



**CITY OF WEST KELOWNA
DEVELOPMENT VARIANCE PERMIT
DVP 23-08**

To: Kelly Doell
2506 Tallus Heights Lane
West Kelowna, BC
V4T 3M2

1. This permit type is issued subject to compliance with all the Bylaws of the City of West Kelowna applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Permit applies to and only to those lands within the City of West Kelowna described below, and any and all buildings, structures, and other developments thereon:

PLAN EPP123596 LOT 39 DISTRICT LOT 2600 OSOYOOS DIV OF YALE DISTRICT
2516 PINNACLE RIDGE DR

3. This Permit allows for the variance of S.3.18.2 of Zoning Bylaw No. 0265 to increase the maximum gross floor area of a secondary suite from 1076 ft² to 1432 ft² and is subject to the following conditions and related Schedules:
 - A. The size and dimensions of the secondary suite are to be in accordance with Schedule 'A';
 - B. The dimensions, siting, and parking layout are to be in accordance with Schedule 'B';
4. The land described herein shall be developed strictly in accordance with the terms and conditions of this Permit and any plans and specifications attached to this Permit, which shall form a part hereof. Should any change be required to this permit, please ensure that you obtain written approval from the City of West Kelowna prior to making any changes.
5. If this Development Permit has not been issued within one year from approval, Permit (DVP 23-08) shall be deemed to have been refused and the file will be closed.
6. **This Permit is not a Building Permit.**
7. **This Permit is not a Municipal Highway Permit.**
8. **This is not an Archaeology Permit.**

A: All archaeological sites in B.C. are protected under the Heritage Conservation Act. This applies to whether sites are located on public or private land and whether the site is known or unknown. If you think you have uncovered an archaeological site during a building project or renovation, please do not disturb the site further and call B.C.'s Archaeology Branch

immediately at (250) 953-3334. Branch archaeologists will review your project plans and make recommendations to manage site impacts and secure the required permitting.

AUTHORIZING RESOLUTION NO (XXXXXXX) PASSED BY THE MUNICIPAL COUNCIL ON (DATE).

Signed on _____

Corporate Officer

I hereby confirm that I have read and concur with the conditions of Development Variance Permit and will ensure that copies of the Permit will be provided to onsite personnel at time of construction.

Signed on _____

Property Owner or Agent

ISSUED on _____

Schedules:

Schedule A: Architectural Plans prepared by Exciting Home Plans on December 7th, 2022.

Schedule B: Site Plan prepared by Exciting Home Plans on August 30th, 2023.


Schedule A

ISSUED FOR CONSTRUCTION - 2022-12-07
PROJECT # A1611 - OLD SCHOOL

**CITY OF WEST KELOWNA
PLANNING DEPARTMENT**

SCHEDULE: 'A'

FILE NO.: DVP 23-08




The Tran Residence

Project # A1611

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IT IS THE BUILDERS RESPONSIBILITY TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORK. WRITTEN DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE DRAWING.

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OLD SCHOOL CONSTRUCTION
City Deal

Custom Built Homes 250-862-7094
WESTBANK, BC oldschoolconstruction@shaw.ca

EXCITING HOME PLANS

Project # A1611 - Lot 39 Phase 11 Tallus

GENERAL NOTES

- IT IS THE RESPONSIBILITY OF THE CLIENT AND/OR THEIR BUILDER AGENT TO CHECK ALL LOCAL BYLAW AND CODE REQUIREMENTS, SITE AND SOIL CONDITIONS AND ENSURE THEY ARE MET.
- ALL LOCAL BYLAW AND CODE REQUIREMENTS MUST BE MET, AND ANY SPECIFICATIONS NOTED IN THESE DRAWINGS MUST BE ALTERED BY THE CLIENT AND/OR HIS AGENT BUILDER TO MEET THOSE CODES IF AND WHEN NECESSARY.
- IF SOIL CONDITIONS WARRANT, CONCRETE FOUNDATION AND FOOTING SIZING AND SPECIFICATIONS MUST BE CALCULATED BY A LOCAL ENGINEER OR ENGINEERS REGISTERED IN THAT DISCIPLINE.
- CONCRETE FOOTING DEPTHS AND SIZES MUST MEET LOCAL CLIMATE, CODE AND LOCAL BYLAW REQUIREMENTS.
- CONCRETE TYPE MUST MEET SOIL CONDITIONS AND ALL LOCAL BYLAW AND CODE REQUIREMENTS PERTAINING TO FOUNDATION MATERIALS MUST BE MET.

PROFESSIONALS AND ENGINEERS REQUIRED TO COMPLETE THESE TASKS MAY OR MAY NOT INCLUDE:
- STRUCTURAL ENGINEER FOR FOUNDATION DESIGN AND SPECIFICATIONS,
- GEOTECHNICAL ENGINEER FOR SOIL TESTING AND SPECIFICATIONS.
- LOCAL ARCHITECT REGISTERED TO DO RESIDENTIAL CALCULATIONS.

EVERY EFFORT HAS BEEN MADE TO ENSURE THAT THESE CONSTRUCTION DRAWINGS ARE FREE OF ERRORS.
IT IS THE RESPONSIBILITY OF THE CONTRACTOR OR THE CONTRACTORS AGENTS TO CHECK AND VERIFY ALL DIMENSIONS AND MATERIALS SIZES AND DEFINITIONS LISTED ON THESE DRAWINGS. THE BUILDING CONTRACTOR IS RESPONSIBLE FOR UNDERSTANDING AND APPLYING PROPER BUILDING PRACTICES.
THE DESIGNER SHALL NOT BE HELD LIABLE FOR ANY ERRORS, OMISSIONS, OR DEFICIENCIES IN ANY FORM BY ANY PARTY WHATSOEVER.
THERE ARE NO PRODUCT ENDORSEMENTS IMPLIED FOR ANY OF THE MATERIALS LISTED ON THESE DRAWINGS.
PROPER INSTALLATION OF CONSTRUCTION ASSEMBLIES INCLUDING NAILING, GLUING, CAULKING, INSULATING, FLASHING, ROOFING, WEATHERPROOFING AND MANY OTHER SMALL ITEMS AND DETAILS ARE NOT NECESSARILY IDENTIFIED OR NOTED ON THE PLANS. THE DESIGNER HAS NO CONTROL OR RESPONSIBILITY OVER THESE ITEMS.

GENERAL SITE NOTES:

ALL PERSONS ON SITE MUST WEAR HARD HATS AND PROPER FOOTWEAR. BUILDER MUST TAKE CARE THAT ALL WALLS IN CONSTRUCTION ARE BRACED PROPERLY.
BUILDER MUST TAKE CARE TO PLACE TEMPORARY RAILINGS AROUND OPENINGS IN FLOORS AND CEILINGS.
BUILDER MUST TAKE CARE THAT SITE IS PROPERLY BLOCKED OFF AND MARKED "CONSTRUCTION SITE"

CONCRETE NOTES:

UNLESS OTHERWISE NOTED, THE COMPRESSIVE STRENGTH FOR UNREINFORCED CONCRETE AFTER 28 DAYS SHALL NOT BE LESS THAN 32 MPa FOR GARAGE AND CARPORT FLOOR & ALL EXTERIOR FLATWORK, 20MPa WHERE REQUIRED BY TABLE 9.15.4.1 FOR FOUNDATION WALLS & 15MPa FOR ALL OTHER APPLICATIONS.

FOOTING NOTES:

20MPa CONC. STRIP FOOTINGS SHALL BE PLACED ON UNDISTURBED SOIL CAPABLE OF BEARING 3000 PSF LOAD.
BOTTOM OF FOOTINGS TO BE AT OR BELOW FROST LINE DESIGNATED BY LOCAL BYLAWS OR CODE.
STEPS FOOTINGS TO BE PROVIDED (WHERE REQUIRED BY GRADE) TO BE STEPPED MAX. 24" RISE AND MIN. 24" HORIZONTAL, UNLESS OTHERWISE SPECIFIED.
4" PERFORATED PLASTIC FOUNDATION DRAIN PIPE (TIED INTO SUMP WHERE REQ'D) - COVERED WITH 6" CLEAR STONE & FILTER CLOTH, IN LINE WITH BTM IF FTGS. AT PERIMETER OF BLDG.
MIN. 1/4" PARGING (EXTERIOR) TO 12" BELOW GRADE.

NOTES ON DESIGN ELEMENTS EXCEEDING CODE REQUIREMENTS:

** - MATERIALS OR ASSEMBLY CONSTRUCTION MATERIALS SHOWN, AND/OR NOTED ** MAY OR MAY NOT BE REQUIRED BY LOCAL CODE, BUT ARE CONSIDERED GOOD BUILDING PRACTICE. BUILDING CONTRACTOR IS RESPONSIBLE TO CONSULT BOTH THE LOCAL CODE REQUIREMENTS, AND THE HOME OWNER REGARDING PLACEMENT OF THESE MATERIALS OR ASSEMBLIES.

GENERAL CONSTRUCTION NOTES

BEAM AND STRUCTURAL DESIGN NOTES:

- (F) NOTE ON BEAMS DESIGNATES FLUSH, MEANING EITHER THE TOP OR BOTTOM OF THE BEAM TO NOT PROTRUDE PAST FINISHED PLANE.
- (D) NOTE ON BEAMS INDICATES A DROPPED, MEANING THE BEAM IS PLACED UNDER THE SUPPORTED STRUCTURE.
- (SEMI-F) NOTE ON BEAMS INDICATES A PARTIALLY DROPPED BEAM TO ALLOW FOR IMPACTED OPENINGS, OR TO ALLOW HEATING DUCTS TO PASS OVER. SEE DETAIL.

STRUCTURAL POST NOTES:

- (LB) "LOAD BEARING POST" AT BEAM ENDS OR OTHER LOAD BEARING POINTS. REQUIRES STUDS TO BE NAILED TOGETHER TO FORM A STRUCTURAL POST (4X4,6X6,4X6).

LUMBER NOTES:

ALL LUMBER TO BE GRADE STAMPED, LABELLED OR OTHERWISE IDENTIFIED, AS REQUIRED BY LOCAL BUILDING CODE

WINDOW & DOOR NOTES:

ALL WINDOW & DOOR MEASUREMENTS ARE IN FEET & INCHES. (5040 INDICATES 5'-0" x 4'-0")
CHECK ALL TOP OF WINDOW ROUGH OPENING HEIGHTS PRIOR TO FRAMING.
ACTUAL DIMENSIONS OF ROUGH OPENINGS VARY DEPENDING ON MANUFACTURER.
ALL WINDOW SIZES, TYPES, AND OPENERS TO BE CHECKED BY CONTRACTOR PRIOR TO ORDERING.
TAKE CARE TO CHECK LOCAL BUILDING CODE FOR GLASS REGULATIONS SUCH AS TEMPERED GLASS, EGRESS LOCATIONS AND LIMITATIONS ON THE SIZE OF UNPROTECTED OPENINGS NEXT TO NEIGHBORING BUILDINGS PRIOR TO ORDERING.
ALL WINDOWS TO MEET ENERGY RATING OF 17ER FOR OPERATING WINDOWS & 27ER FOR FIXED WINDOWS PER CAN/CSA-A440-2.
EXTERIOR DOORS TO BE METAL INSULATED OR SOLID CORE WOOD DOORS, W/ WEATHERSTRIPPING.

ENGINEERED WOOD PRODUCTS NOTES:

ENGINEERED WOOD SUPPLIER/TRUSS MFR. TO PROVIDE ENGINEERED DRAWINGS, SEALED BY A P.ENG. LICENSED TO PRACTICE IN THIS HOMEPLAN'S BUILDING LOCATION, FOR THE BUILDING INSPECTOR TO REVIEW ON SITE.

