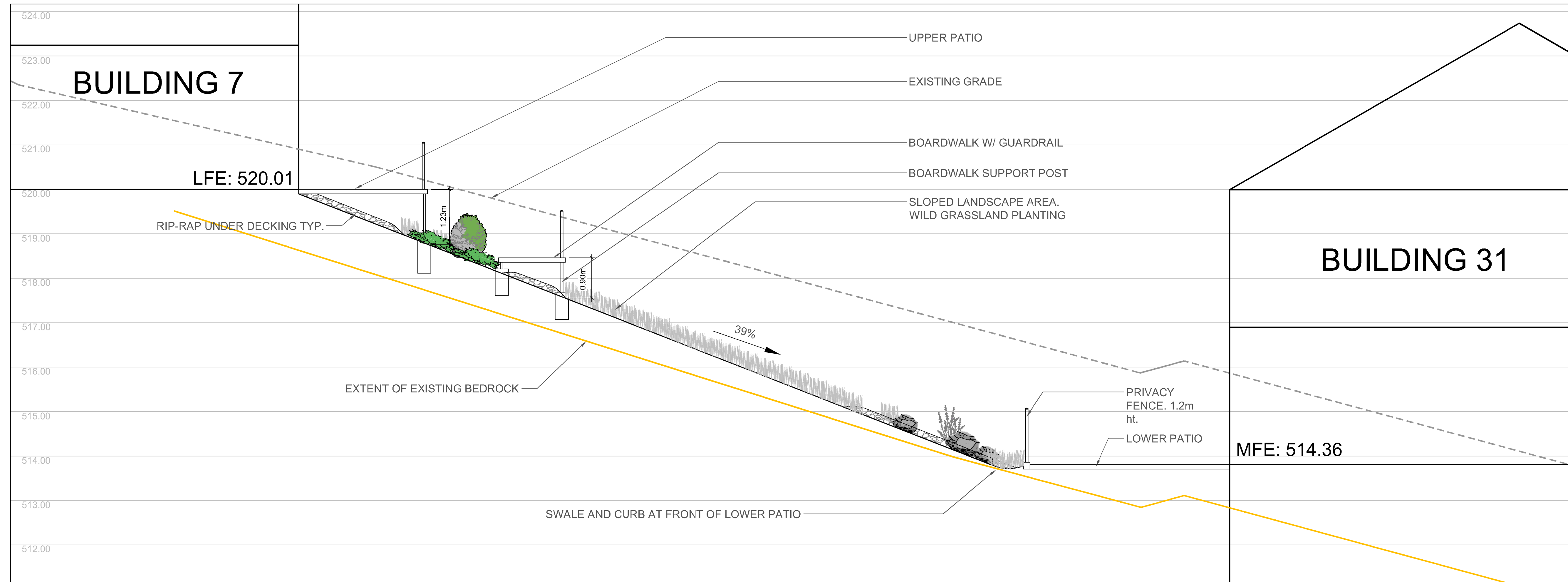


VDZ Project #:  
**DP2022-16**

Drawing #:  
**L-03C**



**A** SECTION THROUGH UNIT 3 AND 24  
 Scale 1:50



**B** SECTION THROUGH UNIT 7 AND 31  
 Scale 1:50

**LEGEND**

	EXISTING GRADE
	EXISTING BEDROCK

No.	By	Description	Date
8	KM	Issued for Development Permit	2023-04-18
7	KM	Issued for Development Permit	2023-02-24
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5	KM	Re-Issued for Coordination	2023-02-10
4	KM	Issued for Coordination	2023-02-08
3	ET	Issued for Development Permit	2022-06-10
2	ET	Issued for Review	2022-05-31
1	SH	Issued for Review	2022-05-18

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No.	By	Description	Date

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Project:  
 PROVIDENCE / SUNDANCE

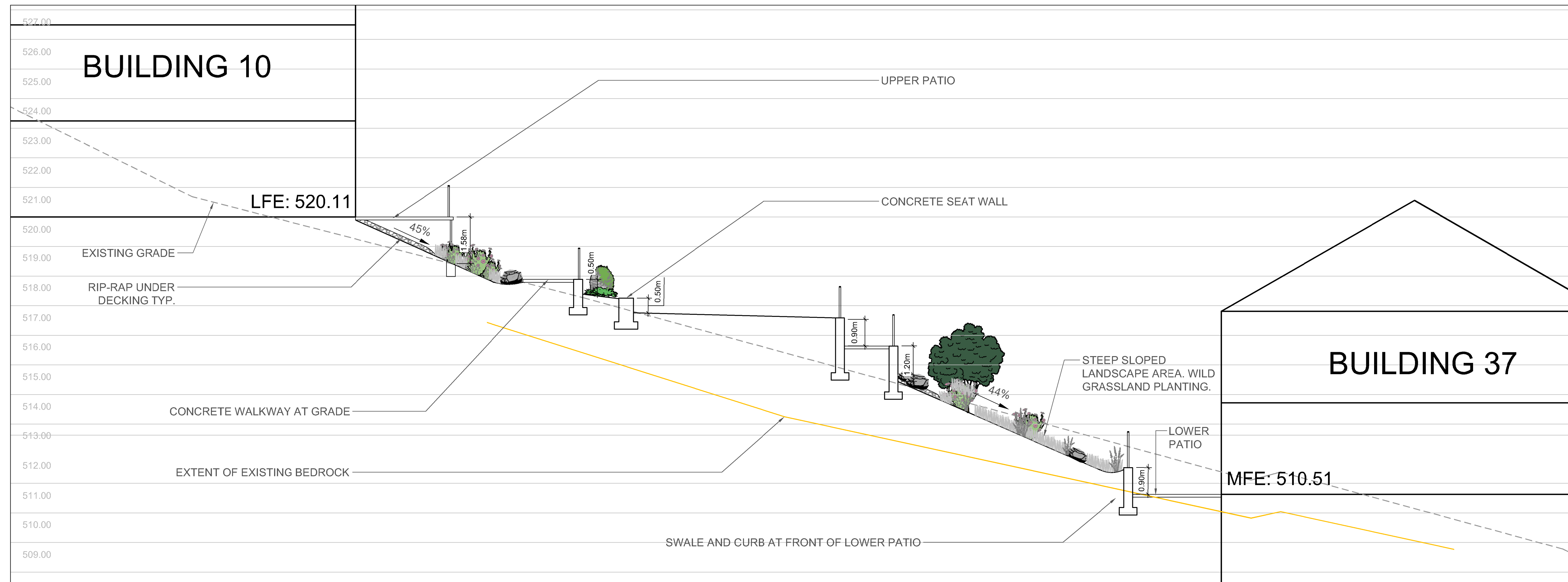
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Approved: APPROVED	
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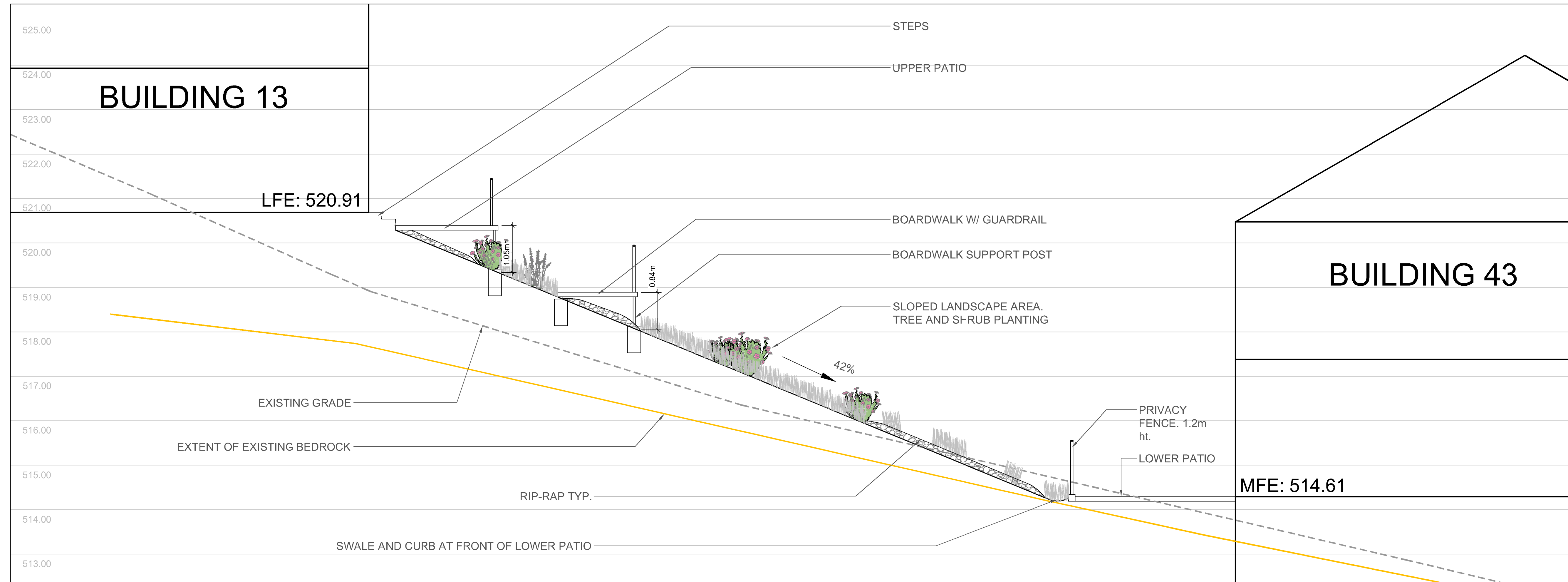
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Drawing Title: **LANDSCAPE SECTIONS**  
 Drawing #: **LS-01**  
 Vdz Project #: **DP2022-16**



**C** SECTION THROUGH UNIT 10 AND 37  
 Scale 1:75



**D** SECTION THROUGH UNIT 13 AND 43  
 Scale 1:50

**LEGEND**

	EXISTING GRADE
	EXISTING BEDROCK

No.	By:	Description	Date
8	KM	Issued for Development Permit	2023-04-18
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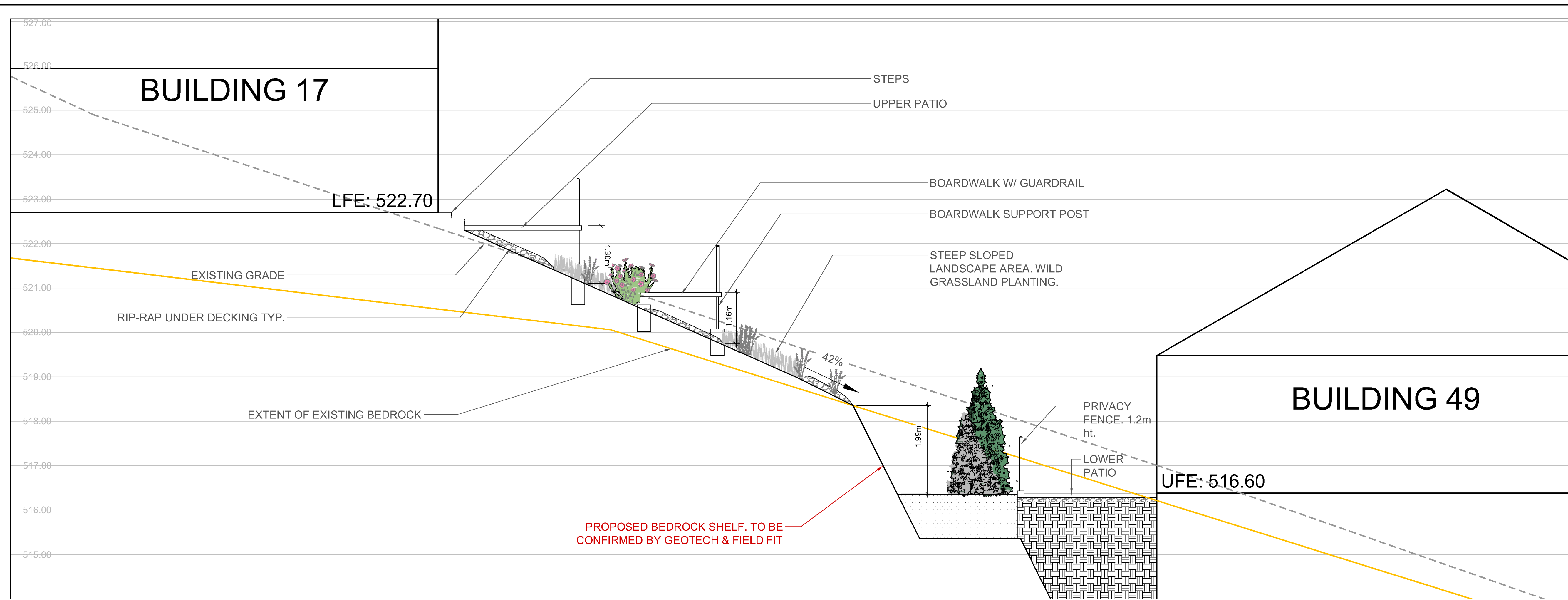
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 PROVIDENCE / SUNDANCE