FLOOR JOIST SYSTEM NOTES:

ENGINEERED JOISTS (TJI) FLOOR SYSTEMS ARE ASSUMED ON THESE DRAWINGS. JOIST SPANS AND JOIST DEPTHS MAY VARY DEPENDING ON THE MANUFACTURER. IF DIMENSIONAL LUMBER JOISTS ARE USED, CALCULATIONS MUST MEET LOCAL CODES FOR LOAD BEARING, SIZE AND SPACING.
CONTRACTOR MUST TAKE CARE THAT ALL BLOCKING, STRAPPING AND BRACING IS COMPLETED PER MANUFACTURERS SPECIFICATIONS AND DRAWINGS.

ROOF DESIGN & CONSTRUCTION NOTES:

NOTES TO ROOF MANUFACTURERS
- ROOF DESIGNER TO CONSIDER DIMENSIONAL LUMBER FOR BEAMS NOTED "ENG. BEAM" AND SUBSTITUTE WHERE STRUCTURALLY POSSIBLE BY CODE.
- TRUSS HEELS IN ALL APPLICATIONS MUST HAVE A MINIMUM 8" HEEL FOR INSULATION PURPOSES.
- CONTRACTOR MUST TAKE CARE THAT ALL BLOCKING, STRAPPING AND BRACING IS COMPLETED PER MANUFACTURERS SPECIFICATIONS AND DRAWINGS.
- CONTRACTOR IS TO ENSURE G.I. FLASHINGS ARE PLACED IN ALL ROOF VALLEYS FOR PROPER RUNOFF.
- CONTRACTOR IS TO ENSURE THAT G.I. STEP FLASHINGS ARE PLACED WHEREVER WALLS AND CHIMNEYS MEET ROOF SURFACES, AND THAT STEP FLASHINGS ARE PLACED FOR PROPER RUNOFF.

Project # A1343 - Lot 11 Ph 9 Tallus

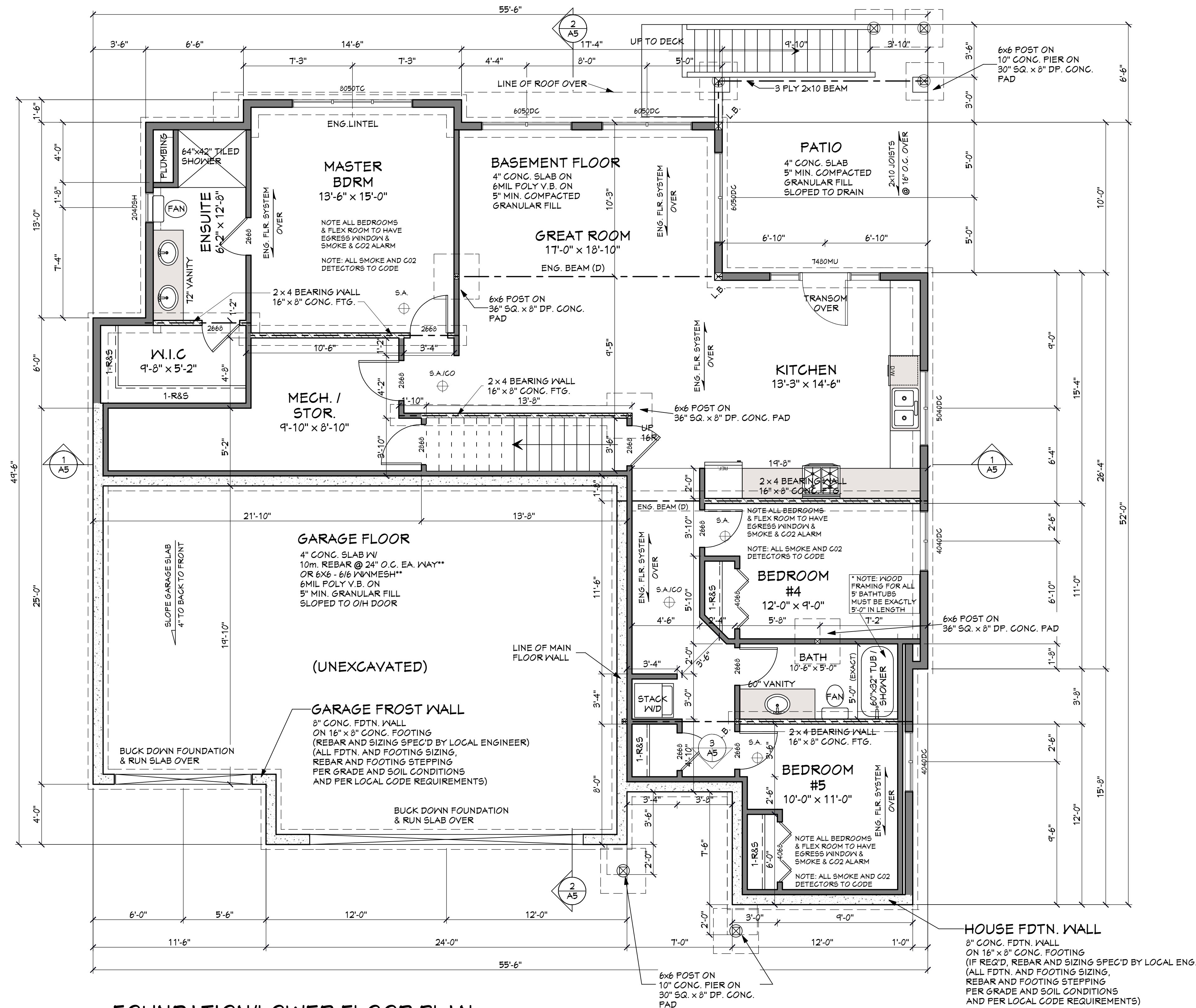
Lot 39
Tallus Ridge Ph. 11

Client:
The Tran Residence

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3D PERSPECTIVE

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DATE	2022-12-07
JOB #	-
SCALE	1/4" = 1'-0"
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FOUNDATION/LOWER FLOOR PLAN

9' CEILING HEIGHT UNLESS NOTED OTHERWISE
FINISHED FLOOR AREA = 1432 SQ.FT.
UNFINISHED AREA = 145 SQ.FT.

NOTE:
ALL TOP OF WINDOW ROUGH OPENINGS
TO BE 96" ABOVE FLOOR SURFACE.

FOUNDATION NOTES

CONCRETE NOTES:

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BEAM AND STRUCTURAL DESIGN NOTES:

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(D) NOTE ON BEAMS INDICATES A DROPPED, MEANING THE BEAM IS PLACED UNDER THE SUPPORTED STRUCTURE.
(SEMI-F) NOTE ON BEAMS INDICATES A PARTIALLY DROPPED BEAM TO ALLOW FOR IMPACTED OPENINGS, OR TO ALLOW HEATING DUCTS TO PASS OVER. SEE DETAIL.

INTERIOR BEARING WALLS:

UNDER ENG. FLOOR SYSTEMS: ALL OPENINGS IN INTERIOR BEARING WALLS ARE TO BE CONSTRUCTED WITH STRUCTURAL LINTELS PER FLOOR SUPPLIERS SPECIFICATIONS.
UNDER DIMENSIONAL LUMBER FLOORS: SEE LOCAL CODE FOR RESIDENTIAL BEAM SPAN LOAD CALCULATIONS.

LUMBER NOTES:

ALL LUMBER TO BE GRADE STAMPED, LABELLED OR OTHERWISE IDENTIFIED, AS REQUIRED BY LOCAL BUILDING CODE

GENERAL NOTES

WINDOW & DOOR NOTES:

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OLD SCHOOL CONSTRUCTION
Copy Deal
Custom Built Homes 250-862-7094
WESTBANK, BC oldschoolconstruction@shaw.ca

EXCITING HOME PLANS
Project # A1611 - Lot 39 Phase 11 Tallus

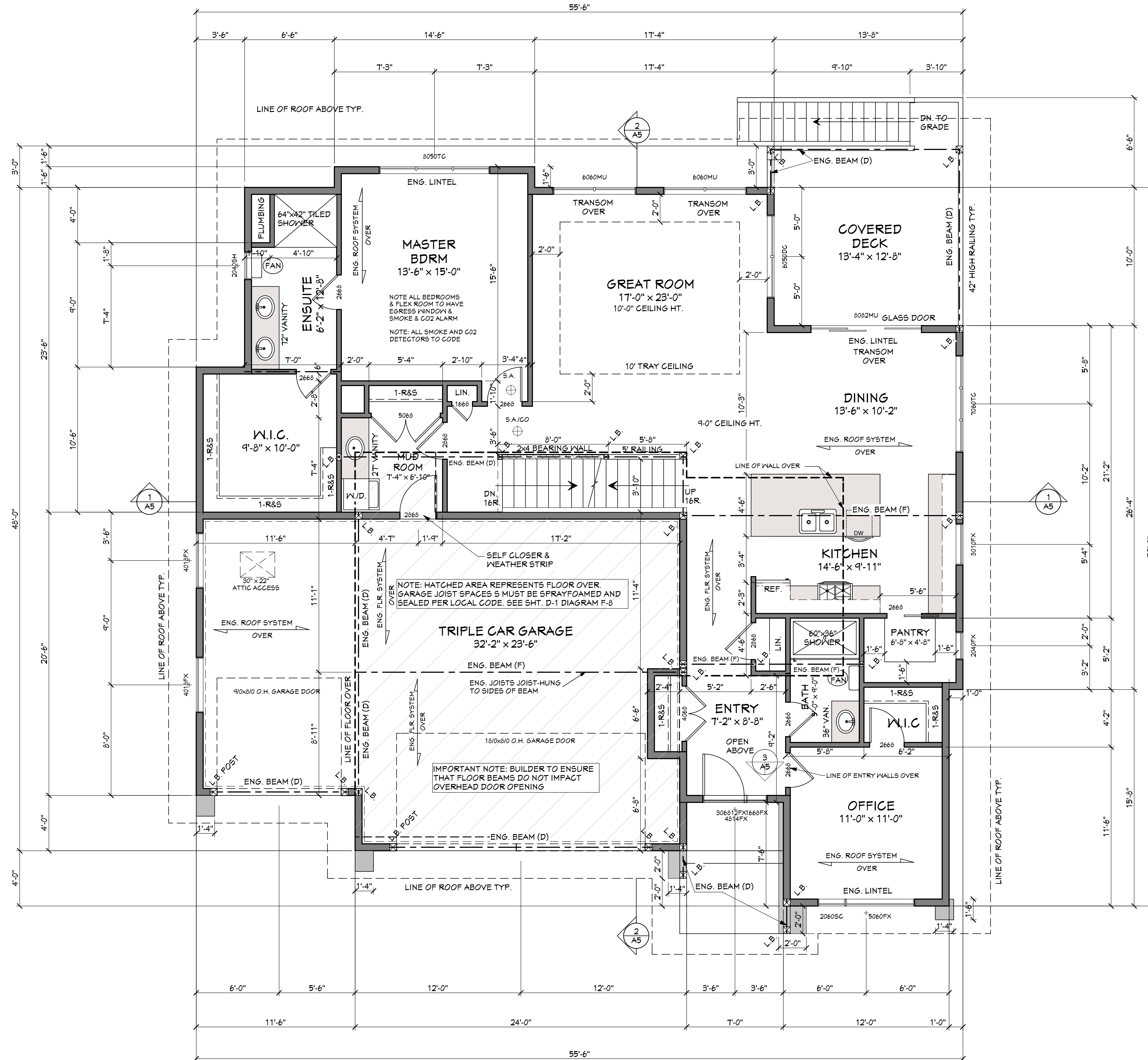
Lot 39
Tallus Ridge Ph. 11

Client:
The Tran Residence

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FOUNDATION / MAIN FLOOR PLAN

PAGE:
A1

DATE 2022-12-07
JOB #
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MAIN FLOOR PLAN

9' CEILING HEIGHT UNLESS NOTED OTHERWISE
FINISHED FLOOR AREA = 1688 SQ.FT.
GARAGE AREA = 781 SQ.FT.

NOTE:
ALL TOP OF WINDOW ROUGH OPENINGS
TO BE 96" ABOVE FLOOR SURFACE.

GENERAL CONSTRUCTION NOTES

BEAM AND STRUCTURAL DESIGN NOTES:

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- (D) NOTE ON BEAMS INDICATES A DROPPED, MEANING THE BEAM IS PLACED UNDER THE SUPPORTED STRUCTURE.
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STRUCTURAL POST NOTES:

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ENGINEERED WOOD PRODUCTS NOTES:

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ROOF DESIGN & CONSTRUCTION NOTES:

NOTES TO ROOF MANUFACTURERS
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- TRUSS HEELS IN ALL APPLICATIONS MUST HAVE A MINIMUM 8" HEEL FOR INSULATION PURPOSES.
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OLD SCHOOL CONSTRUCTION
Cody Deall
Custom Built Homes 250-862-7094
WESTBANK, BC oldschoolconstruction@shaw.ca

EXCITING HOME PLANS
Project # A1611 - Lot 39 Phase 11 Tallus

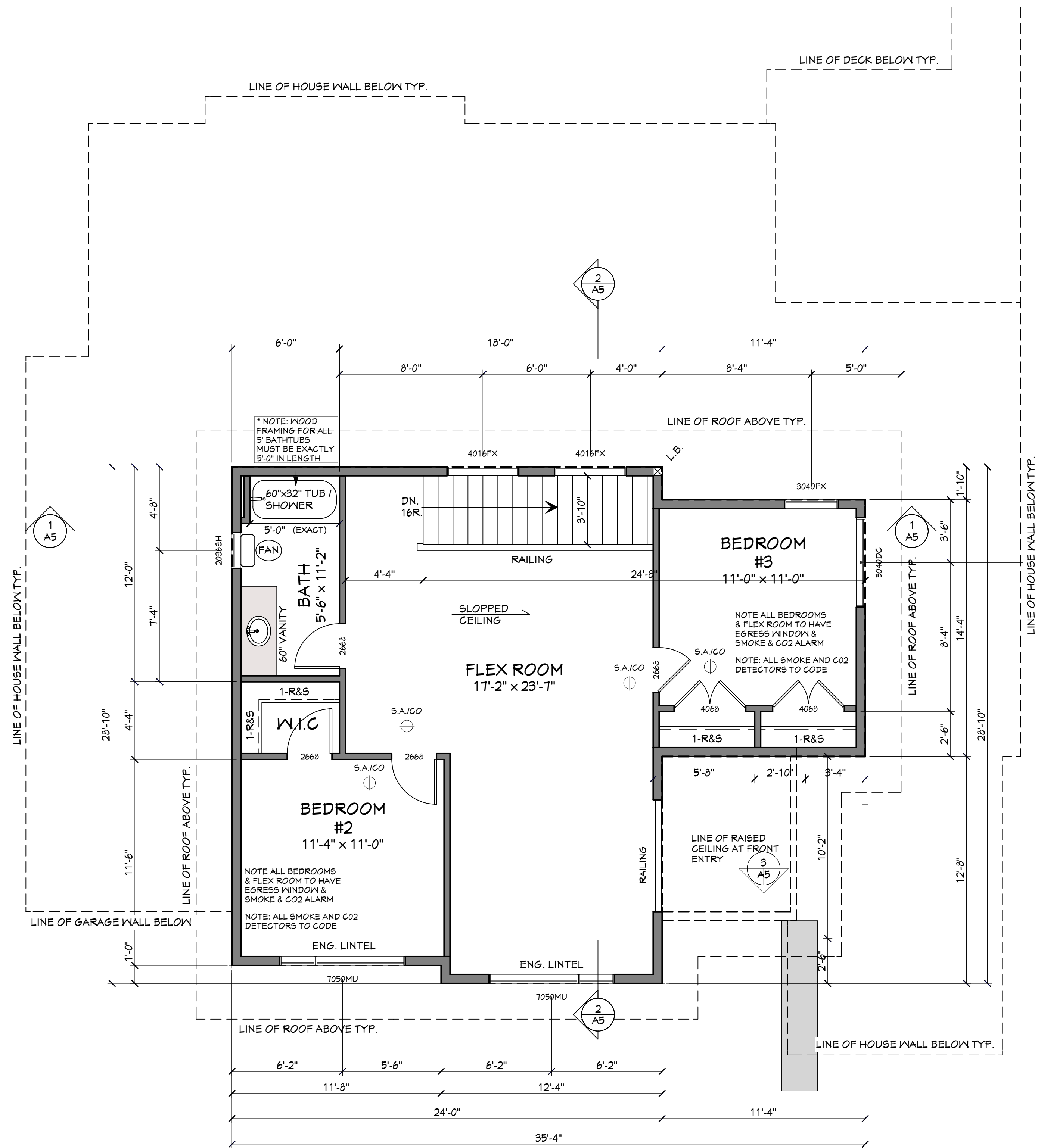
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MAIN FLOOR PLAN

PAGE:
A2

DATE 2022-12-07
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SCALE 1/4" = 1'-0"
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CHECKED GES



UPPER FLOOR PLAN

9' CEILING HEIGHT UNLESS NOTED OTHERWISE
FINISHED FLOOR AREA = 843 SQ.FT.

NOTE:
ALL TOP OF WINDOW ROUGH OPENINGS
TO BE 96" ABOVE FLOOR SURFACE.

GENERAL CONSTRUCTION NOTES:

BEAM AND STRUCTURAL DESIGN NOTES:

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LUMBER NOTES:

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WINDOW & DOOR NOTES:

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OLD SCHOOL CONSTRUCTION
Cody Deall
Custom Built Homes 250-862-7094
WESTBANK, BC oldschoolconstruction@shaw.ca

EXCITING HOME PLANS
Project # A1611 - Lot 39 Phase 11 Tallus

Lot 39
Tallus Ridge Ph. 11

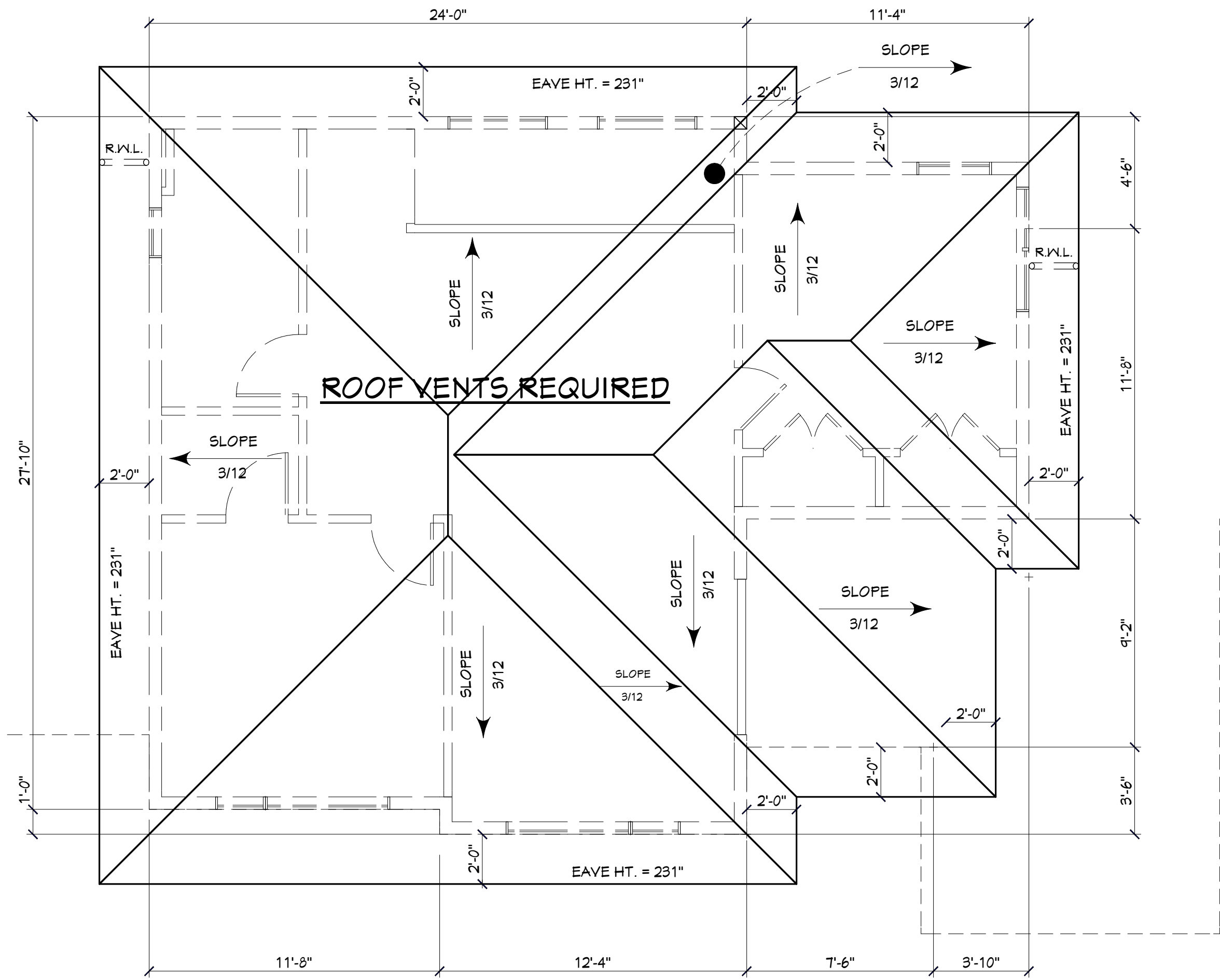
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The Tran Residence