Location:  
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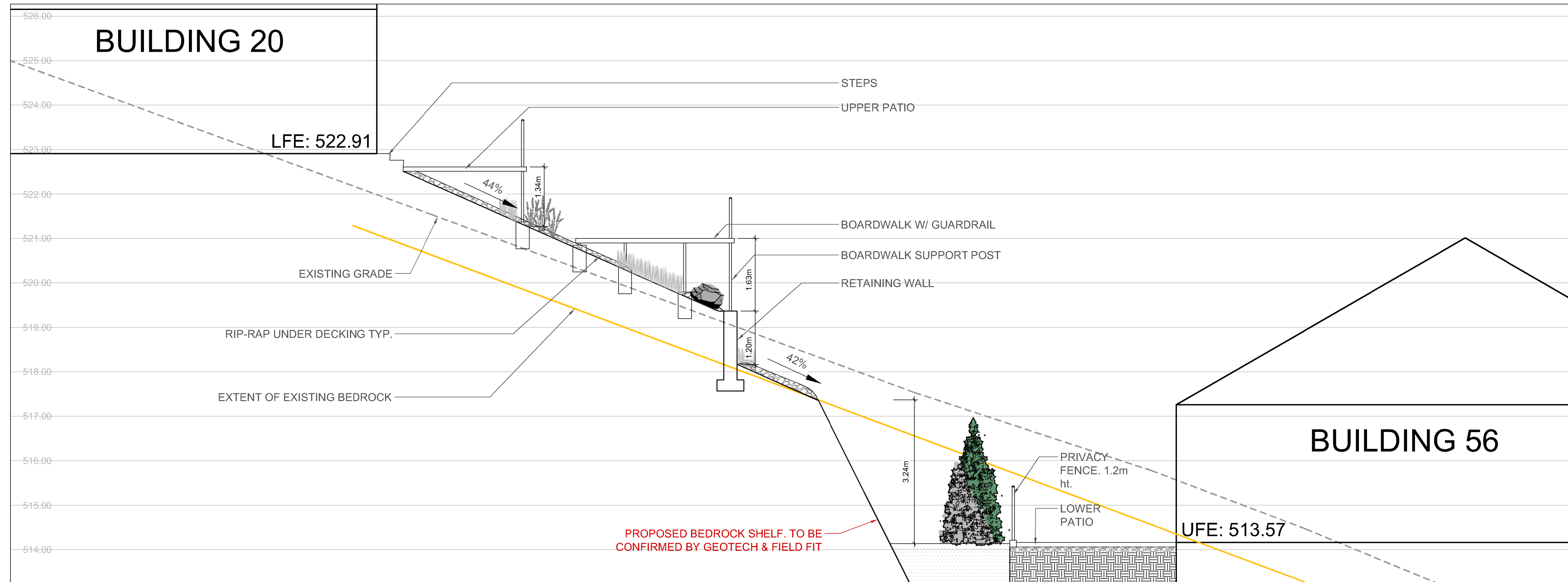
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Drawing Title: **LANDSCAPE SECTIONS**  
 Drawing #: **LS-02**  
 Vdz Project #: **DP2022-16**



**E** SECTION THROUGH UNIT 17 AND 49  
 Scale 1:50



**F** SECTION THROUGH UNIT 20 AND 56  
 Scale 1:50

**LEGEND**

	EXISTING GRADE
	EXISTING BEDROCK

**REVISIONS TABLE FOR DRAWINGS**

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1	SH	Issued for Review	2022-05-18

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No.	By:	Description	Date

Project:  
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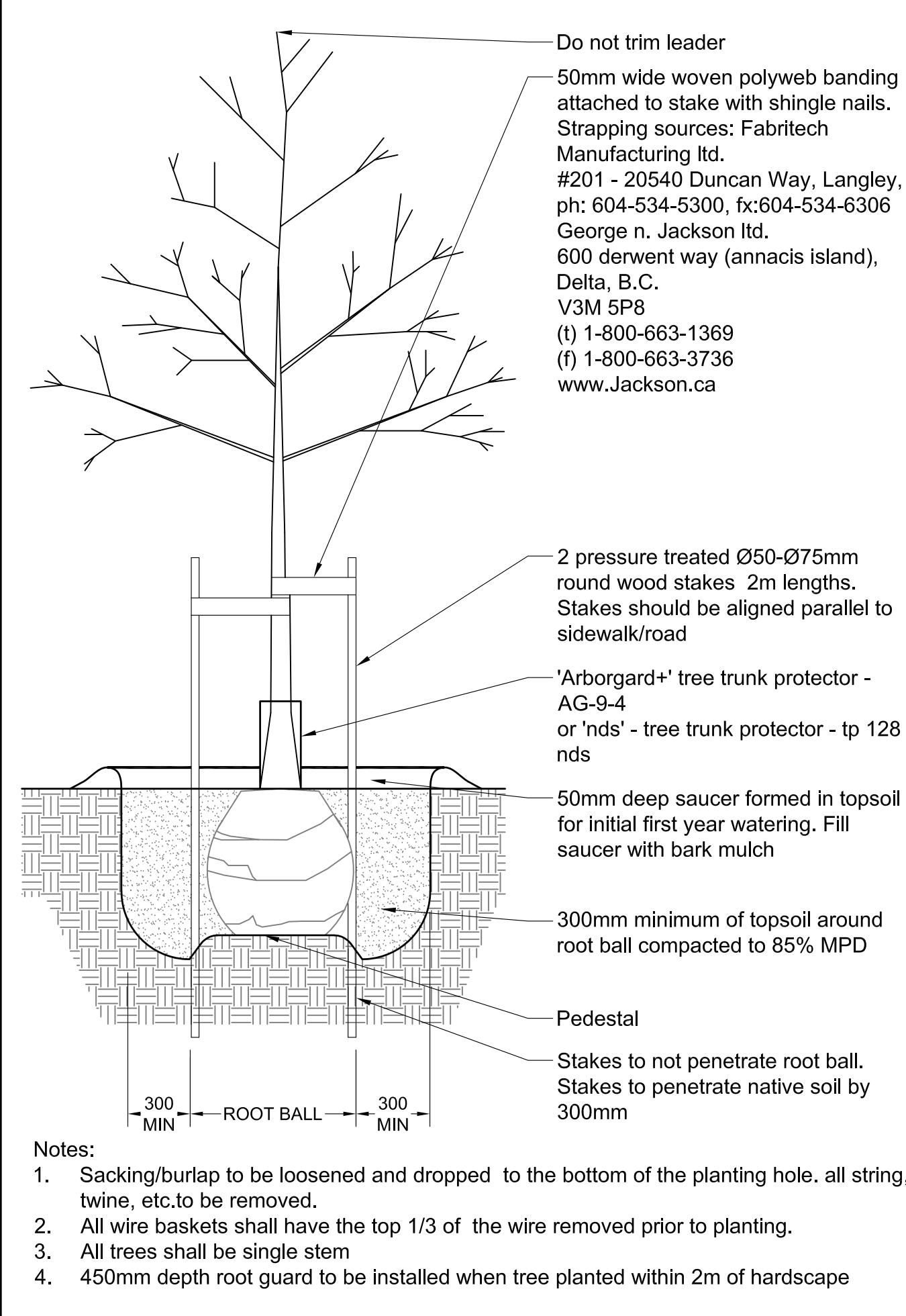
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Approved: APPROVED	
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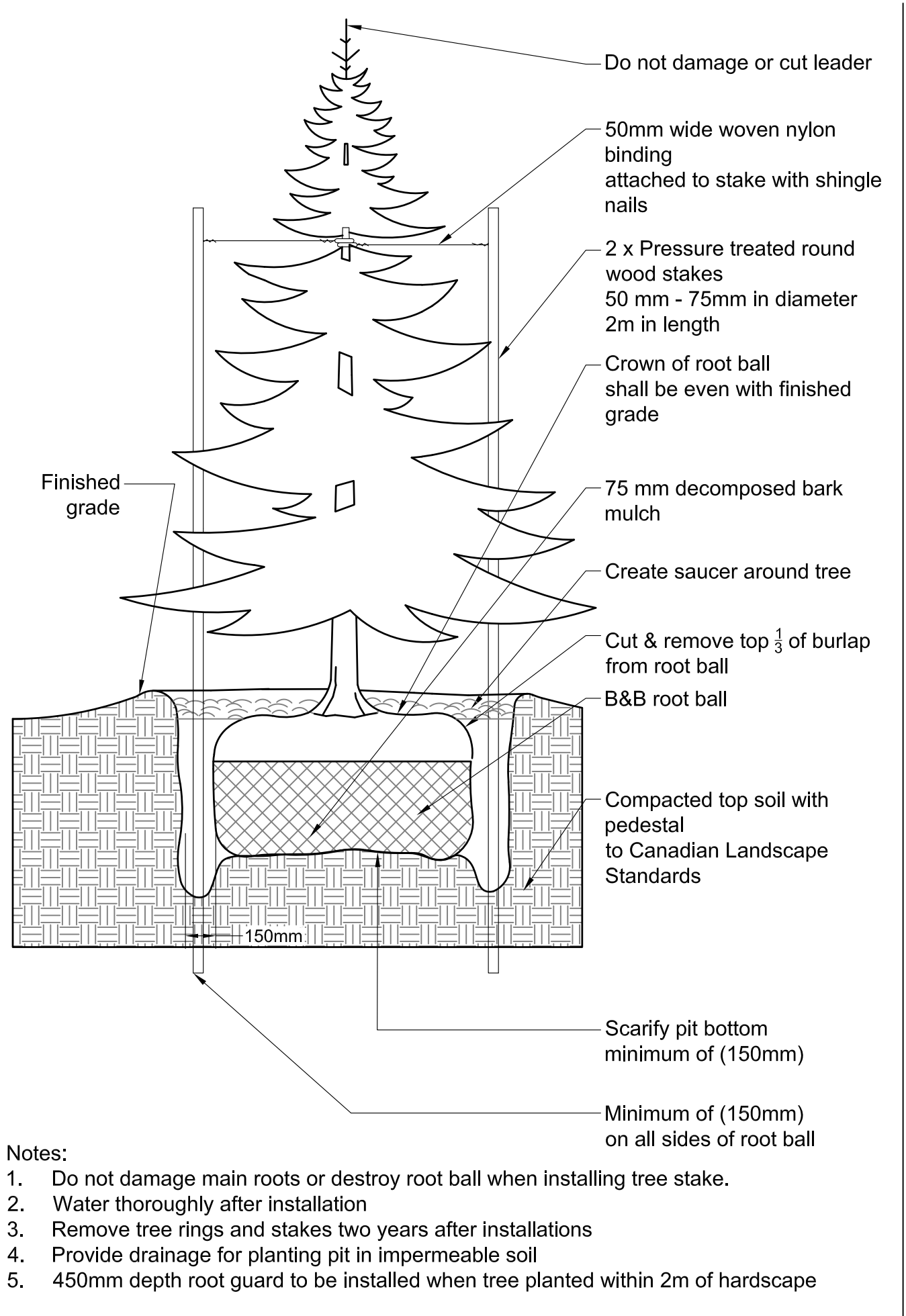
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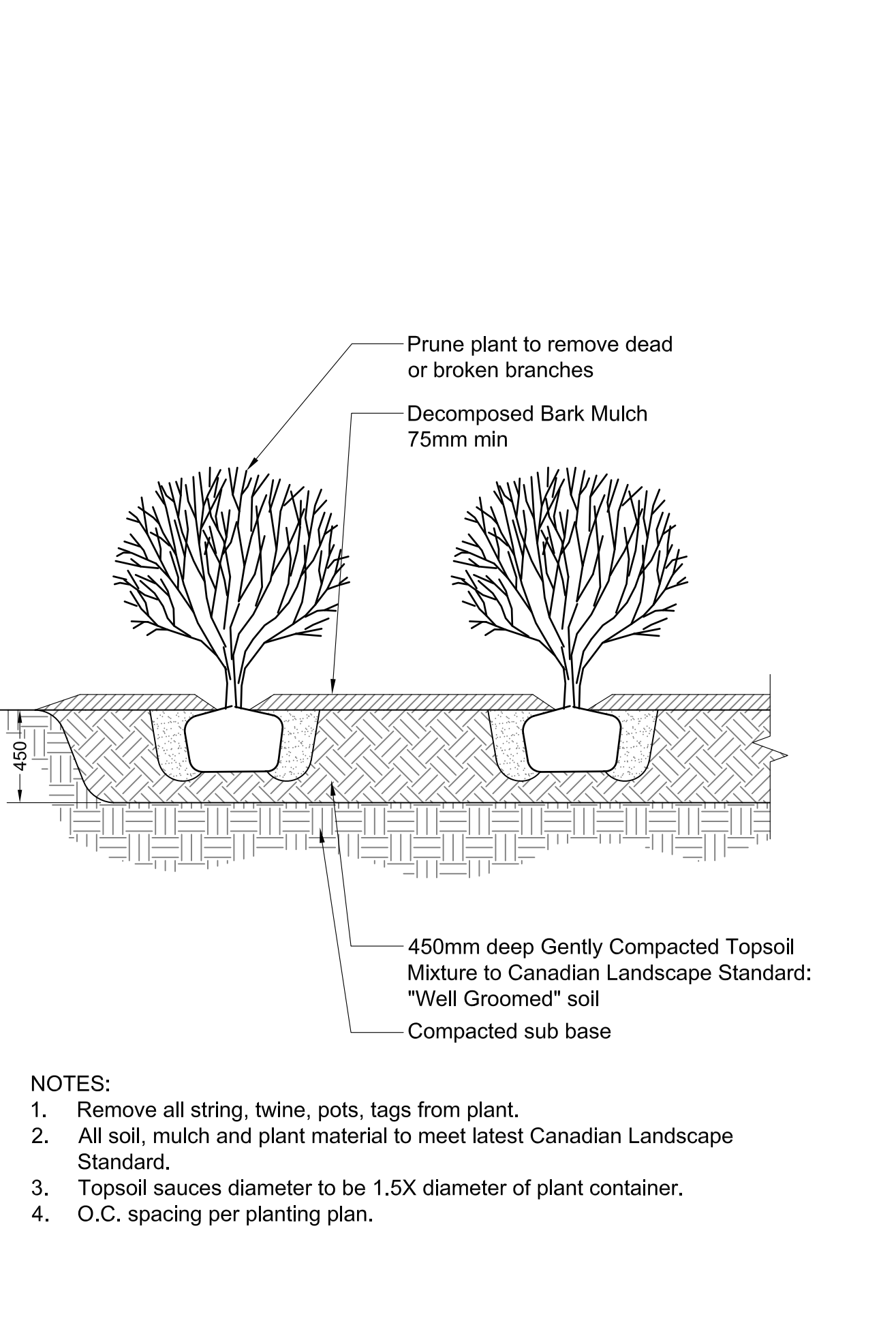
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 Drawing #: **LS-03**  
 Vdz Project #: **DP2022-16**