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UPPER FLOOR PLAN

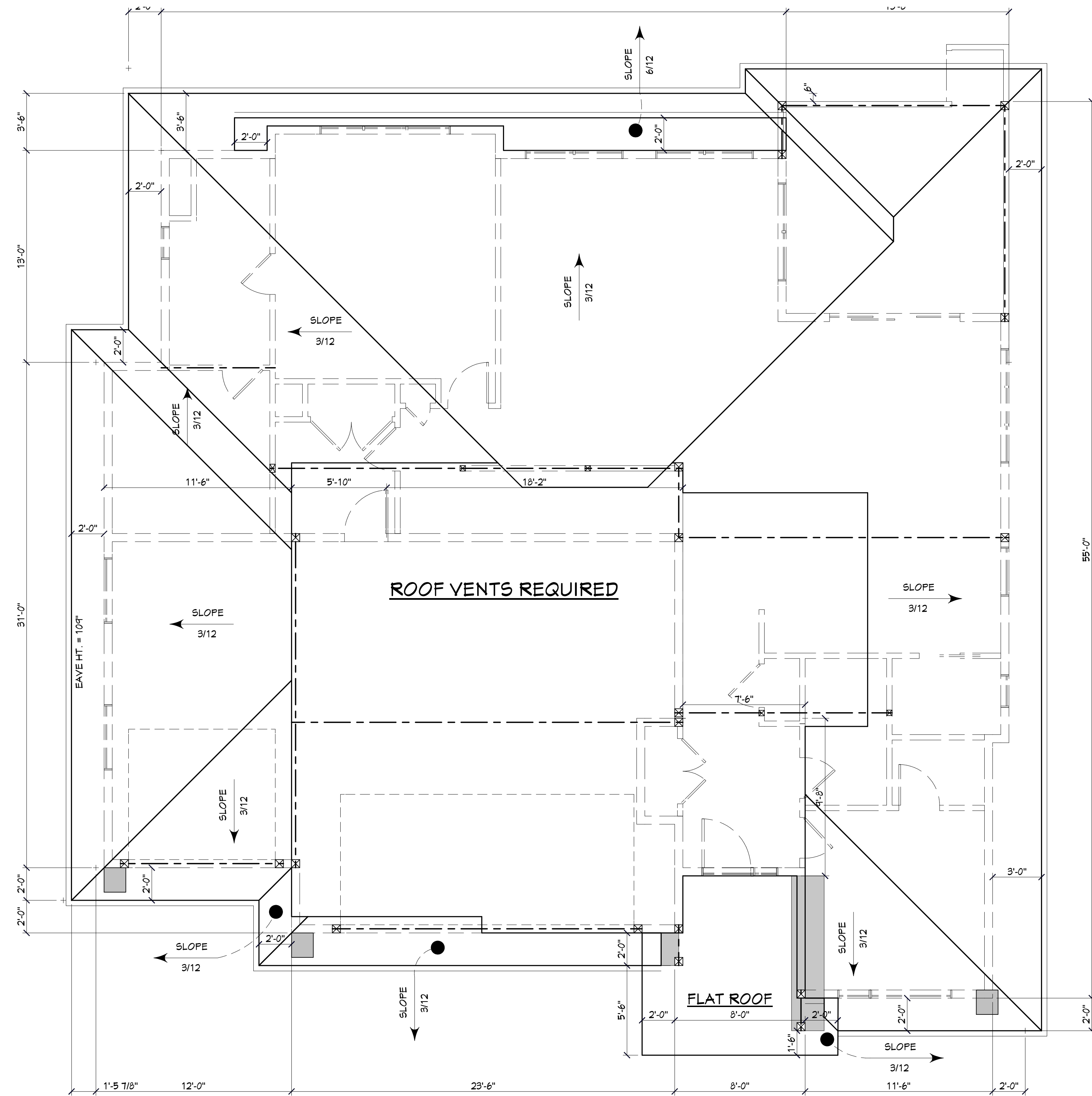
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ISSUED FOR CONSTRUCTION - 2022-12-07
PROJECT # A1611 - OLD SCHOOL



UPPER ROOF PLAN
1/4"=1'-0"



MAIN ROOF PLAN
1/4"=1'-0"

GENERAL CONSTRUCTION NOTES:

BEAM AND STRUCTURAL DESIGN NOTES:
(F) NOTE ON BEAMS DESIGNATES FLUSH, MEANING EITHER THE TOP OR BOTTOM OF THE BEAM TO NOT PROTRUDE PAST FINISHED PLANE.
(D) NOTE ON BEAMS INDICATES A DROPPED, MEANING THE BEAM IS PLACED UNDER THE SUPPORTED STRUCTURE.
(SEMI-F) NOTE ON BEAMS INDICATES A PARTIALLY DROPPED BEAM TO ALLOW FOR IMPACTED OPENINGS, OR TO ALLOW HEATING DUCTS TO PASS OVER. SEE DETAIL.

LUMBER NOTES:
ALL LUMBER TO BE GRADE STAMPED, LABELLED OR OTHERWISE IDENTIFIED, AS REQUIRED BY LOCAL BUILDING CODE

STRUCTURAL POST NOTES:
(LB) "LOAD BEARING POST" AT BEAM ENDS OR OTHER LOAD BEARING POINTS. REQUIRES STUDS TO BE NAILED TOGETHER TO FORM A STRUCTURAL POST (4X4,6X6,4X6).

WINDOW & DOOR NOTES:
ALL WINDOW & DOOR MEASUREMENTS ARE IN FEET & INCHES. (5040 INDICATES 5'-0" x 4'-0") CHECK ALL TOP OF WINDOW ROUGH OPENING HEIGHTS PRIOR TO FRAMING. ACTUAL DIMENSIONS OF ROUGH OPENINGS VARY DEPENDING ON MANUFACTURER. ALL WINDOW SIZES, TYPES, AND OPENERS TO BE CHECKED BY CONTRACTOR PRIOR TO ORDERING. TAKE CARE TO CHECK LOCAL BUILDING CODE FOR GLASS REGULATIONS SUCH AS TEMPERED GLASS, EGRESS LOCATIONS AND LIMITATIONS ON THE SIZE OF UNPROTECTED OPENINGS NEXT TO NEIGHBORING BUILDINGS PRIOR TO ORDERING. ALL WINDOWS TO MEET ENERGY RATING OF 17ER FOR OPERATING WINDOWS & 27ER FOR FIXED WINDOWS PER CAN/CSA-A440-2. EXTERIOR DOORS TO BE METAL INSULATED OR SOLID CORE WOOD DOORS, W/ WEATHERSTRIPPING.

NOTES ON DESIGN ELEMENTS EXCEEDING CODE REQUIREMENTS:
** - MATERIALS OR ASSEMBLY CONSTRUCTION MATERIALS SHOWN, AND/OR NOTED ** MAY OR MAY NOT BE REQUIRED BY LOCAL CODE, BUT ARE CONSIDERED GOOD BUILDING PRACTICE. BUILDING CONTRACTOR IS RESPONSIBLE TO CONSULT BOTH THE LOCAL CODE REQUIREMENTS, AND THE HOME OWNER REGARDING PLACEMENT OF THESE MATERIALS OR ASSEMBLIES.

ENGINEERED WOOD PRODUCTS NOTES:
ENGINEERED WOOD SUPPLIER/TRUSS MFR. TO PROVIDE ENGINEERED DRAWINGS, SEALED BY A P.ENG. LICENSED TO PRACTICE IN THIS HOMEPLAN'S BUILDING LOCATION, FOR THE BUILDING INSPECTOR TO REVIEW ON SITE.

FLOOR JOIST SYSTEM NOTES:
ENGINEERED JOISTS (TJI) FLOOR SYSTEMS ARE ASSUMED ON THESE DRAWINGS. JOIST SPANS AND JOIST DEPTHS MAY VARY DEPENDING ON THE MANUFACTURER. IF DIMENSIONAL LUMBER JOISTS ARE USED, CALCULATIONS MUST MEET LOCAL CODES FOR LOAD BEARING, SIZE AND SPACING. CONTRACTOR MUST TAKE CARE THAT ALL BLOCKING, STRAPPING AND BRACING IS COMPLETED PER MANUFACTURERS SPECIFICATIONS AND DRAWINGS.

ROOF DESIGN & CONSTRUCTION NOTES:
NOTES TO ROOF MANUFACTURERS
- ROOF DESIGNER TO CONSIDER DIMENSIONAL LUMBER FOR BEAMS NOTED "ENG. BEAM" AND SUBSTITUTE WHERE STRUCTURALLY POSSIBLE BY CODE.
- TRUSS HEELS IN ALL APPLICATIONS MUST HAVE A MINIMUM 8" HEEL FOR INSULATION PURPOSES.
- CONTRACTOR MUST TAKE CARE THAT ALL BLOCKING, STRAPPING AND BRACING IS COMPLETED PER MANUFACTURERS SPECIFICATIONS AND DRAWINGS.
- CONTRACTOR IS TO ENSURE G.I. FLASHINGS ARE PLACED IN ALL ROOF VALLEYS FOR PROPER RUNOFF.
- CONTRACTOR IS TO ENSURE THAT G.I. STEP FLASHINGS ARE PLACED WHEREVER WALLS AND CHIMNEYS MEET ROOF SURFACES, AND THAT STEP FLASHINGS ARE PLACED FOR PROPER RUNOFF.

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EXCITING HOME PLANS

Project # A1611 - Lot 39 Phase 11 Tallus

Lot 39
Tallus Ridge Ph. 11

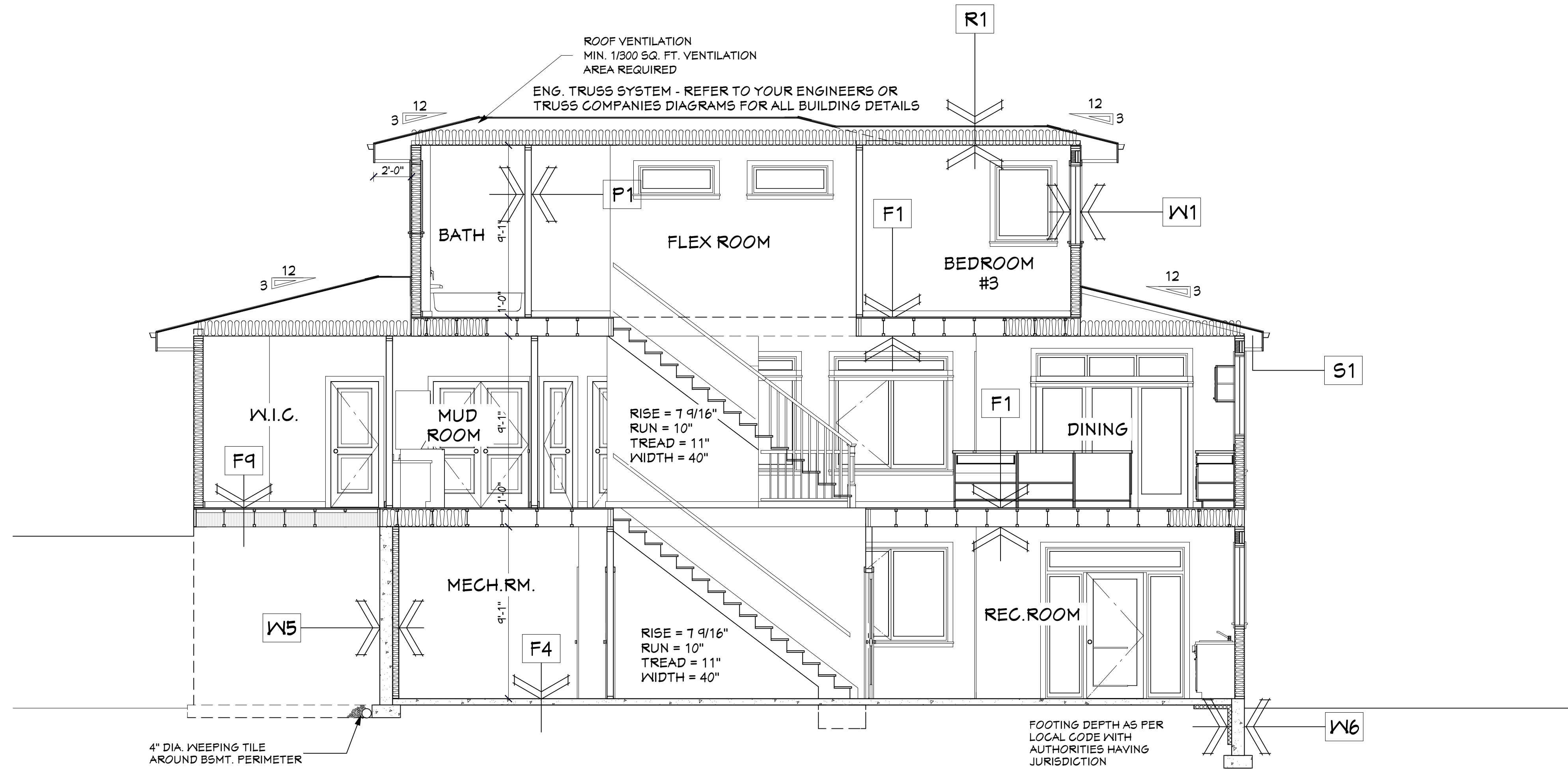
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ROOF PLAN

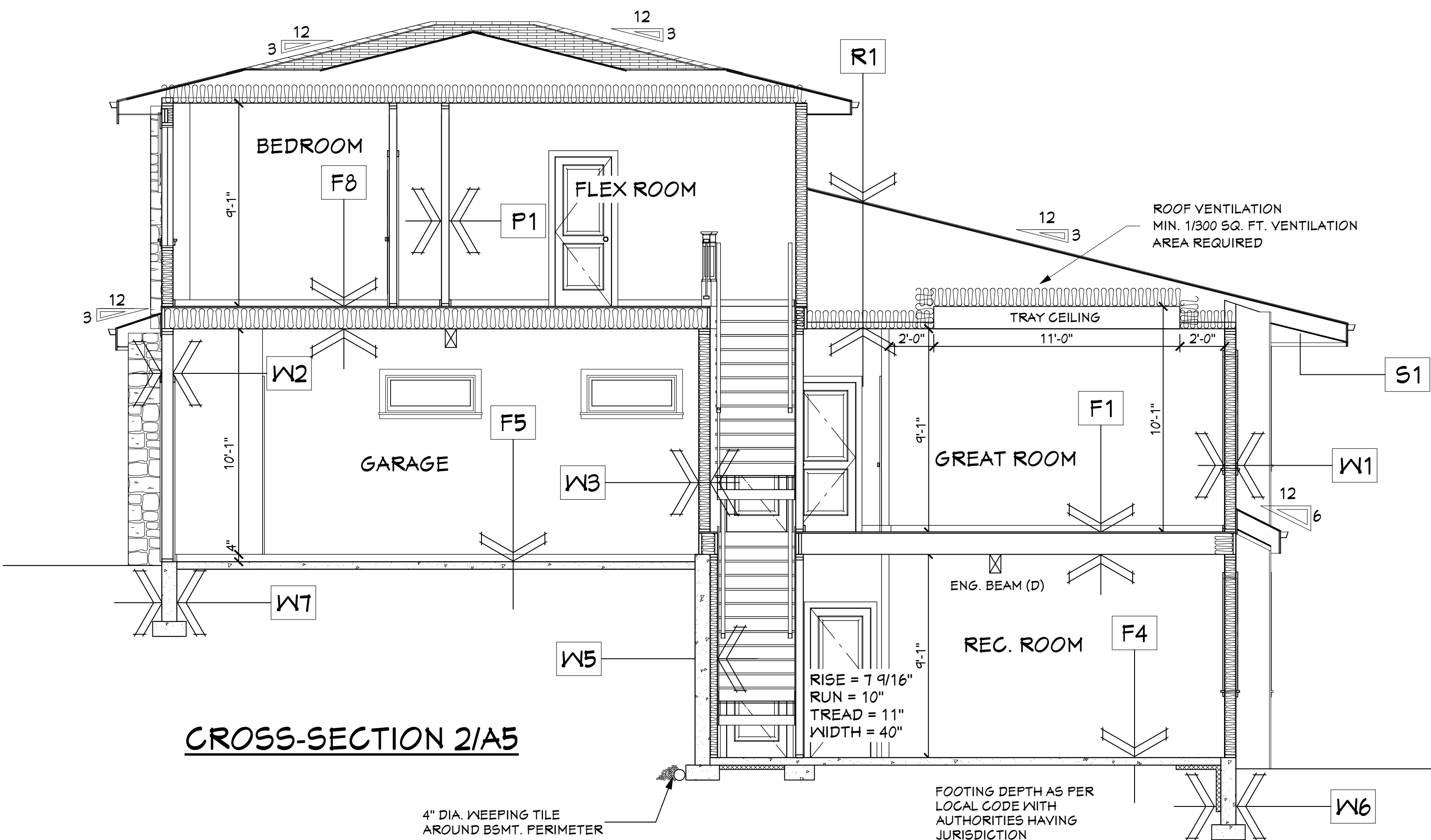
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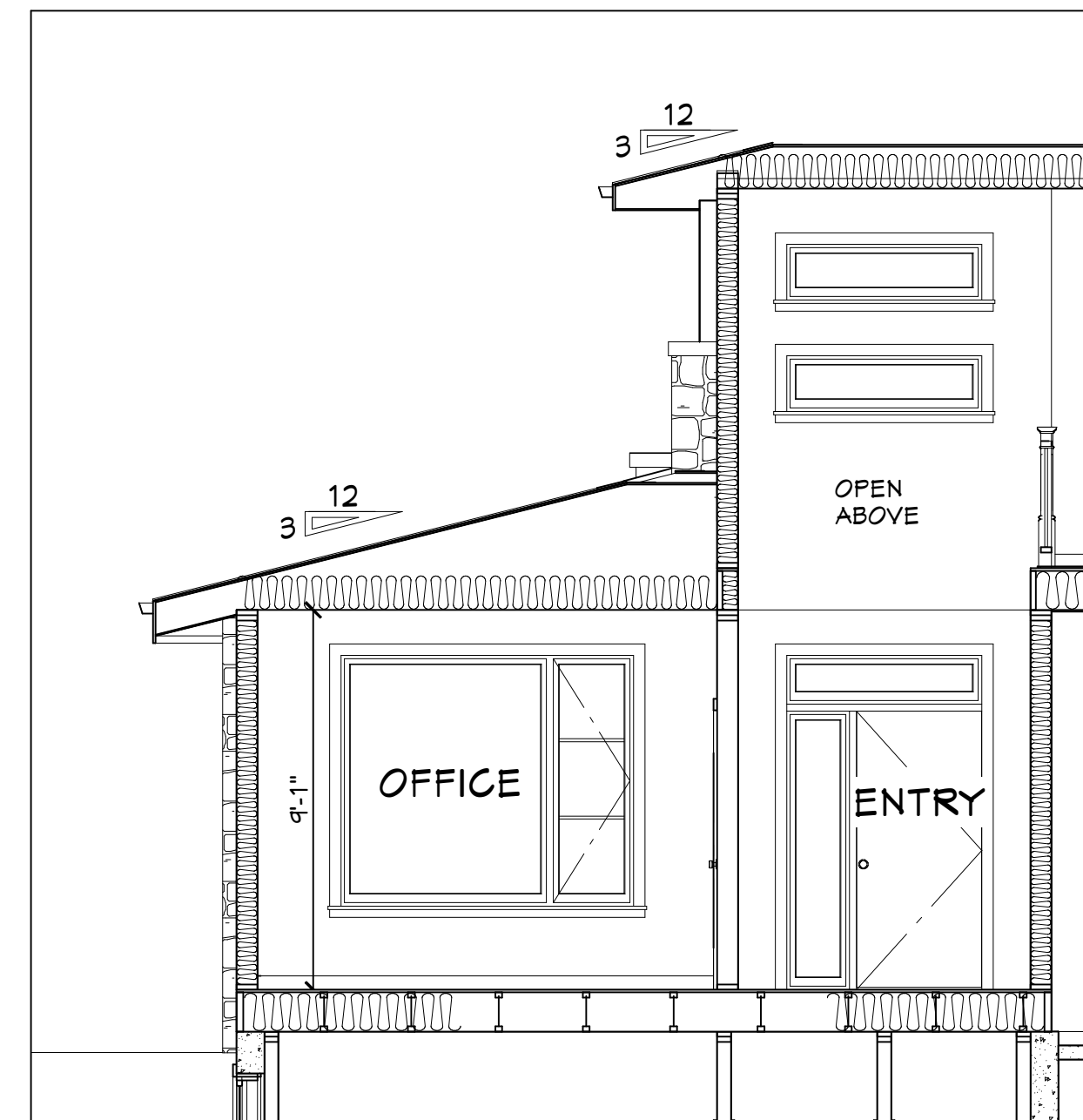
Project # A1343 - Lot 11 Ph 9 Tallus



CROSS-SECTION 1/A5



CROSS-SECTION 2/A5



ENTRY SECTION
CROSS-SECTION 3/A5

- CONSTRUCTION ASSEMBLIES:**
- IMPORTANT BUILDING INSULATION AND AIRTIGHTNESS NOTES:**
THE BUILDING CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION ASSEMBLIES MEETING THE LOCAL CODE RELATING TO INSULATION STANDARDS.
SEE SHEET D-1 FOR CANADIAN BLDG. CODE INSULATION SPECIFICATION OPTIONS FOR EXTERIOR WALL, FLOOR, ROOF AND FOUNDATION CONSTRUCTION ASSEMBLY DETAILS WHICH SUPERSEDE THE NOMINAL INSULATION VALUES AND ASSEMBLIES NOTED ON THIS PAGE.
- EXTERIOR WALL CONSTRUCTION**
- W1** EXTERIOR HOUSE WALLS
- SEE BUILDING ASSEMBLIES - SHEET D-1 FOR:
- VARIOUS EXTERIOR FINISH ASSEMBLY DETAILS
- INSULATION VALUES OF EACH ASSEMBLY MEETING 2018 BRITISH COLUMBIA BUILDING CODE RSI & R VALUES
- W2** EXTERIOR GARAGE WALLS
- STUCCO/BLDG. PAPER
- 3/8" O.S.B. SHEATHING
- 2x4 or 2x6 STUDS @ 24" O.C.
- 1/2" GYPSUM BOARD (PAINTED)
(INSULATION OPTIONAL OR AS REQUIRED BY CODE)
- W3** HOUSE/GARAGE EXTERIOR WALLS
- SEE BUILDING ASSEMBLIES - SHEET D-1 FOR:
- VARIOUS EXTERIOR FINISH ASSEMBLY DETAILS
- INSULATION VALUES OF EACH ASSEMBLY MEETING 2018 BRITISH COLUMBIA BUILDING CODE RSI & R VALUES
- W4** FOUNDATION WALLS - UNFINISHED AREAS
- SEE BUILDING ASSEMBLIES - SHEET D-1 FOR:
- VARIOUS EXTERIOR FINISH ASSEMBLY DETAILS
- INSULATION VALUES OF EACH ASSEMBLY MEETING 2018 BRITISH COLUMBIA BUILDING CODE RSI & R VALUES
- W5** FOUNDATION WALLS - FINISHED AREAS
- SEE BUILDING ASSEMBLIES - SHEET D-1 FOR:
- VARIOUS EXTERIOR FINISH ASSEMBLY DETAILS
- INSULATION VALUES OF EACH ASSEMBLY MEETING 2018 BRITISH COLUMBIA BUILDING CODE RSI & R VALUES
- W6** FOUNDATION WALLS - FROST WALLS
- SEE BUILDING ASSEMBLIES - SHEET D-1 FOR:
- VARIOUS EXTERIOR FINISH ASSEMBLY DETAILS
- INSULATION VALUES OF EACH ASSEMBLY MEETING 2018 BRITISH COLUMBIA BUILDING CODE RSI & R VALUES
- W7** FOUNDATION WALLS - GARAGE FROST WALLS
- 8" CONCRETE FOUNDATION WALL
ON 16"x 8" CONC. STRIP FOOTING
(FOOTING DEPTH PER LOCAL FROST PENETRATION AND CODE REQUIREMENTS)
- INTERIOR PARTITION CONSTRUCTION**
- P1** INTERIOR WALLS - (TYP.)
- 1/2" GYPSUM BOARD (PAINTED)
- 2x4 or 2x6 STUDS @ 16" O.C.
- 1/2" GYPSUM BOARD (PAINTED)
- P2** INTERIOR WALLS - INSULATED
- 1/2" GYPSUM BOARD (PAINTED)
- 2x4 or 2x6 STUDS @ 16" O.C.
- R-12 SOUND INSULATION
- 1/2" GYPSUM BOARD (PAINTED)
- FLOOR CONSTRUCTION**
- F1** JOISTED HOUSE FLOOR
- FINISHED FLOOR
- 3/4" T&G O.S.B. GLUED NAILED & SCREWED
- ENG. JOIST SYSTEM (MATERIAL AND INSTALLATION PER MANUFACTURER)
- 1/2" CEILING BOARD
- PAINTED FINISH
- F2** JOISTED DECK AND PORCH FLOORS
- FINISHED FLOOR
- 3/4" T&G O.S.B. GLUED NAILED & SCREWED
- ENG. JOIST SYSTEM (MATERIAL AND INSTALLATION PER MANUFACTURER)
- 1/4" SOFFIT STRAPPING IF NECESSARY
- VENTED ALUMINUM SOFFIT
- F3** JOISTED HOUSE FLOOR TO EXTERIOR AREA
- SEE BUILDING ASSEMBLIES - SHEET D-1 FOR:
- BUILDING ASSEMBLY DETAILS
- INSULATION VALUES OF EACH ASSEMBLY MEETING 2018 BRITISH COLUMBIA BUILDING CODE RSI & R VALUES
- F4** CONCRETE FLOORS - BASEMENT
- SEE BUILDING ASSEMBLIES - SHEET D-1 FOR:
- BUILDING ASSEMBLY DETAILS
- INSULATION VALUES OF EACH ASSEMBLY MEETING 2018 BRITISH COLUMBIA BUILDING CODE RSI & R VALUES
- F5** CONCRETE FLOORS - GARAGE
- 4" CONCRETE SLAB (SLOPED TO DRAIN)
- 10 mm REBAR @ 24" GRID
- 6 MIL. VAPOUR BARRIER
- 5" COMPACTED GRANULAR FILL
- F6** CONCRETE FLOORS - PATIOS
- 4" CONCRETE SLAB (SLOPED TO DRAIN)
- 10 mm REBAR @ 24" GRID
- 6 MIL. VAPOUR BARRIER
- 5" COMPACTED GRANULAR FILL
- F7** JOISTED DECK FLOOR TO GARAGE BELOW
- FINISHED FLOOR
- 3/4" T&G O.S.B. GLUED NAILED & SCREWED
- ENG. JOIST SYSTEM (MATERIAL AND INSTALLATION PER MANUFACTURER)
- INSULATION OPTIONAL
- 5/8" TYPE "X" FIREGUARD CEILING BOARD
- PAINTED FINISH
- F8** HOUSE FLOOR TO GARAGE BELOW
- SEE BUILDING ASSEMBLIES - SHEET D-1 FOR:
- BUILDING ASSEMBLY DETAILS
- INSULATION VALUES OF EACH ASSEMBLY MEETING 2018 BRITISH COLUMBIA BUILDING CODE RSI & R VALUES
- F9** JOISTED DECK FLOOR TO HEATED AREA BELOW
- SEE BUILDING ASSEMBLIES - SHEET D-1 FOR:
- BUILDING ASSEMBLY DETAILS
- INSULATION VALUES OF EACH ASSEMBLY MEETING 2018 BRITISH COLUMBIA BUILDING CODE RSI & R VALUES
- ROOF AND CEILING CONSTRUCTION**
- R1** HOUSE ROOF AND CEILING
- SEE BUILDING ASSEMBLIES - SHEET D-1 FOR:
- BUILDING ASSEMBLY DETAILS
- INSULATION VALUES OF EACH ASSEMBLY MEETING 2018 BRITISH COLUMBIA BUILDING CODE RSI & R VALUES
- R2** GARAGE ROOF & CEILING
- LAMINATED ASPHALT SHINGLES
- ROOFING FELT
- 7/16" ROOF SHEATHING (c/w "H" CLIPS)
- ENG. ROOF TRUSSES @ 24" O.C. - MATERIALS AND ASSEMBLY PER MANUFACTURER
- 1/2" CEILING BOARD (TYPE "X" FIREGUARD WHERE REQUIRED BY CODE)
- R3** DECK AND PORCH ROOF & CEILING
- LAMINATED ASPHALT SHINGLES
- ROOFING FELT
- 7/16" ROOF SHEATHING (c/w "H" CLIPS)
- ENG. ROOF TRUSSES @ 24" O.C. - MATERIALS AND ASSEMBLY PER MANUFACTURER
- 1x4 SOFFIT STRAPPING IF NECESSARY
- VENTED ALUMINUM SOFFIT
- SOFFIT SPECIFICATIONS**
- S1** - PREFINISHED VENTED ALUMINUM SOFFIT