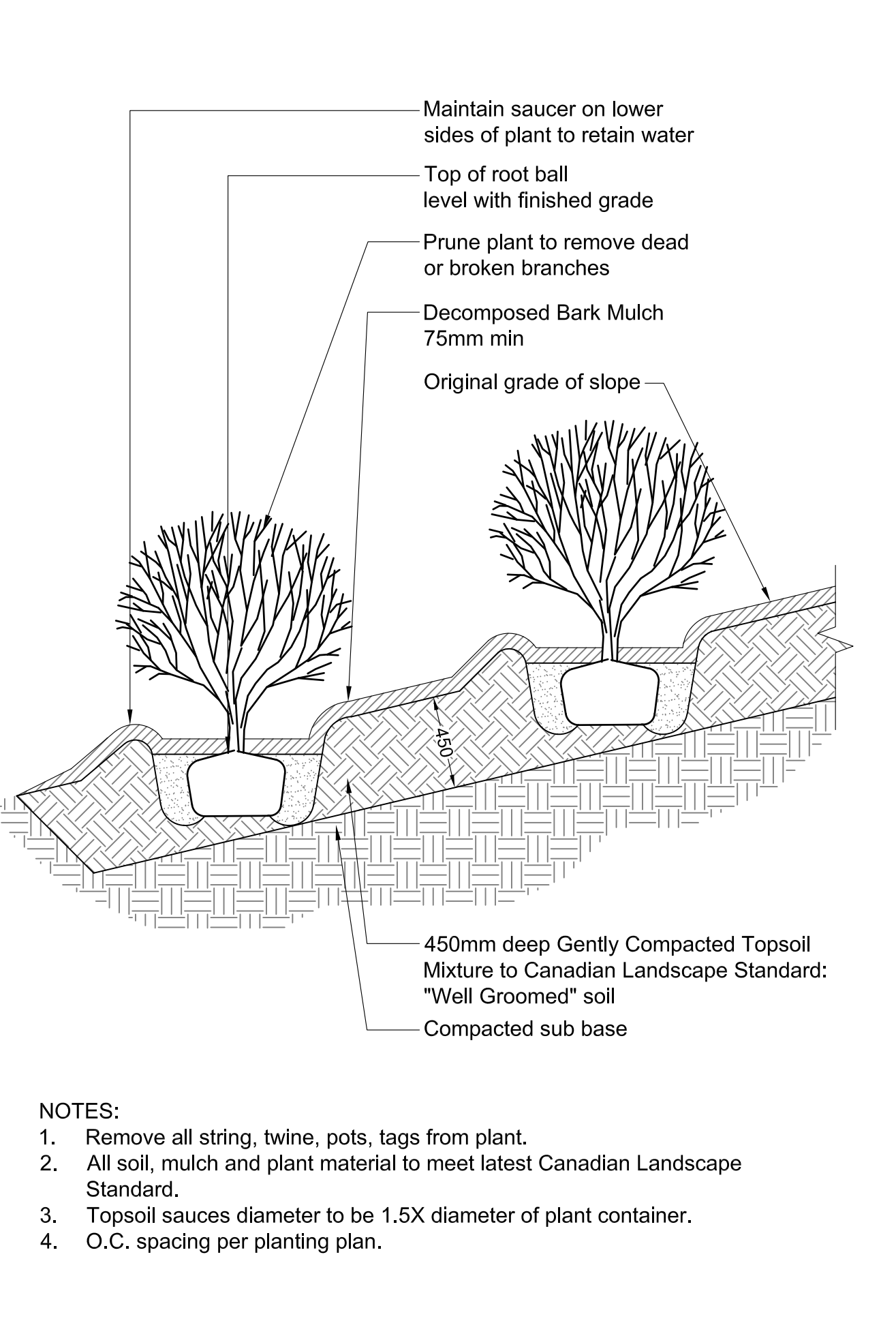
**1** DECIDUOUS TREE PLANTING  
 Scale 1:25



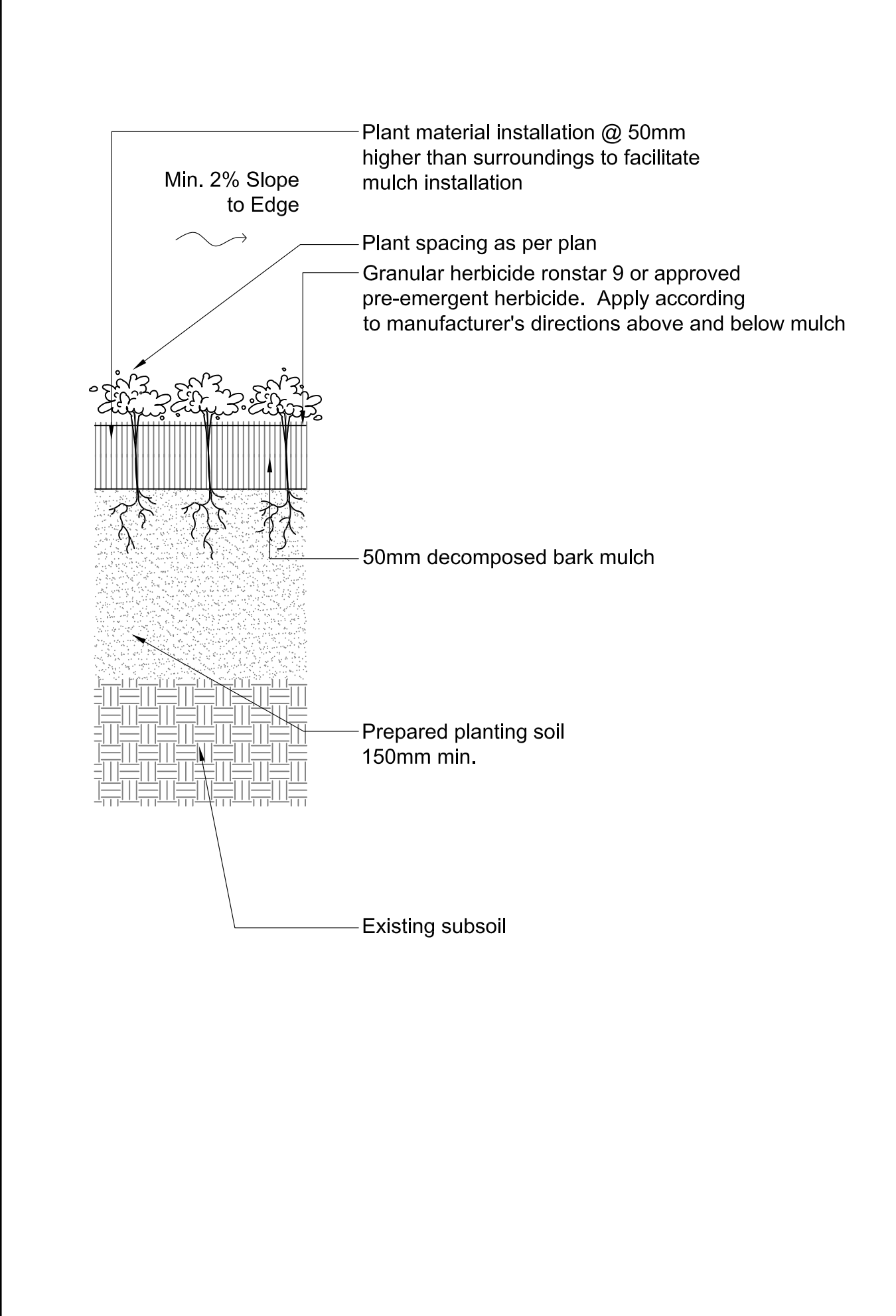
**2** CONIFEROUS TREE PLANTING  
 Scale 1:25



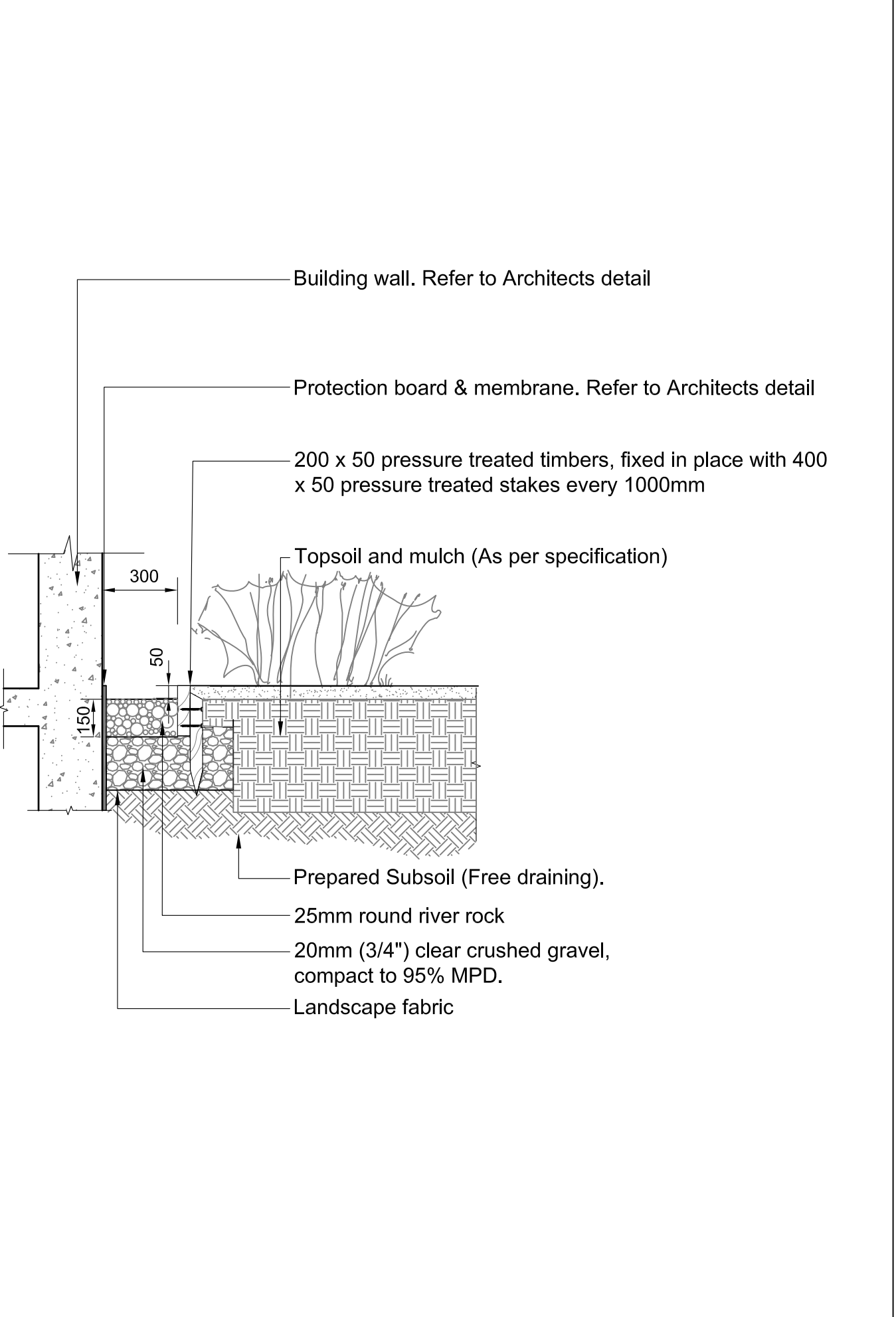
**3** SHRUB PLANTING  
 Scale 1:25



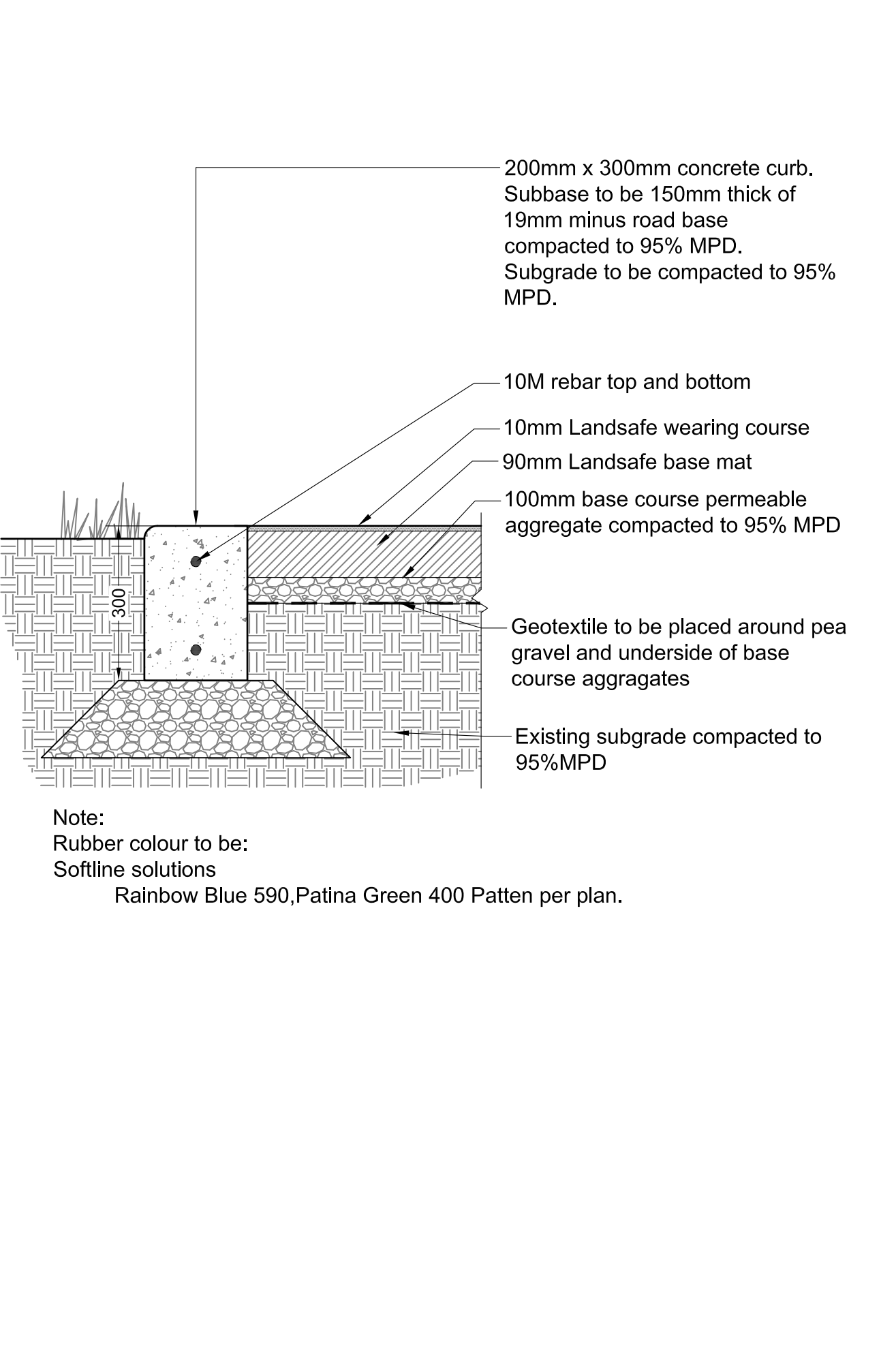
**4** SHRUB PLANTING ON SLOPE  
 Scale 1:25