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EXCITING HOME PLANS
Project # A1611 - Lot 39 Phase 11 Tallus

Lot 39
Tallus Ridge Ph. 11

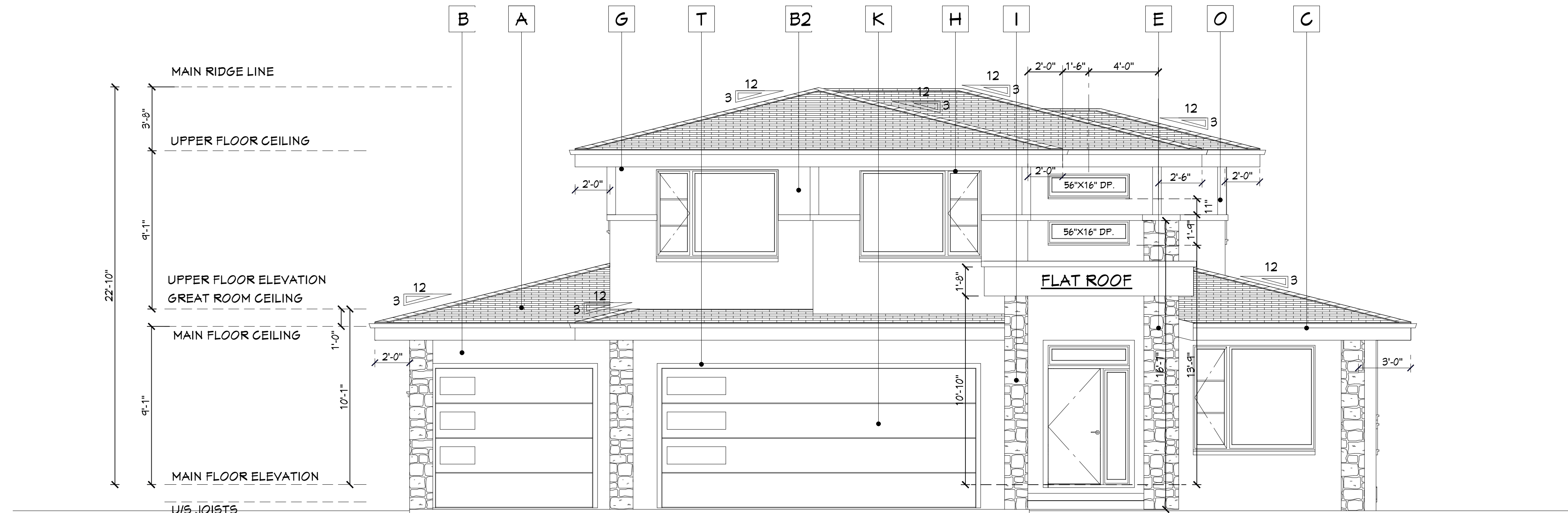
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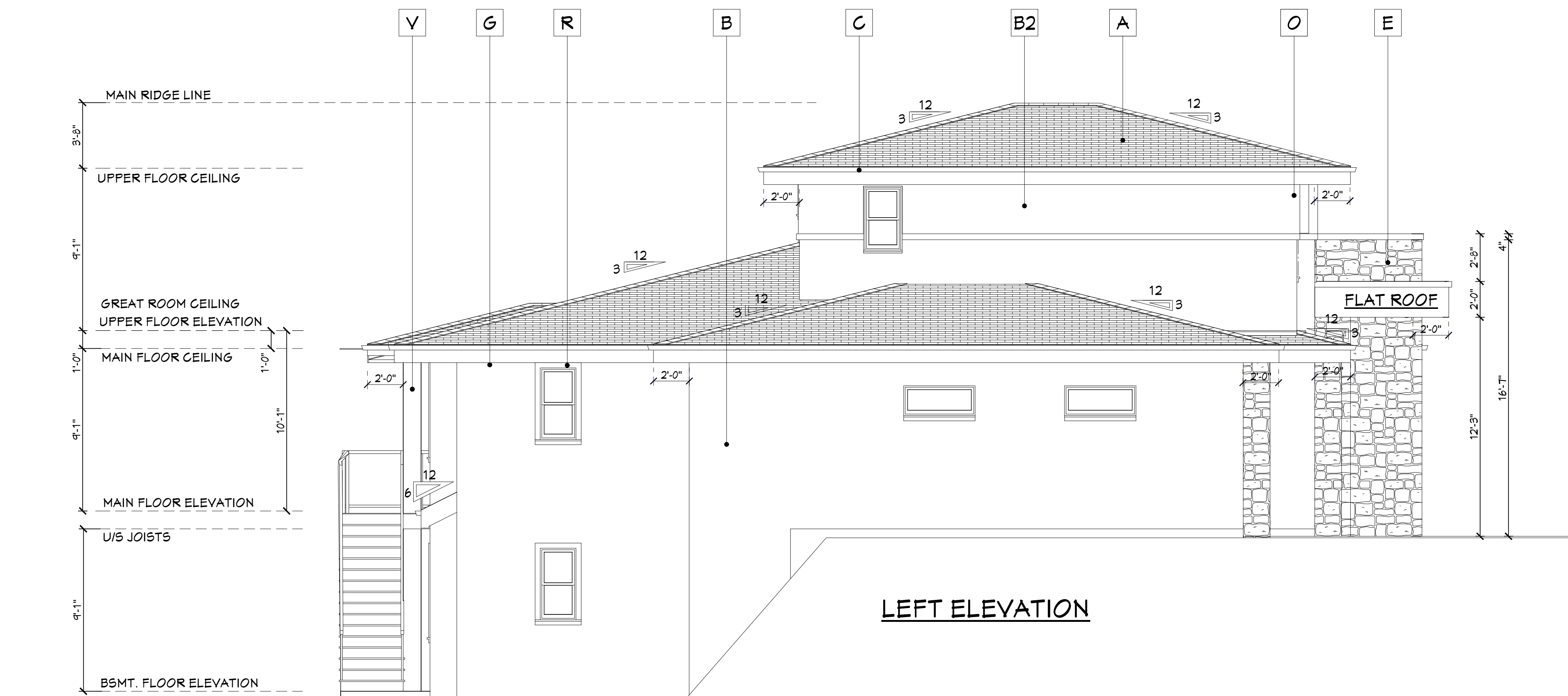
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Project # A1343 - Lot 11 Ph 9 Tallus



FRONT ELEVATION



LEFT ELEVATION

MATERIAL & EXTERIOR FINISH LEGEND:

- A** ROOF - LAMINATED ASPHALT SHINGLES
- B** EXT. WALLS - HARDIE PLANK SIDING
- B1** WOOD / BATTON
- B2** ACRYLIC STUCCO
- C** 12" FASCIA w/ PRE FIN. ALUM. GUTTER & DOWNSPOUTS
- D** 42" HIGH PREFIN. ALUM & GLASS DECK RAILING (AS PER LOCAL CODE REQUIREMENTS)
- E** STONE OR BRICK VENEER
- F** HARDIE-SHAKE GABLE END FINISH
- G** PREFIN. ALUM. SOFFIT
- H** FRONT ELEV. WINDOW & DOOR TRIM
6" HORIZ. HARDIE TRIM
3" WRAP AT SIDES
4" VERT. HARDIE TRIM
- I** FRONT ELEVATION COLUMNS
DECOR. WOOD CAPITALS
18" SQ. FRAMED OUT COLUMN w/
WOOD BASE SURROUND ON
MASONRY VENEER BASE w/
PREFINISHED SILL
- J** DECORATIVE BRACKETS
- K** GARAGE DOOR
- L** 10" HARDIE HORIZ. GABLE BAND
- M** GABLE END TIMBER FRAME
- N** 4" ON 10" HARDIE GABLE FASCIA
- O** 6" HARDIE WALL CORNER BOARDS
- P** FRONT ELEVATION PICKET RAILING
- Q** 2" x 10" HARDIE BELLY BAND
- R** 4" HARDIE WINDOW & DOOR TRIMS
- S** ARCHITECTURAL TOOTHING
- T** GARAGE DOOR TRIM
6" HORIZ. HARDIE-BOARD
4" VERT. HARDIE-BOARD
- U** PREFIN. ALUM. FACED EXTERIOR ITEMS
- V** REAR COLUMNS SPECIFICATION
DECORATIVE ACRYLIC STUCCO
BUILTOUT CAPITALS ON
18" SQ. FRAMED OUT COLUMNS w/
MASONRY OR ACRYLIC STUCCO BASE