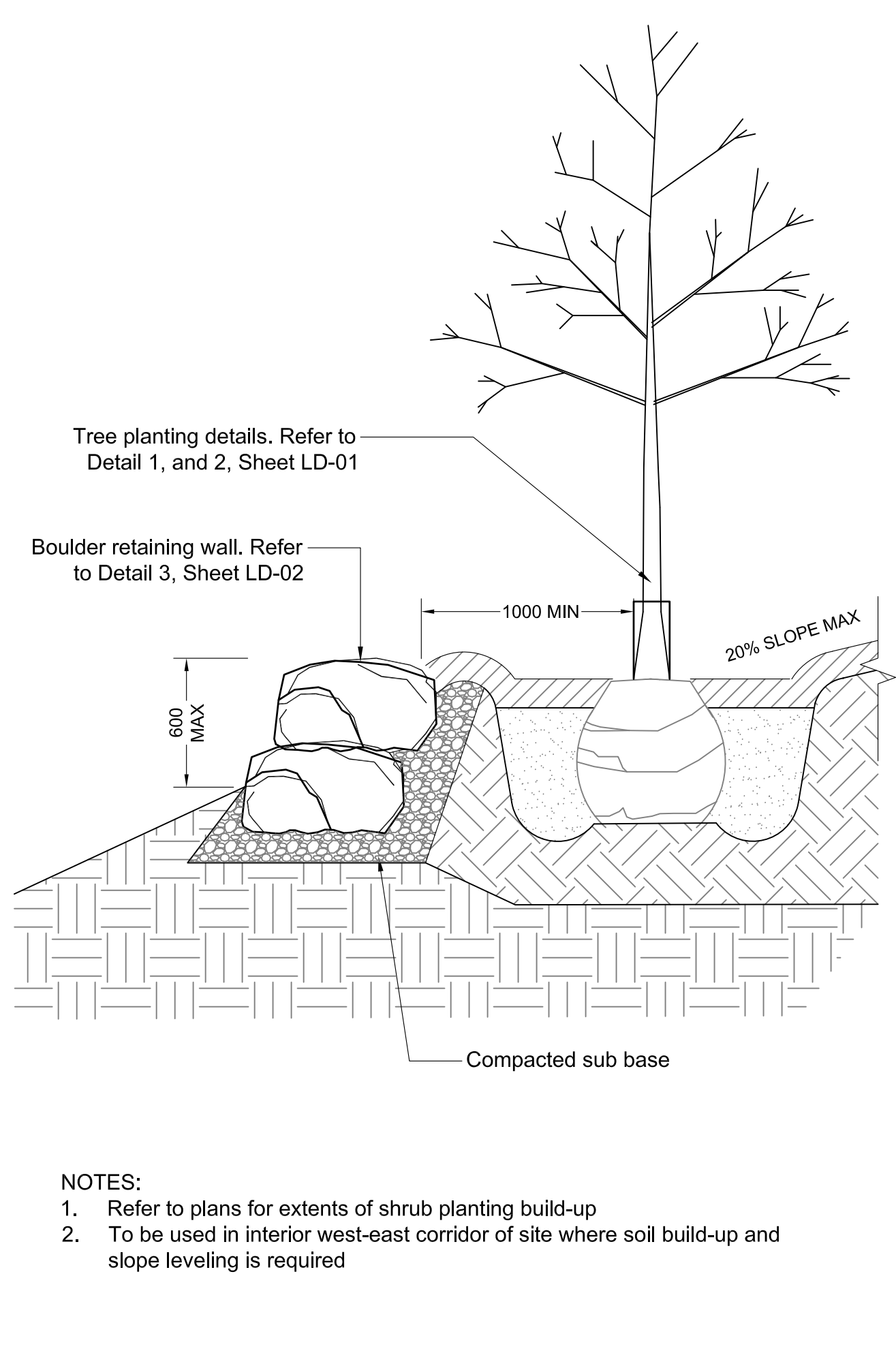
**5** GROUND COVER PLANTING  
 Scale 1:10



**6** DRIP STRIP  
 Scale 1:20



**7** RUBBER SAFETY SURFACE  
 Scale 1:10



**8** PLANTING BEDS ON SLOPE  
 Scale 1:25

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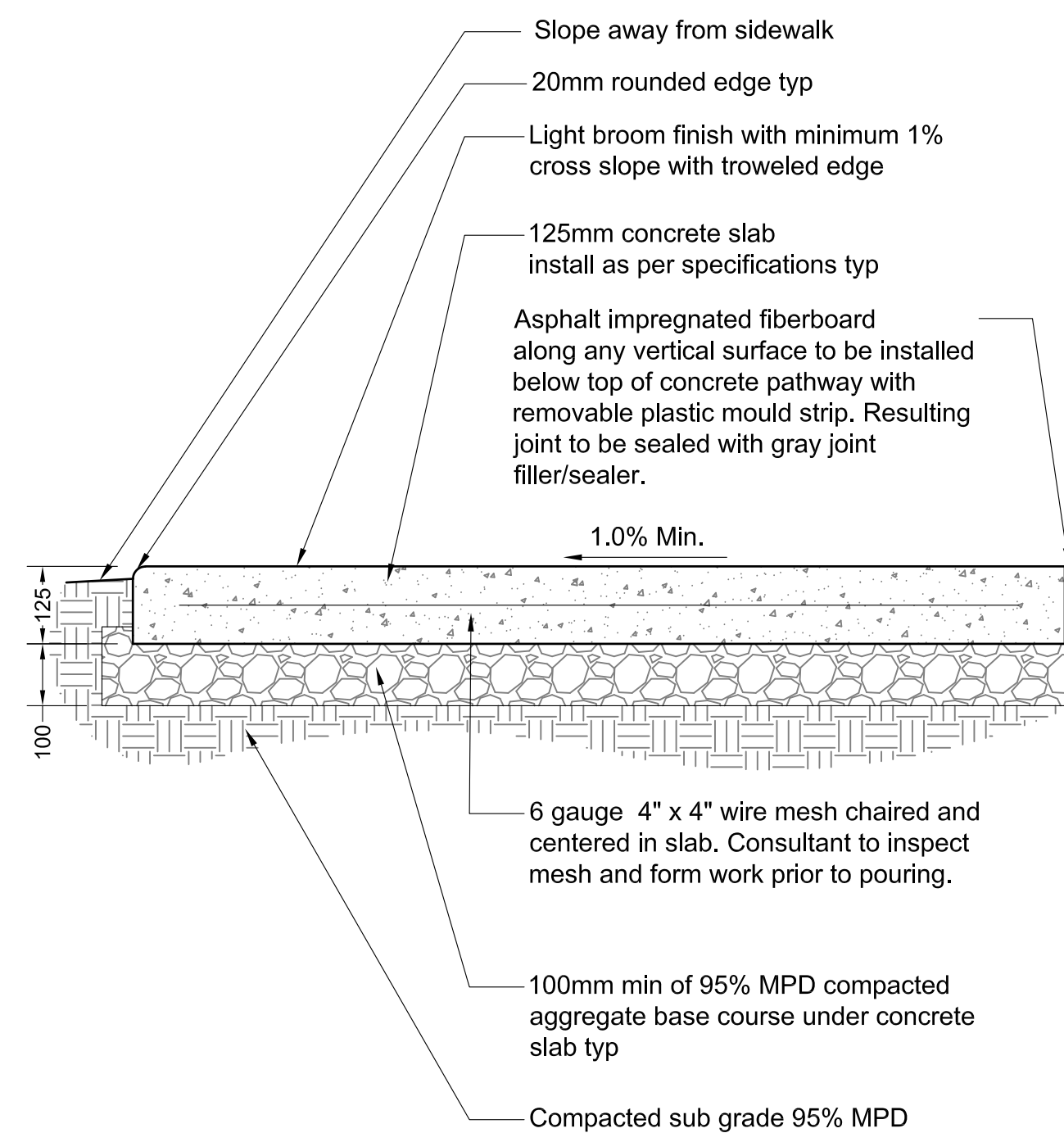
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Project:  
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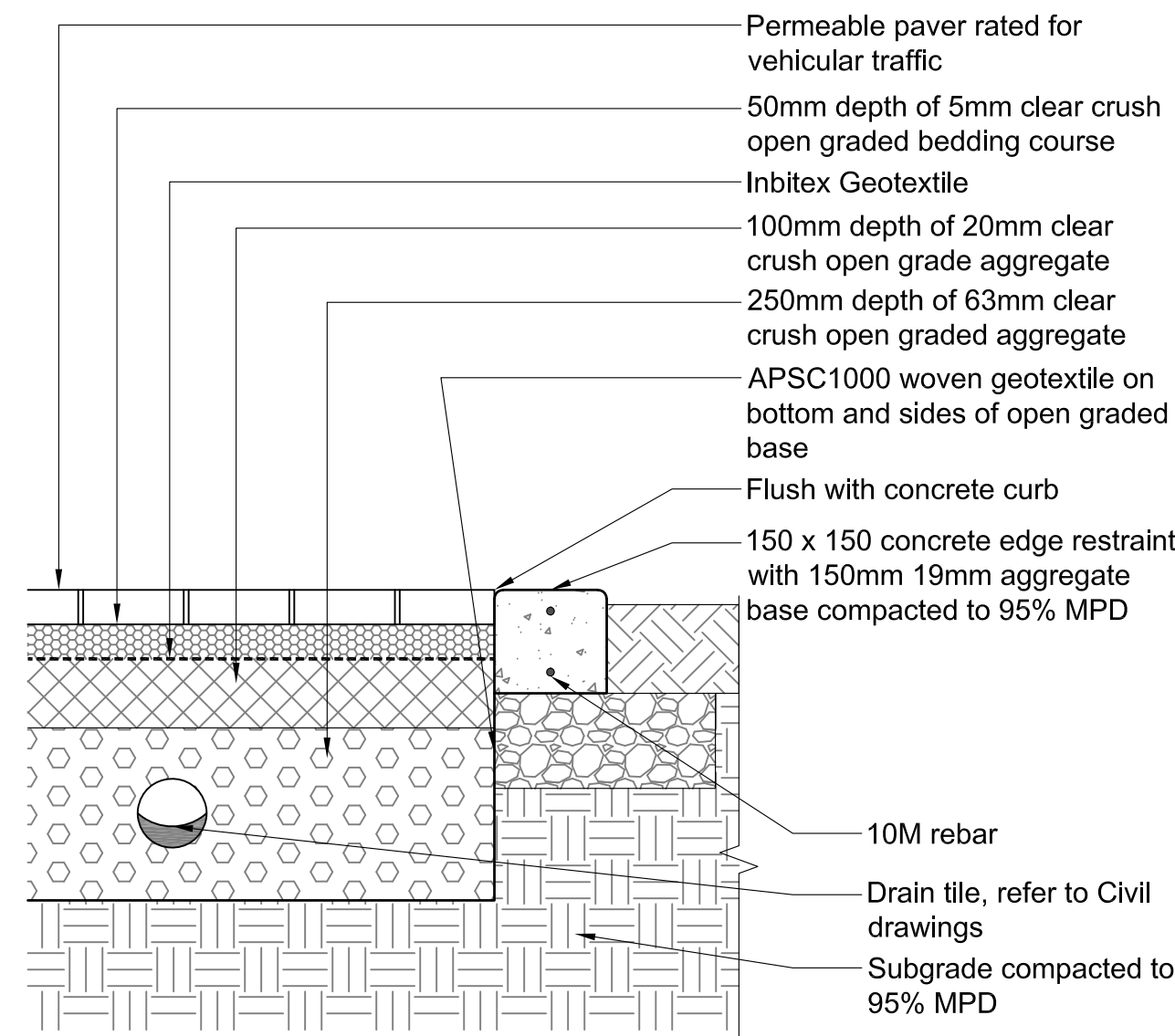
Location:  
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Drawn: ET AH	Stamp:
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Approved: APPROVED	Original Sheet Size: 24"x36"
Scale: AS SHOWN	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS TO DRAWINGS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.



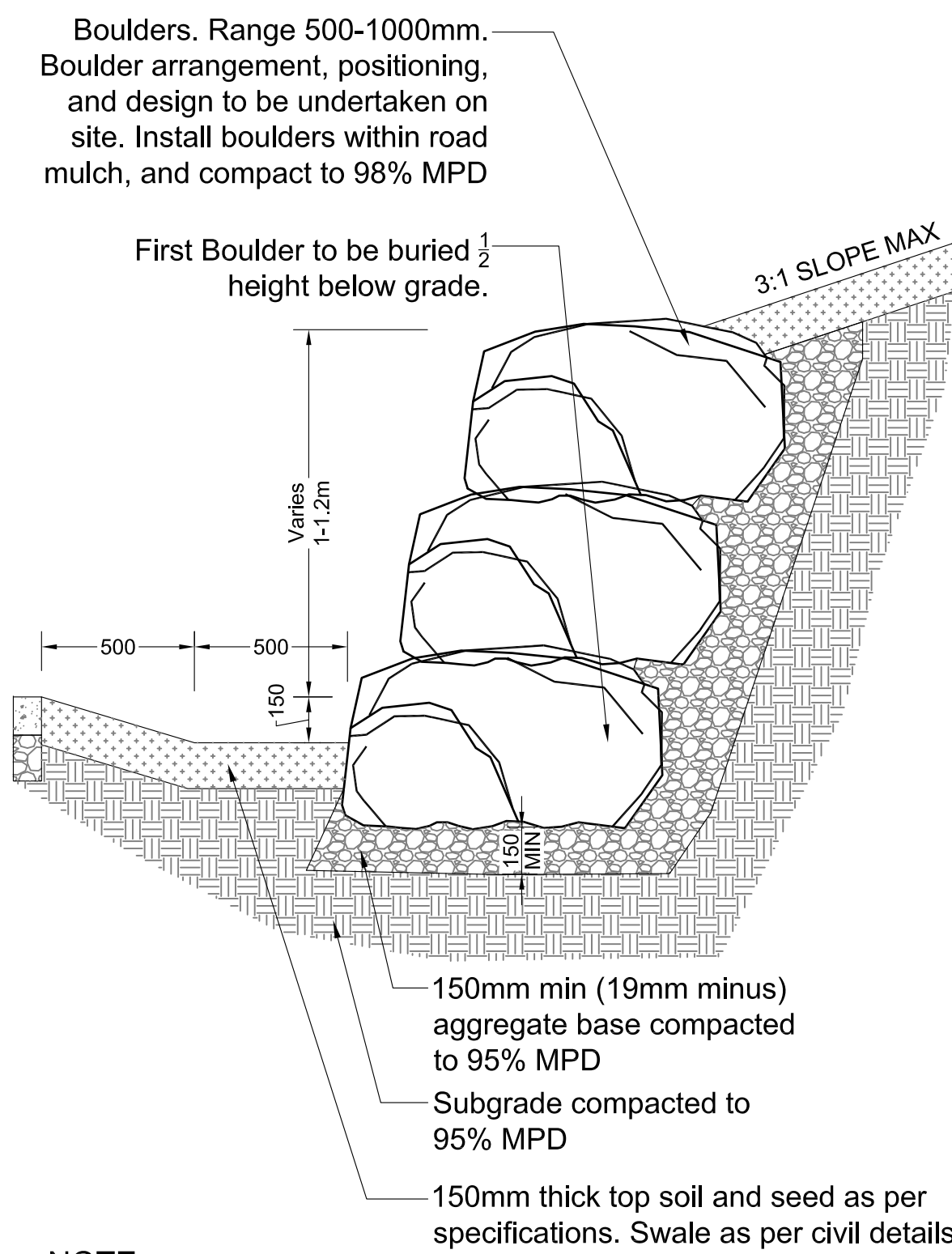
- Notes:**
1. Contractor to provide expansion joints where concrete meets all vertical structures.
  2. Horizontal scorelines at 1500mm o.c. both ways unless shown otherwise. Refer to plans.
  3. Center scoreline on 150mm smooth finish or to match existing concrete pathway.
  4. All components as specified or approved alternate.
  5. Concrete to slope to drain.
  6. Expansion joint every 3000mm o.c. both ways.
  7. Contractor to contact Landscape Architect for scoreline approval prior to cutting.

**1 CONCRETE PAVING**  
Scale 1:10



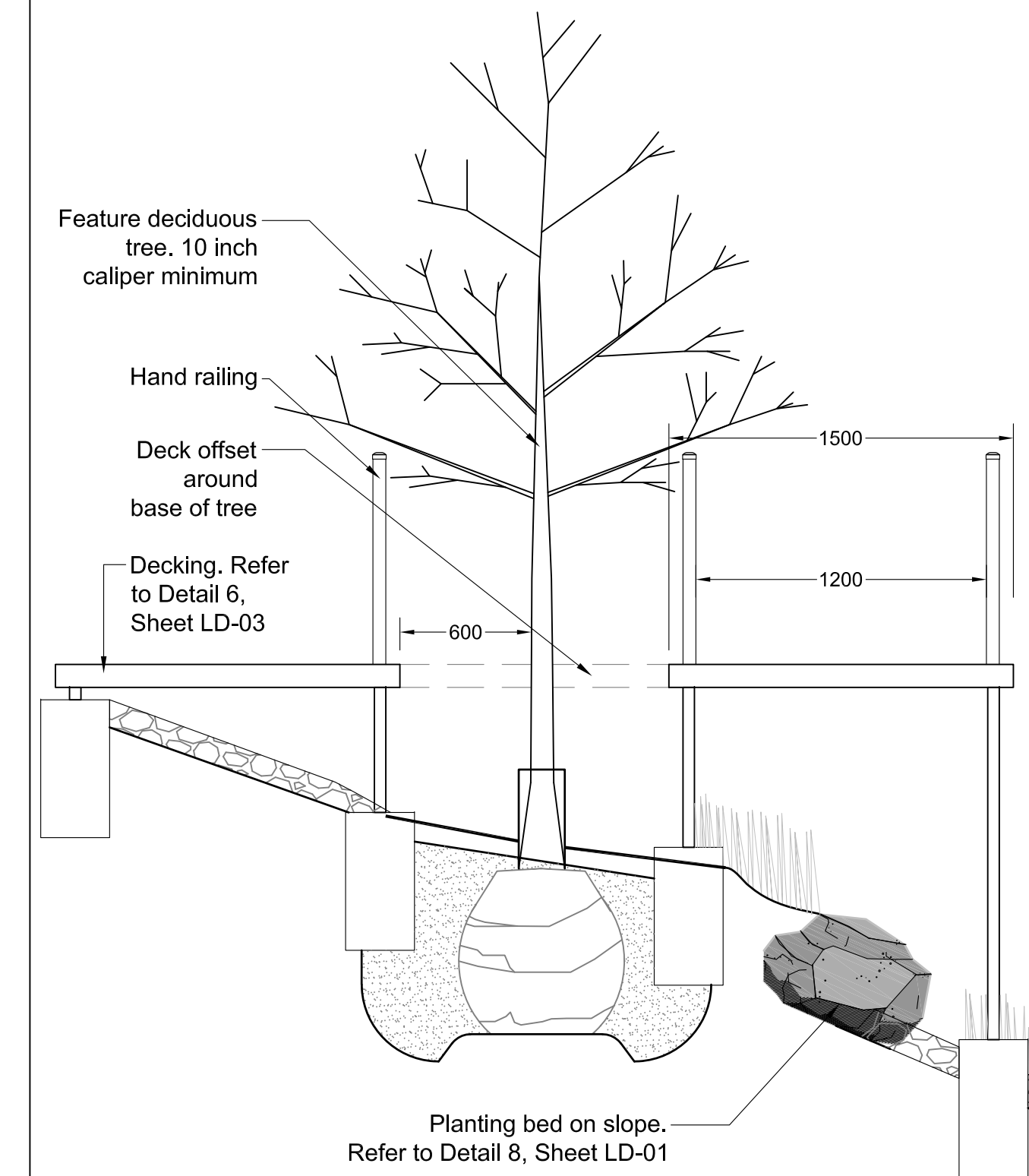
- Notes:**
1. Install all components as per manufacturer's specifications.
  2. Permeable Mission Paver - by Basalite
  3. Colour: Charcoal
  4. Herringbone pattern.
  5. Concrete curb control joint every 3m.

**2 VEHICULAR PAVING**  
Scale 1:10



- NOTE:**
1. All walls over 1.2m in height will need to be Structurally Engineered.
  2. All planters to be connected to Slab drainage system.

**3 BOULDER RETAINING WALL**  
Scale 1:20



**4 BOARDWALK TREE WELL**  
Scale 1:25



Supplier: TBD  
 Product: Hill climbing hand holds  
 Age Group: 4+  
 or approved equal

Supplier: KOMPAN  
 Product: EMBANKMENT SLIDE- PCM110121  
 Dimensions: 463 x 161 x 110 cm  
 Age Group: 4+  
 Play Capacity: 3  
 or approved equal

**5 ADVENTURE CLIMBING HILL**  
NTS



Lighting bollard  
 Finish: brushed stainless steel or oxidized steel  
 Mount: surface mounted to deck  
 Product and supplier: TBD

**6 LIGHTING BOLLARD**  
NTS



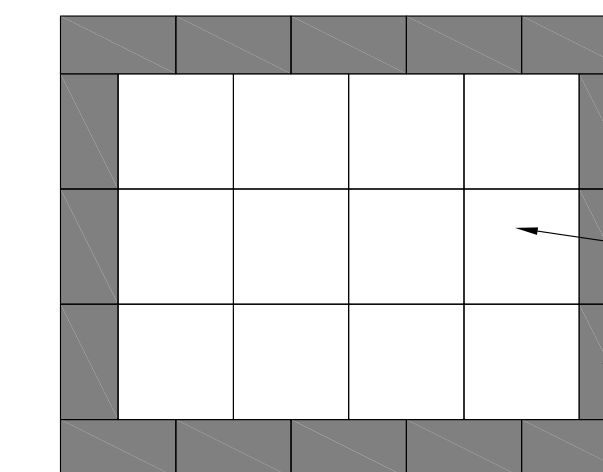
Supplier: ERCO Lighting  
 Product: Lightmark - Recessed Wall/Step Light

Or Approved Alternative

Finish: Silver  
 Mount: Surface Mount  
 Contact: 1-877-372-6584

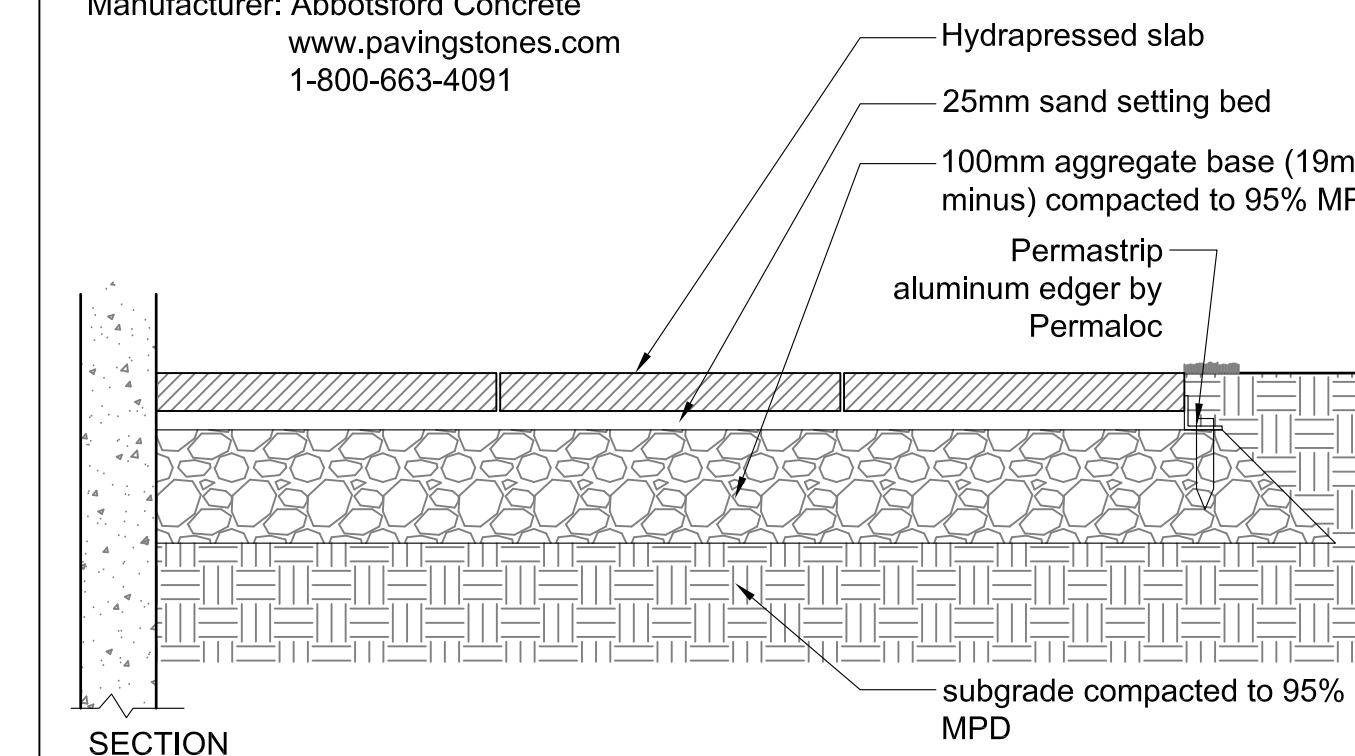
- Notes:**
1. Lighting through common amenity areas

**7 WALL / STEP LIGHT**  
NTS



PLAN  
 Scale: 1:40

Unit Paver Details:  
 Type: Cortez HydraPressed Slabs  
 Size: L610 X W610 X T50mm min.  
 Colours: Natural, Charcoal  
 Manufacturer: Abbotsford Concrete  
 www.pavingstones.com  
 1-800-663-4091



SECTION

**8 HYDRAPRESSED SLABS**  
1:10

No.	By:	Description	Date
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No.	By:	Description	Date
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Project:  
**PROVIDENCE / SUNDANCE**