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Project # A1611 - Lot 39 Phase 11 Tallus

Lot 39
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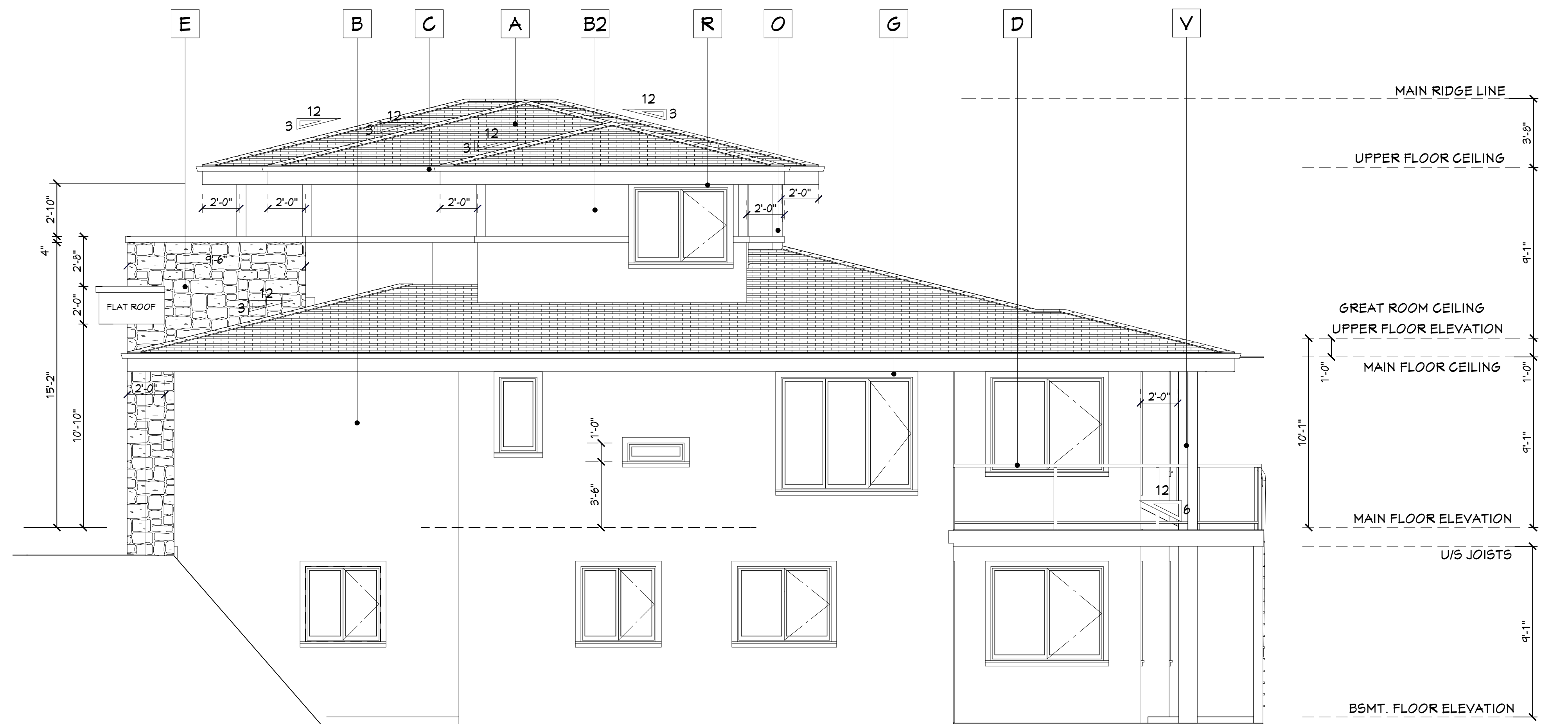
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EXTERIOR ELEVATIONS

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REAR ELEVATION



RIGHT ELEVATION

MATERIAL & EXTERIOR FINISH LEGEND:

- A** ROOF - LAMINATED ASPHALT SHINGLES
- B** EXT. WALLS - HARDIE PLANK SIDING
- B1** WOOD / BATTON
- B2** ACRYLIC STUCCO
- C** 12" FASCIA w/ PRE FIN. ALUM. GUTTER & DOWNSPOUTS
- D** 42" HIGH PREFIN. ALUM & GLASS DECK RAILING (AS PER LOCAL CODE REQUIREMENTS)
- E** STONE OR BRICK VENEER
- F** HARDIE-SHAKE GABLE END FINISH
- G** PREFIN. ALUM. SOFFIT
- H** FRONT ELEV. WINDOW & DOOR TRIM
6" HORIZ. HARDIE TRIM
3" WRAP AT SIDES
4" VERT. HARDIE TRIM
- I** FRONT ELEVATION COLUMNS
DECOR. WOOD CAPITALS
18" SQ. FRAMED OUT COLUMN w/
WOOD BASE SURROUND ON
MASONRY VENEER BASE w/
PREFINISHED SILL
- J** DECORATIVE BRACKETS
- K** GARAGE DOOR
- L** 10" HARDIE HORIZ. GABLE BAND
- M** GABLE END TIMBER FRAME
- N** 4" ON 10" HARDIE GABLE FASCIA
- O** 6" HARDIE WALL CORNER BOARDS
- P** FRONT ELEVATION PICKET RAILING
- Q** 2" x 10" HARDIE BELLY BAND
- R** 4" HARDIE WINDOW & DOOR TRIMS
- S** ARCHITECTURAL TOOTHING
- T** GARAGE DOOR TRIM
6" HORIZ. HARDIE-BOARD
4" VERT. HARDIE-BOARD
- U** PREFIN. ALUM. FACED EXTERIOR ITEMS
- V** REAR COLUMNS SPECIFICATION
DECORATIVE ACRYLIC STUCCO
BUILTOUT CAPITALS ON
18" SQ. FRAMED OUT COLUMNS w/
MASONRY OR ACRYLIC STUCCO BASE

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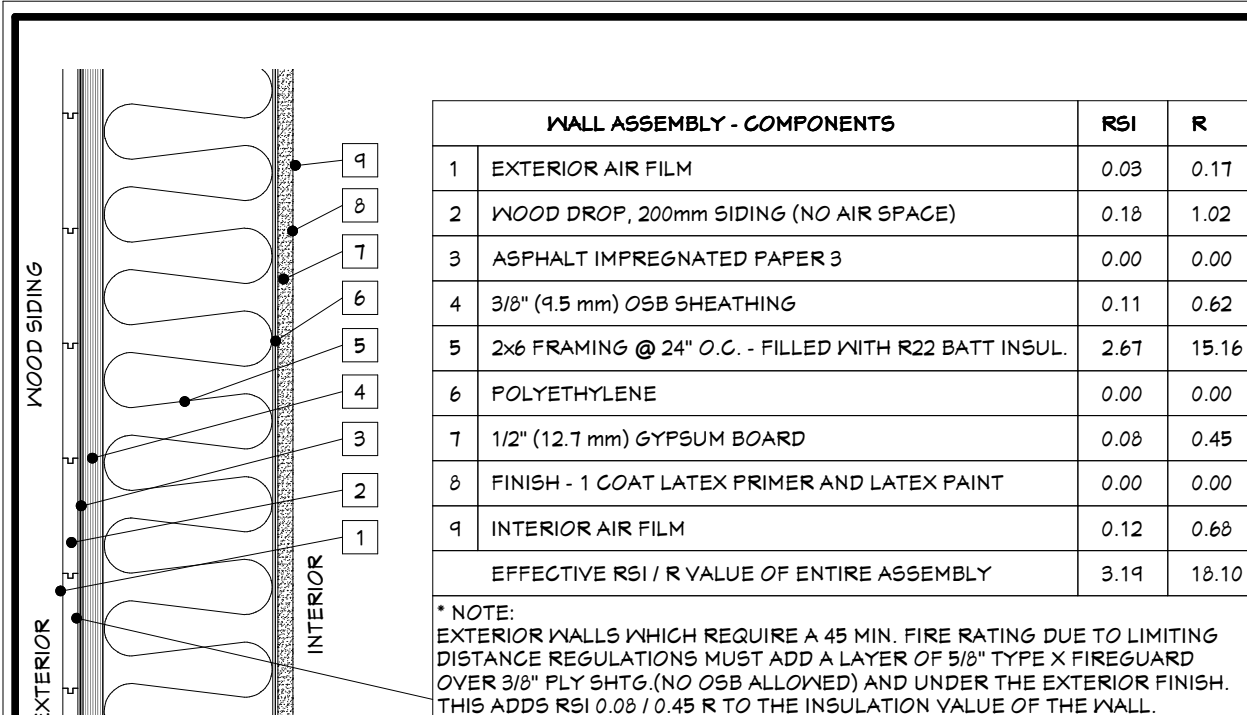
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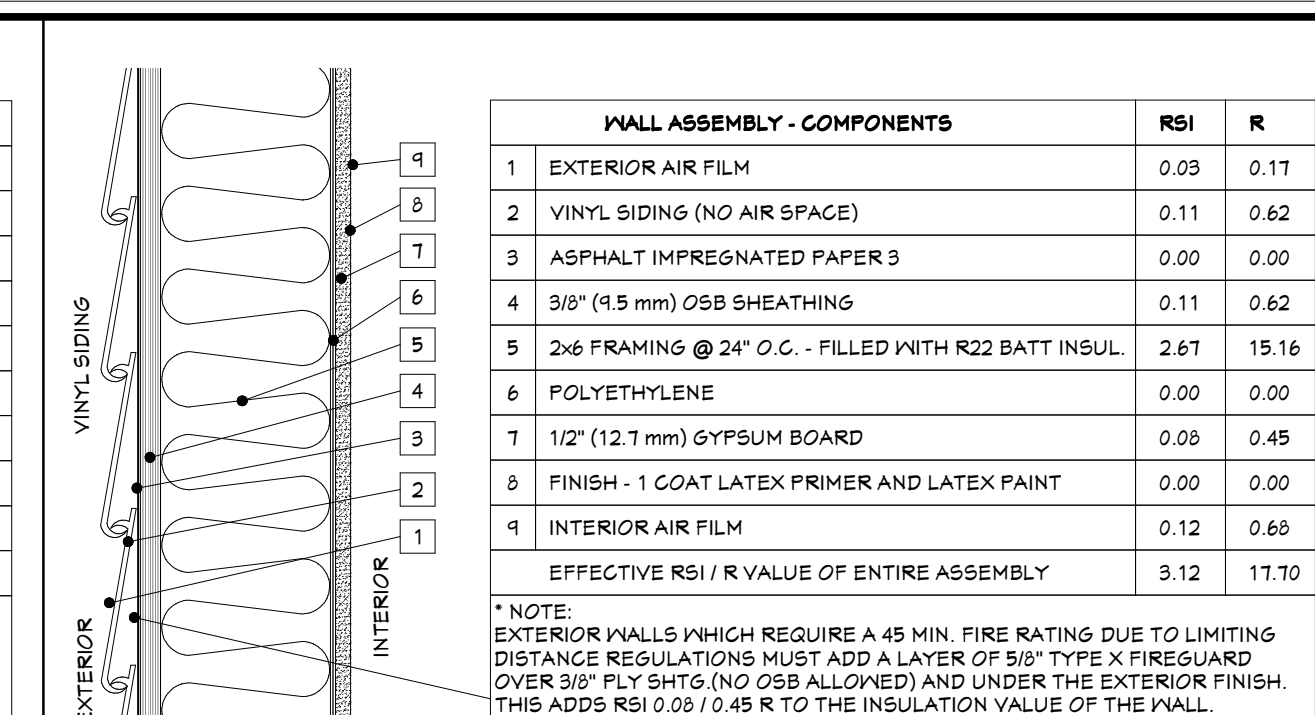
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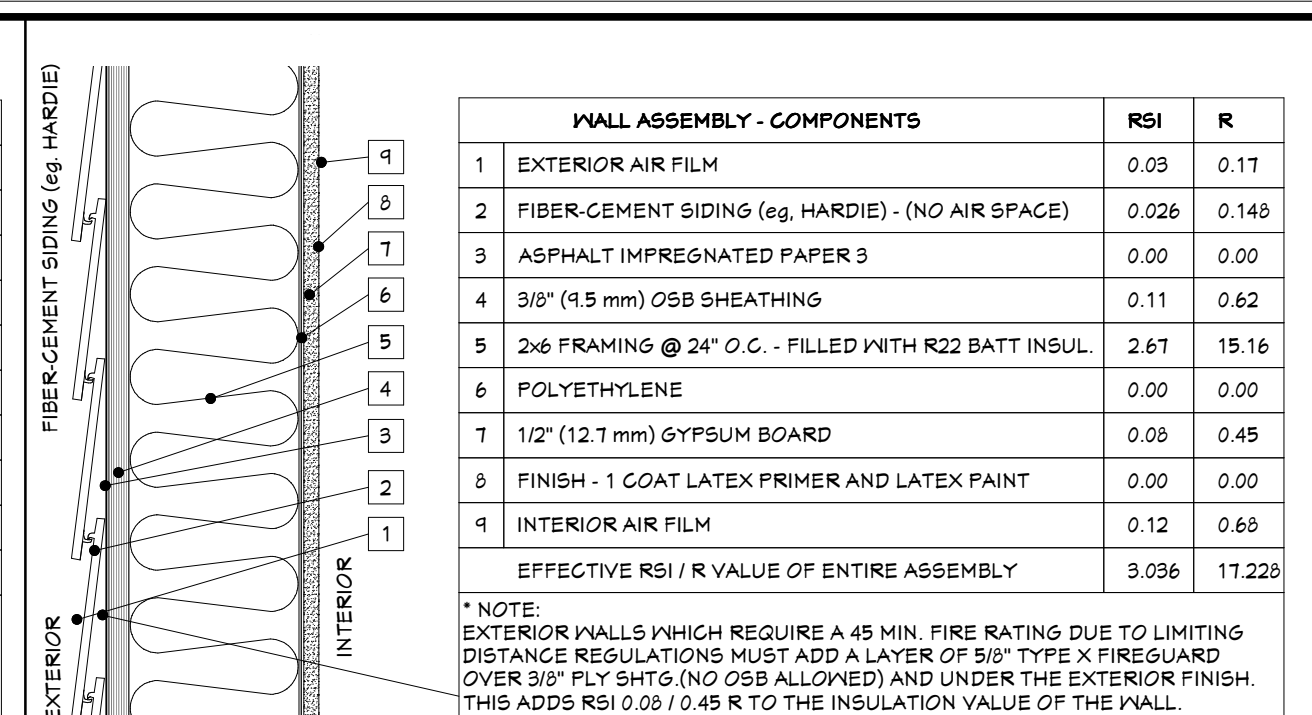
WALL ASSEMBLY - COMPONENTS			RSI	R
1	EXTERIOR AIR FILM		0.03	0.17
2	WOOD DROP, 200mm SIDING (NO AIR SPACE)		0.18	1.02
3	ASPHALT IMPREGNATED PAPER 3		0.00	0.00
4	3/8" (9.5 mm) OSB SHEATHING		0.11	0.62
5	2x6 FRAMING @ 24" O.C. - FILLED WITH R22 BATT INSUL.		2.67	15.16
6	POLYETHYLENE		0.00	0.00
7	1/2" (12.7 mm) GYPSUM BOARD		0.08	0.45
8	FINISH - 1 COAT LATEX PRIMER AND LATEX PAINT		0.00	0.00
9	INTERIOR AIR FILM		0.12	0.68
EFFECTIVE RSI / R VALUE OF ENTIRE ASSEMBLY			3.14	18.10