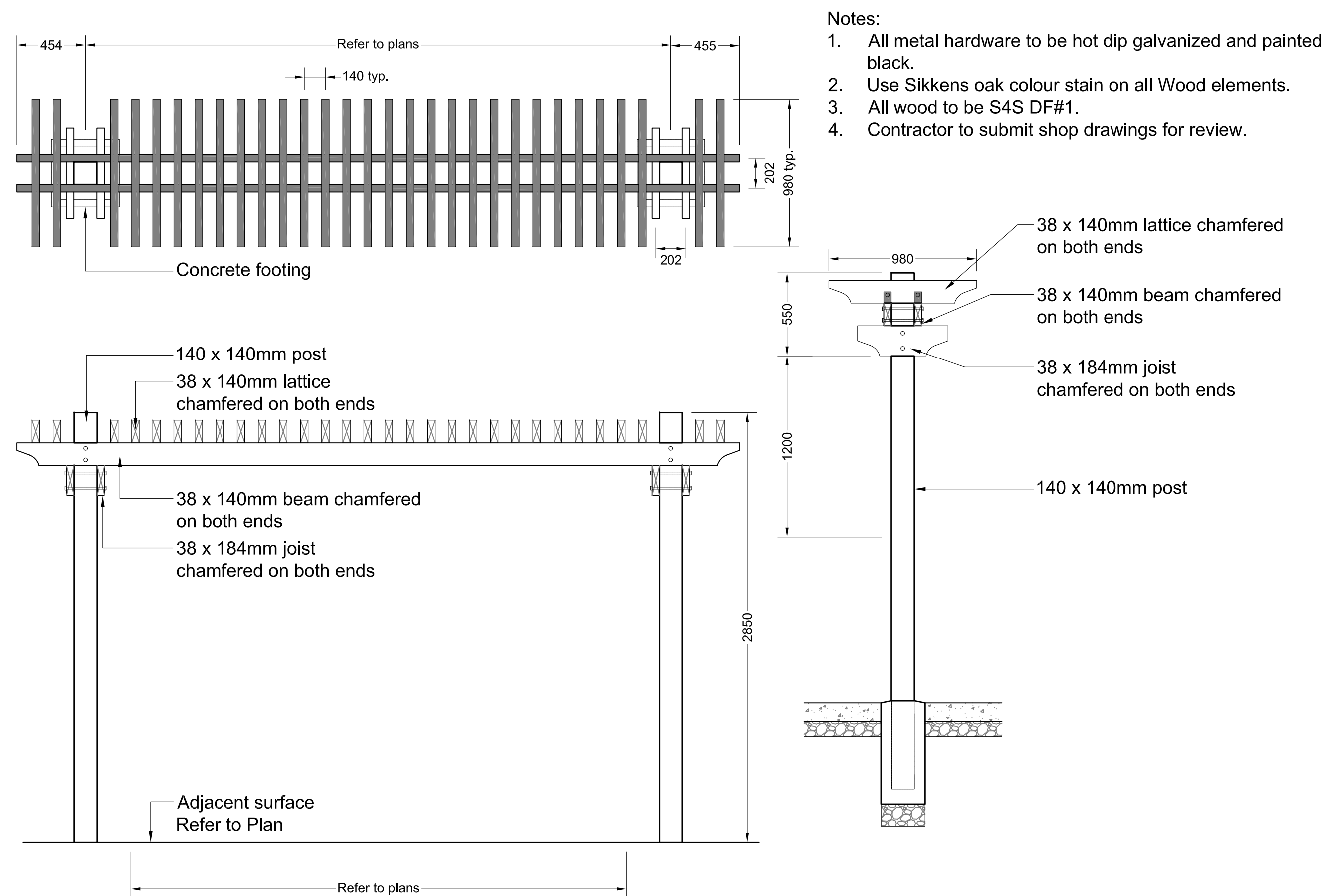
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Drawn: ET AH	Stamp:
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Scale: AS SHOWN	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS TO DRAWINGS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.

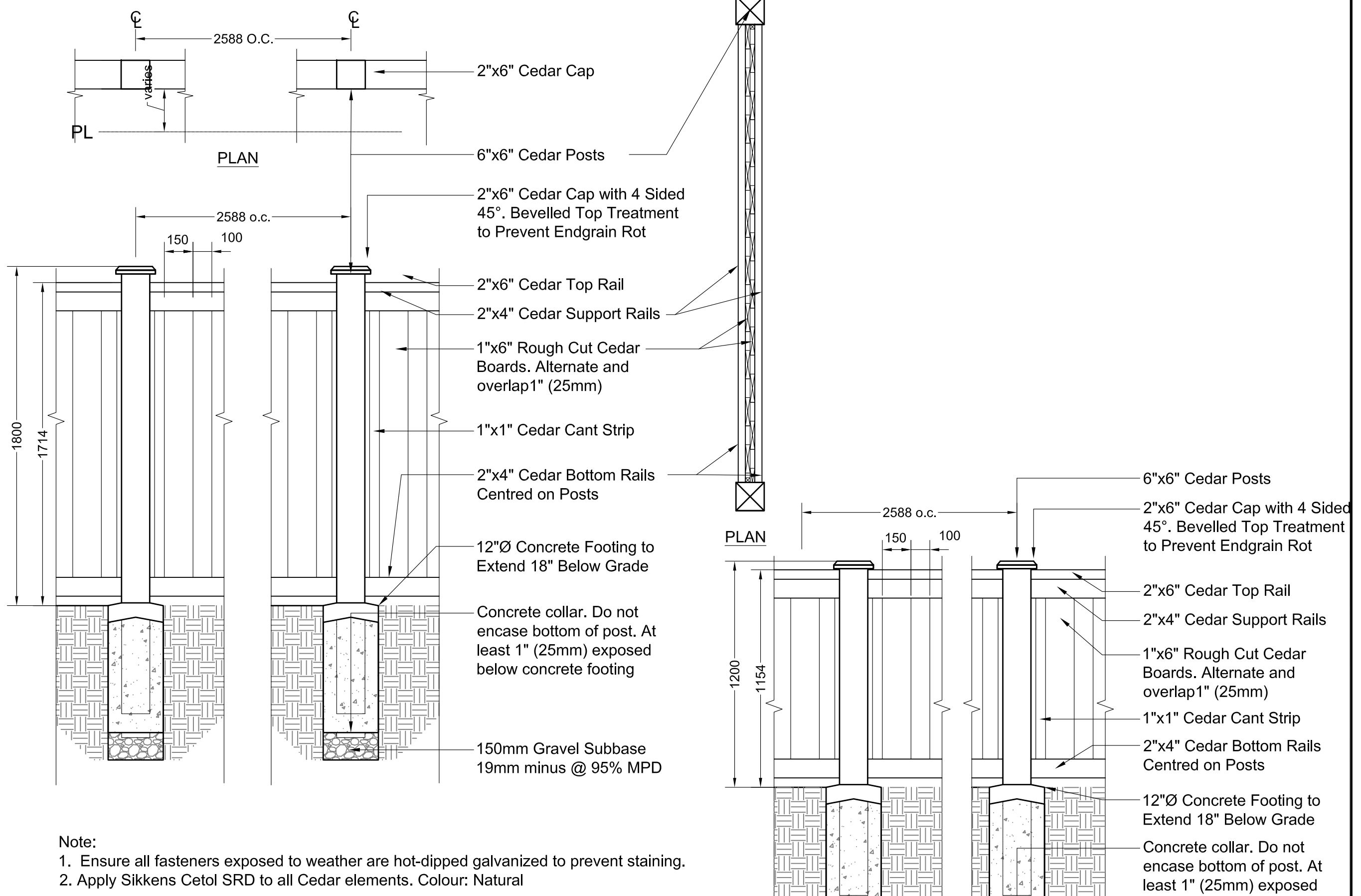
Drawing Title:  
**DETAILS**

VDZ Project #:  
**DP2022-16**

Drawing #:  
**LD-02**



**1 LINEAR TRELLIS**  
 Scale 1:25



**2 CEDAR FENCE**  
 Scale 1:20

**NOTES:**

- Install to manufacturers specifications.
- Or approved substitute.



**Picnic Table**  
 Model Number: MLPT400-S-W  
 Size: 749mm x 1581mm x 445mm  
 Options: Surface Mount  
 Wood Colour: IPE Wood  
 Metal Colour: Gloss Silver 14  
 Manufacturer: Maglin  
 maglin.com  
 Note: or approved equal

**3 PICNIC TABLE**  
 N.T.S

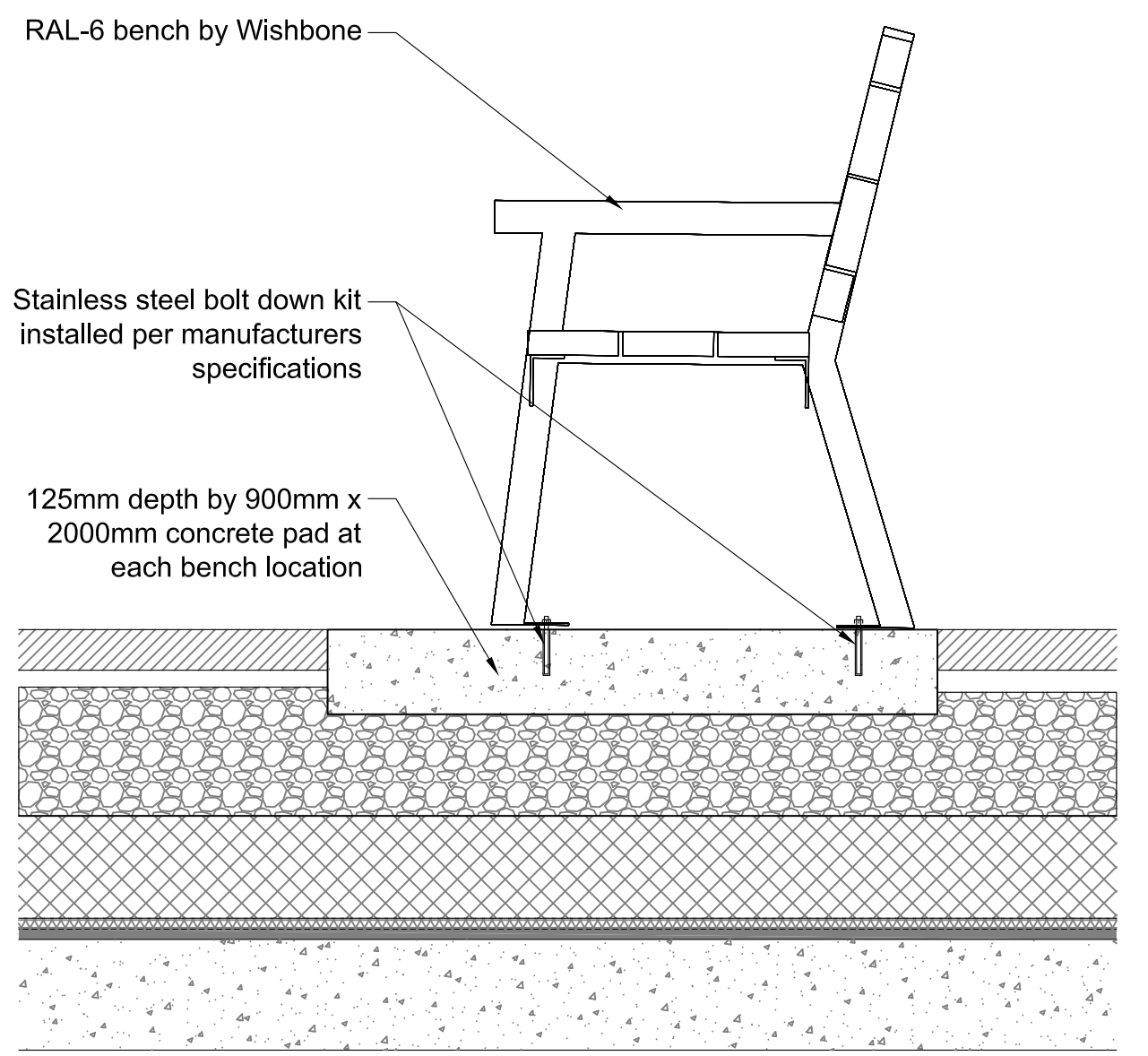


**Bar Counter**  
 Material: Polished concrete top  
**Chairs**  
 Details: Bar stool height  
 Material: Metal

**4 BAR TABLE**  
 N.T.S

**NOTES:**

- Install bench to manufacturers specifications.
- Concrete pad to be included at all bench locations.
- Size of concrete pad as noted on details unless shown otherwise on plans.
- Or approved substitute.
- Refer to concrete paving detail for additional information on concrete pad.



**Bench**  
 Model Number: MLB870-W  
 Size: 1765mm  
 Options: Center Arm  
 Wood Colour: IPE Wood  
 Metal Colour: Gloss Silver 14  
 Manufacturer: Maglin  
 maglin.com  
 Note: or approved equal



**5 BENCH**  
 N.T.S

No.	By:	Description	Date
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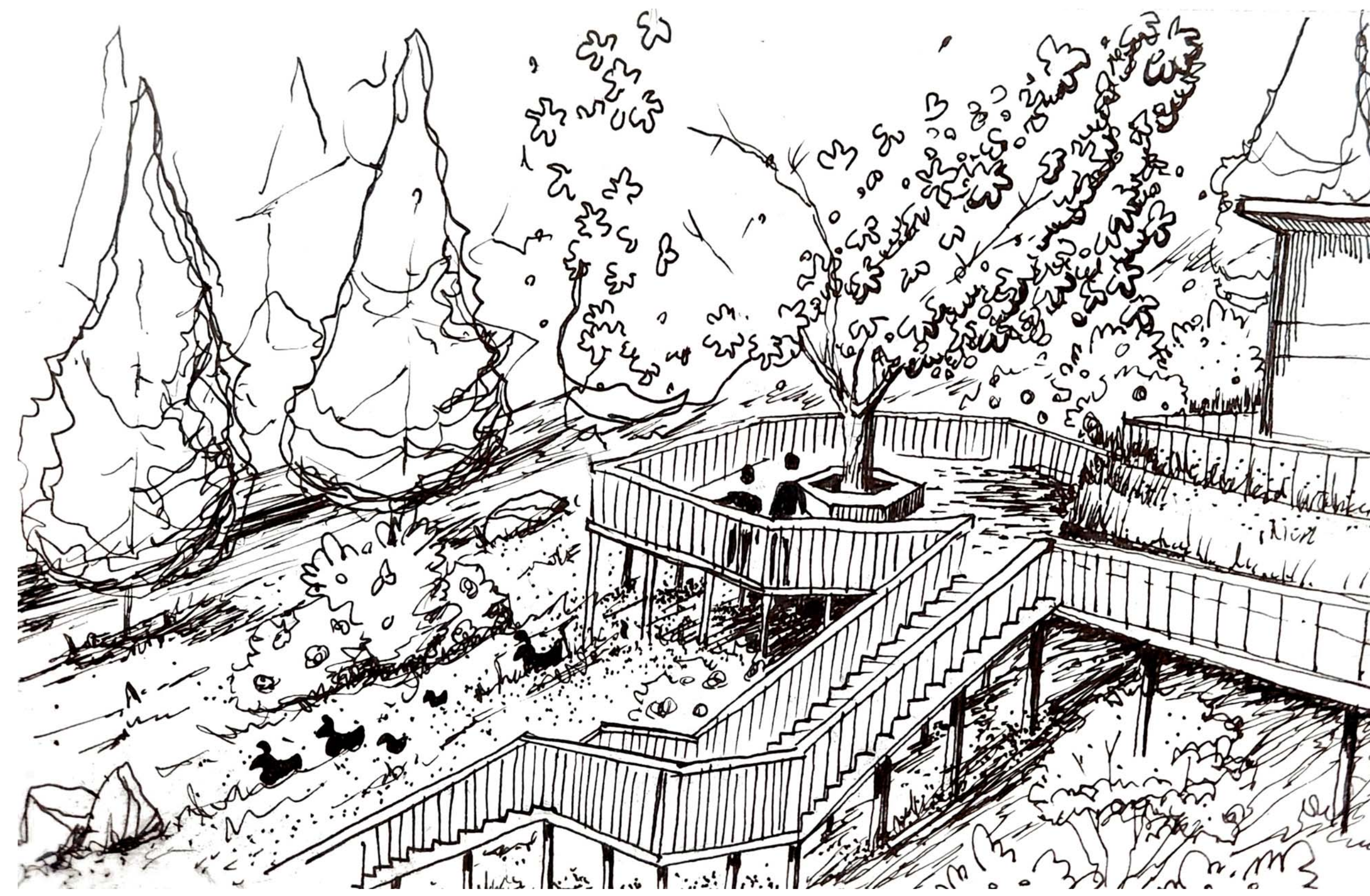
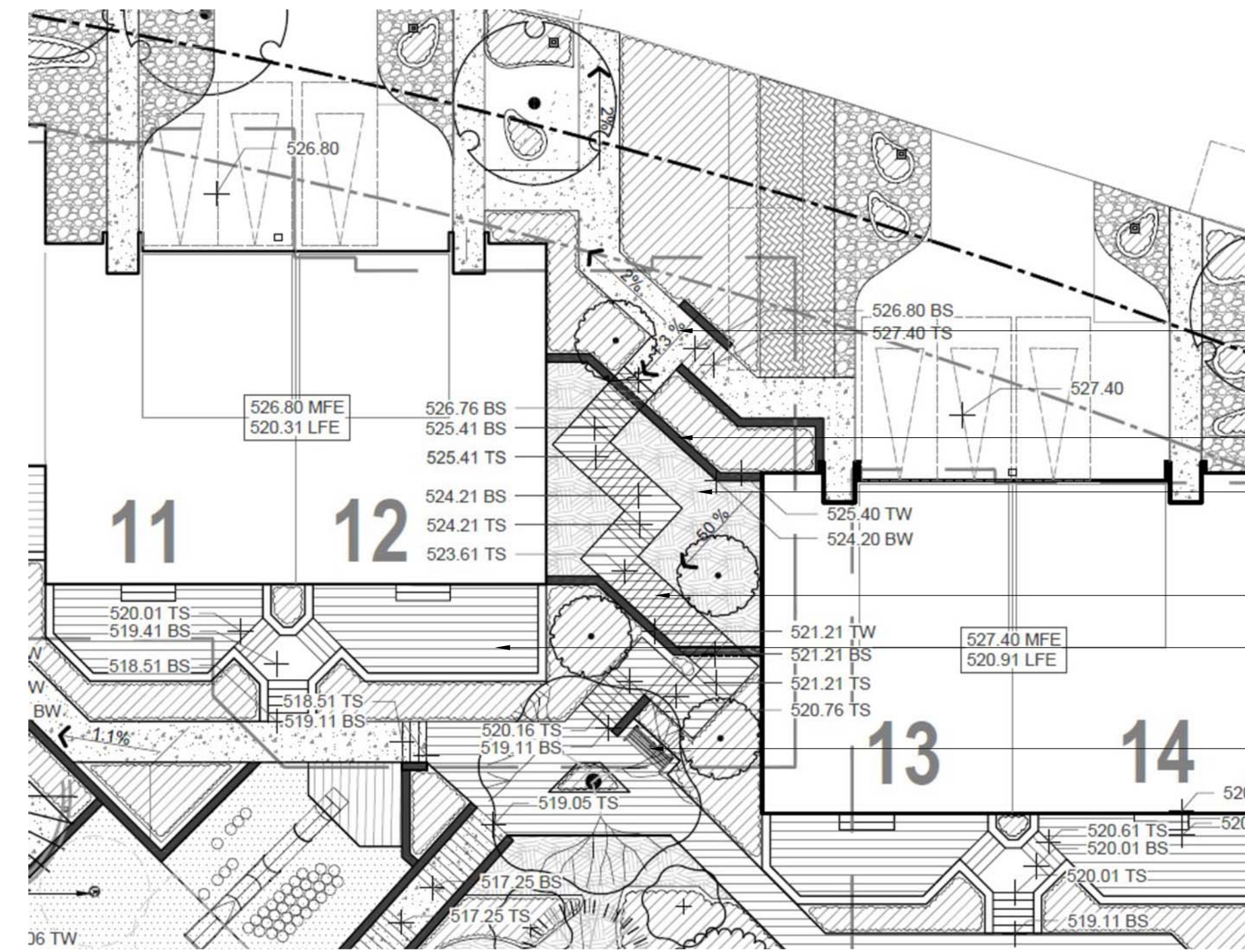
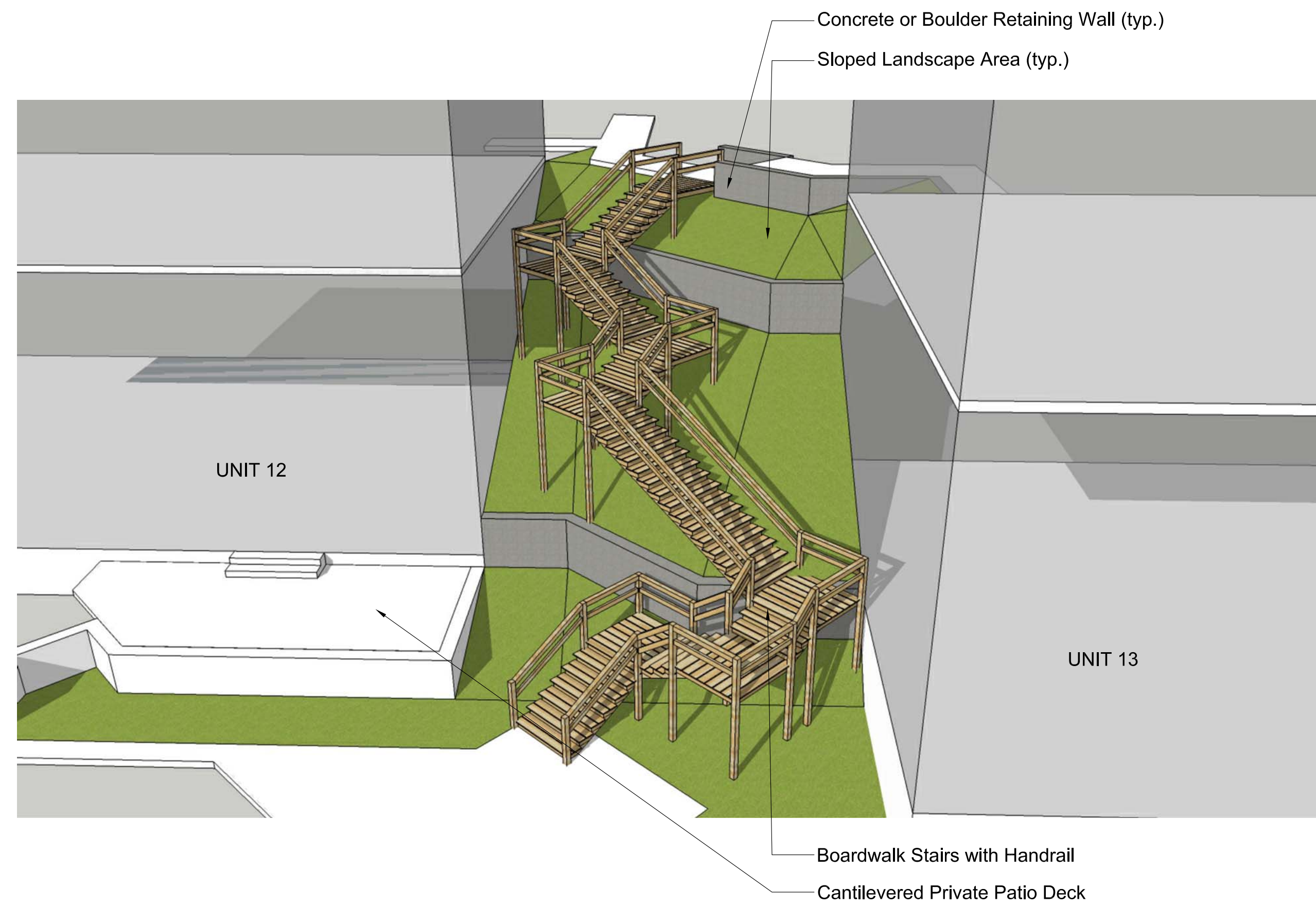
**Project:**  
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**Location:**  
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Drawing Title: **DETAILS**  
 Drawing #: **LD-03**  
 VDZ Project #: **DP2022-16**



- Notes:  
 1. Contractor to provide shop drawings for Landscape Architect for review and approval.  
 2. Refer to grading plan for boardwalk/deck heights.

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# GATEHOUSE

The City of West Kelowna  
2760 Cameron Road  
West Kelowna, BC, V1Z 2T6

Attention: Jayden Riley, Planner III

**RE: Providence Townhomes – Construction Management Plan**

Dear Mr. Riley

The following Construction Management Plan is being provided to City of West Kelowna Staff and Council to help address any concerns related to the project. The following Plan will outline the construction phasing and steps to mitigate impacts to adjacent properties.

**Introduction**

The Providence Townhouse project consists of 58 units on the hillside between Sundance Drive to the northwest and Ensign Quay Lane to the southeast, divided as follows: 20 Side by Side units fronting Sundance Drive and 38 Tandem units with access off of Ensign Quay Lane & Ensign Lane as illustrated below.



# GATEHOUSE

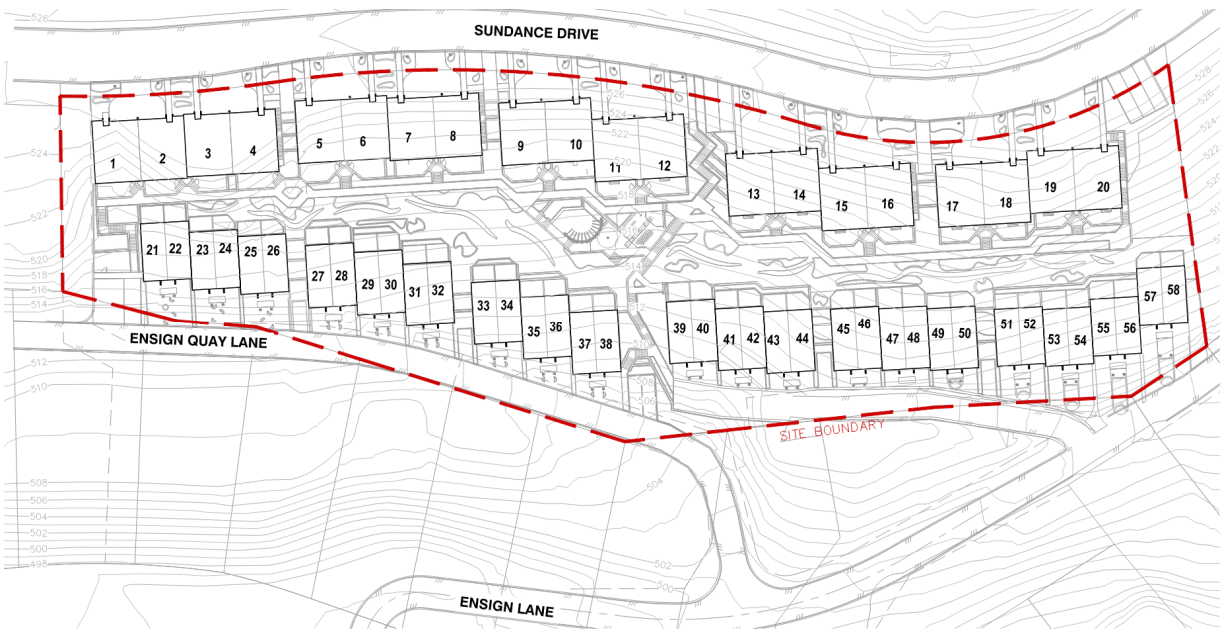
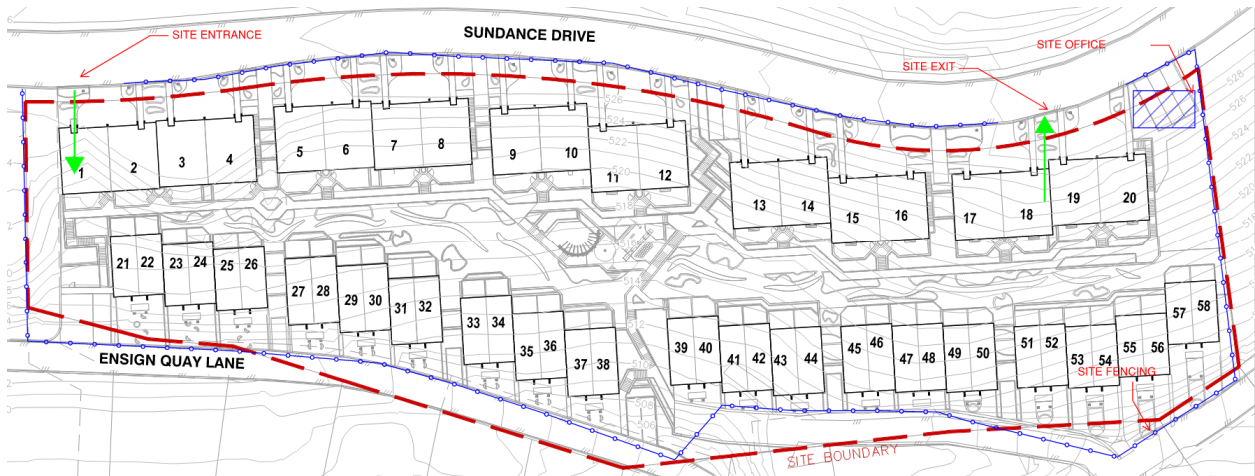


Figure 1: Site Location

## Site Access

Gatehouse Developments is aware of the importance of mitigating the impacts of this development to the neighbouring properties. To ensure this is achieved, the primary site access will be from Sundance Drive to the Northwest of the site as per the figure below:



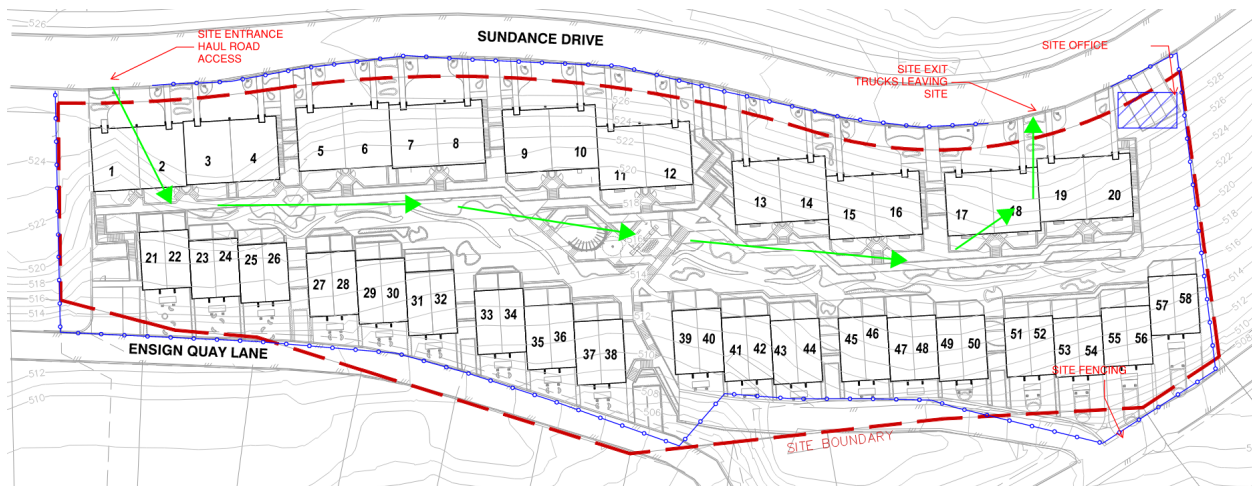
# GATEHOUSE

**Figure 2: Site Access**

The lanes to the south of the site will only be used in case of emergency and as needed to safely complete construction activities otherwise not feasible from Sundance Drive. Anticipated work in the lanes will include underground pipe work, concrete placing, landscaping and minimal deliveries of construction materials. When work is required within the lanes, advanced notice will be given to adjacent properties and local access will be maintained via traffic control personnel.

## Construction Sequencing

Phase 1: Gatehouse will subcontract a professional site servicing contractor experienced in hillside developments to undertake this phase. Work will include clearing trees and grubbing as well as removing organics from the site. It is anticipated during this phase that construction traffic will be increased as organic material will need to be hauled off site via dump truck to an approved dump site. At completion of this phase an interior construction road will be installed for the completion of the next phases of construction.



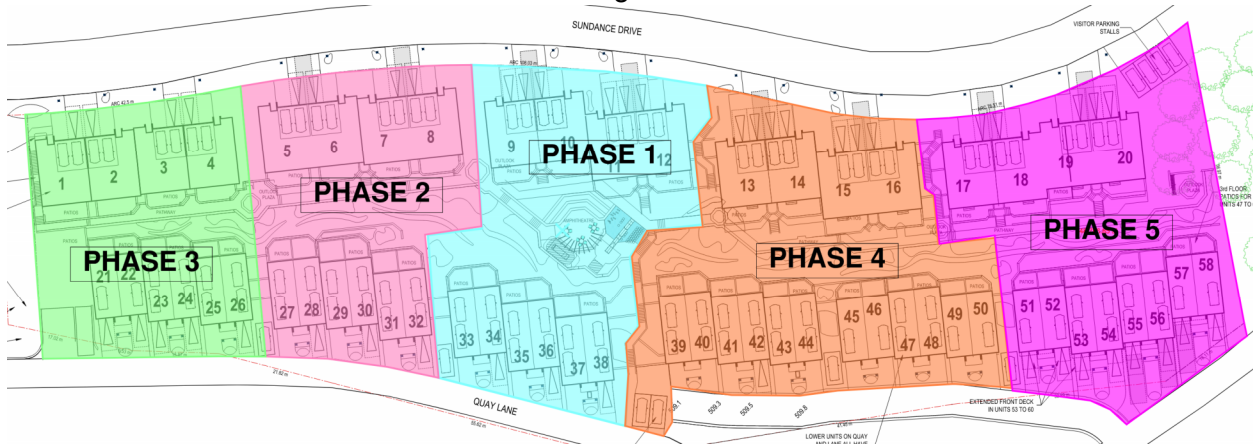
**Figure 3: Construction Road & Site Access**

Phase 2: The site servicing contractor will commence with excavation of the foundations for both the side by side and tandem units. Organic material within the building footprints will be hauled off site. Construction of the townhouse units is anticipated to be broken into 5 Phases as shown below:



# GATEHOUSE

Figure

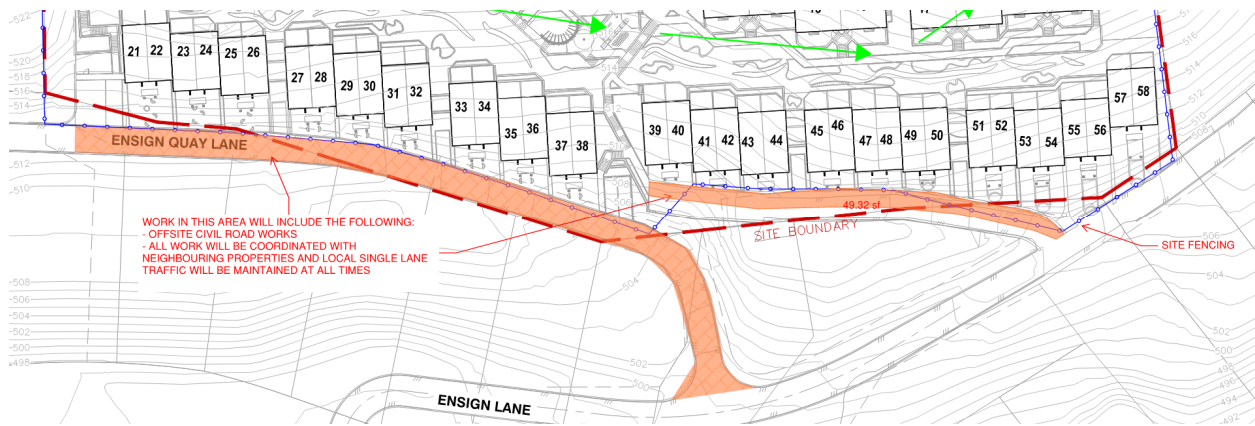


**Figure 4: Construction Phasing**

Phase 3: Construction of all residential units will be managed by Gatehouse Construction with work subcontracted out to local professional trades. Work will include concrete forming, framing, exterior finishes, interior finishes and landscaping.

## Lane Work

Gatehouse Developments understands the need to minimize the impacts of this development on the neighbouring properties. While the majority of the work will be confined to the limits of the project site, some work is required with the lanes. Work will include utility tie-ins to existing City infrastructure on Ensign Quay Lane and the Ensign Lane. As previously noted a more comprehensive plan will be provided well in advance to the affected properties. A high-level conceptual plan is provided below for your information:



**Figure 5: Lane Works**

## Impact Mitigation Strategies

Gatehouse Development is committed to ensuring that all of our developments minimize impacts to the surrounding areas. Below is a high-level table for outlining impact mitigation strategies. These will be further refined as we engage local professional contractors to complete construction of the Providence Townhouse Development

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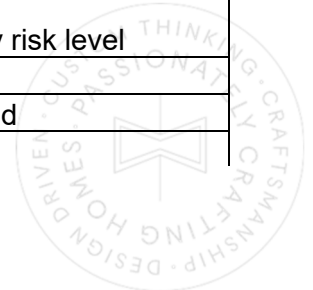
Impact	Mitigation Strategy
Construction Noise	<ul style="list-style-type: none"> <li>• Work only conducted during CoWK permitted hours</li> </ul>
Storm Water Management	<ul style="list-style-type: none"> <li>• Silt fence installed at perimeter of site</li> <li>• Gravel pads at entry/exit to site</li> <li>• Silt sacs on all existing manholes</li> <li>• Treatment system as per submitted ESC Plans</li> </ul>
Dust	<ul style="list-style-type: none"> <li>• Street sweeping as required</li> <li>• Water down services onsite to mitigate dust</li> </ul>
Traffic Control	<ul style="list-style-type: none"> <li>• Develop traffic management plans for specific work in lanes</li> <li>• Traffic management personnel (flaggers) to ensure local access to neighbouring properties</li> </ul>
Fire	<ul style="list-style-type: none"> <li>• Daily forest fire risk monitoring</li> <li>• Suppression equipment as required by risk level</li> </ul>
Trade Parking	<ul style="list-style-type: none"> <li>• No trade parking/staging in lanes</li> </ul>
Wild Life	<ul style="list-style-type: none"> <li>• Assessment and monitoring as required</li> </ul>

We trust that this provides an overview of the anticipated construction phases and outlines the strategies to mitigate the impacts on the neighbouring properties. As construction is a fluid undertaking, this framework will be used to assess the site conditions throughout the project and changes may be necessary. Should any aspect of the work plan change in a way that would impact residents, our construction team will work with all stakeholders to ensure this development is completed to the satisfaction of all.

If City Staff or Council have any additional questions, please feel to contact us at your convenience.

Sincerely,

Kyle Weiher



# GATEHOUSE

Senior Project Manager  
Gatehouse Construction Inc.

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Chilliwack BC V2R 1A8

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MadeByGatehouse.com



**From:** [REDACTED]  
**To:** [City of West Kelowna Submissions](#)  
**Subject:** Attention City Clerk - DP 22-26  
**Date:** May 10, 2023 8:29:53 AM

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From Sharon and Robert Jones

LOT 4 PLAN KAP78710  
DISTRICT LOT 2044, OSOYOOS DIV. OF YALE LAND  
DISTRICT PID: 026-380-749

After reviewing the delivered Notice for Development Permit with Variance (DP 22-26) with the members of our community, we believe the decision to move forward with the proposed development variances for the construction of 58 townhouses would be unsafe and problematic for a number of reasons.

Our primary concern is with safety. In the past several years, we have had very dry summers and with plans for these townhomes to be built so close together, along with the reduced boundary setbacks, any severe situation involving a fire would bring large-scale destruction to the homes and structures located nearby. In the event of an emergency, fire trucks could not properly tend to the buildings, as the lane has a sharp, blind corner with a narrow width under 17 feet and a sharp turning radius that a vehicle over 32 feet would not be able to navigate. Even if a small fire truck, ambulance or other emergency vehicle was able to manage their way up the lane, there is no turn around location, thus causing extended time concerns and even unnecessary deadly circumstances.

Another major concern is the likely degradation of the physical landscape on the hill side which we worry will cause some level of instability and even possibly water runoff concerns, erosion and potential flooding with landslides. In regard to maintenance and upkeep around the new properties during winter months, there should be a designated area on the property for snow removal and snow storage.

We believe the situation of the resulting reduced parking, loading and visitor parking for the new properties should be considered a non-starter, as there is already insufficient space for parked vehicles on Ensign Quay Lane and Ensign Lane, with a width of under 17 feet. With the reduced driveway sizes, it is simply not feasible to suggest an alternative for additional parking.

The city's waste disposal trucks currently do not drive up Ensign Quay Lane, so there are serious concerns about what will happen with emptying garbage, recycle and compostable bins for all of the newly proposed townhomes.

Ensign Quay Lane has a width of less than 17 feet wide with no turnaround and with the 7 current homes, the proposal of an additional 20 homes, the expectation is a minimum of 60 additional vehicles using this laneway with no parking, no turnaround and only one shared egress and ingress entryway..

To possibly remedy many mentioned safety issues above access to the new development should be from Sundance Drive and townhomes should be reduced by a third in size. We recommend a council member physically visit our community on Ensign Quay Lane to see how apparent these concerns will become.

The mixture of juvenile and adult trees will be a loss to the neighbourhood, not only in regard to screening, shade and greenery but also with the loss of the roots would most likely destabilize the hillside. As a whole, this green area is a visually enjoyable aspect for the entire community and will have a negative impact with insensitive and obstruction overbuilding on greenery and openness.

In conclusion, it is not safe to add that number of dwellings to a blind drive, narrow single entrance/exit and non-turn around lane.

Thank you for your assistance with this matter,  
Owners Lot 4



**From:** [noreply@esolutionsgroup.ca](mailto:noreply@esolutionsgroup.ca)  
**To:** [Delegation Requests](#)  
**Subject:** New Response Completed for Request to Appear As a Delegation  
**Date:** May 8, 2023 3:37:35 PM

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Hello, Please note the following response to Request to Appear As a Delegation has been submitted at Monday May 8th 2023 3:36 PM with reference number 2023-05-08-004.

- **Request to appear as a delegation on:**  
5/16/2023
- **Name of person making the presentation:**  
Ryan Jones
- **Name of the group or organization that the person is representing:**  
Gatehouse Developments
- **Daytime phone number:**  
7789680230
- **Email address:**  
[rjones@stewartland.ca](mailto:rjones@stewartland.ca)
- **Presentation title:**  
The Providence Development
- **What is your request to Council?**  
Support of the Development Permit and Variances.
- **Presentation points:**  
TBD

[This is an automated email notification -- please do not respond]