W1-1 WALL ASSEMBLY - WOOD SIDING
WOOD SIDING_3/8 OSB_2x6@24_R22 INSUL N.T.S.



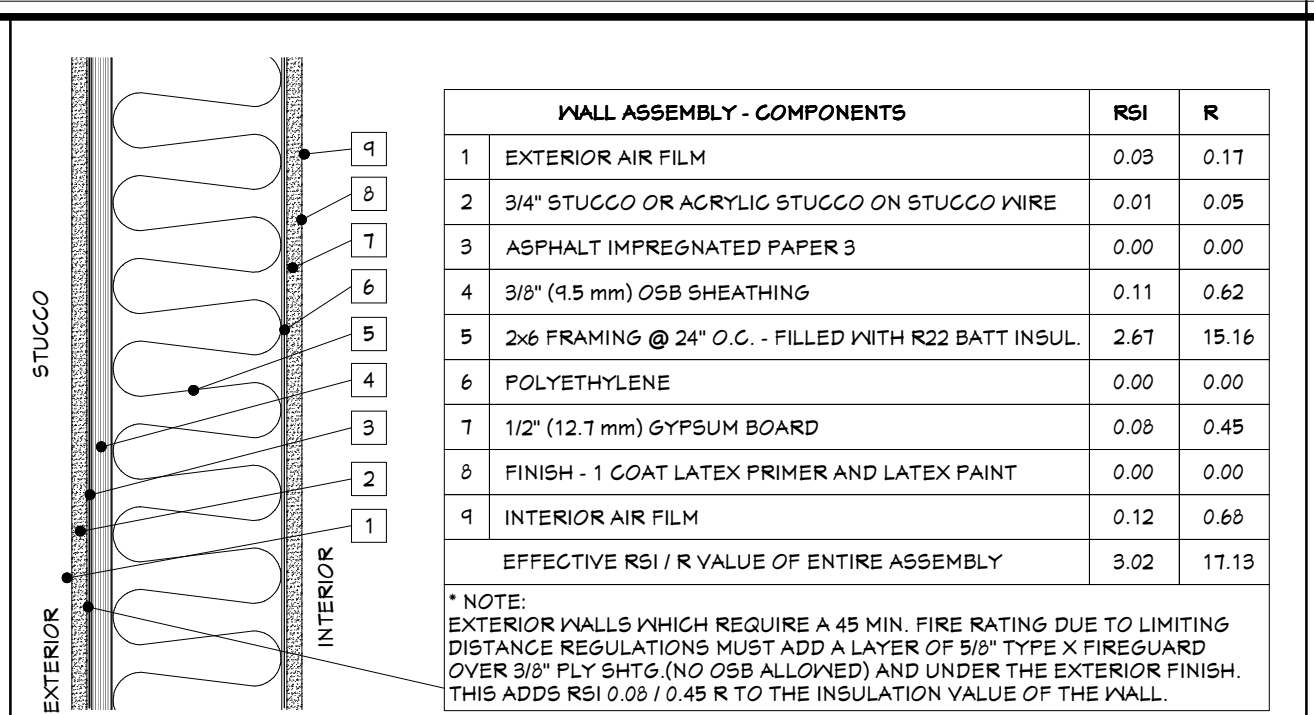
WALL ASSEMBLY - COMPONENTS			RSI	R
1	EXTERIOR AIR FILM		0.03	0.17
2	VINYL SIDING (NO AIR SPACE)		0.11	0.62
3	ASPHALT IMPREGNATED PAPER 3		0.00	0.00
4	3/8" (9.5 mm) OSB SHEATHING		0.11	0.62
5	2x6 FRAMING @ 24" O.C. - FILLED WITH R22 BATT INSUL.		2.67	15.16
6	POLYETHYLENE		0.00	0.00
7	1/2" (12.7 mm) GYPSUM BOARD		0.08	0.45
8	FINISH - 1 COAT LATEX PRIMER AND LATEX PAINT		0.00	0.00
9	INTERIOR AIR FILM		0.12	0.68
EFFECTIVE RSI / R VALUE OF ENTIRE ASSEMBLY			3.12	17.10

W1-2 WALL ASSEMBLY - VINYL SIDING
VINYL_3/8 OSB_2x6@24_R22 INSUL N.T.S.



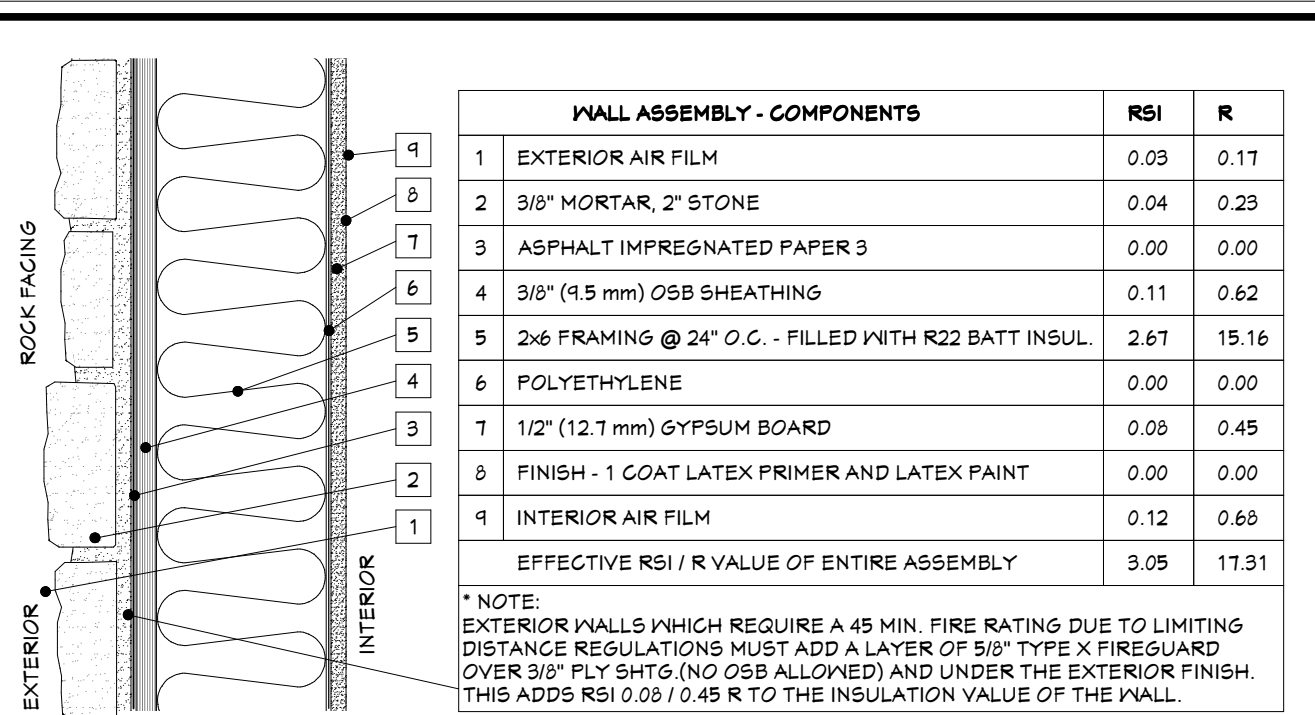
WALL ASSEMBLY - COMPONENTS			RSI	R
1	EXTERIOR AIR FILM		0.03	0.17
2	FIBER-CEMENT SIDING (eg. HARDIE) - (NO AIR SPACE)		0.026	0.148
3	ASPHALT IMPREGNATED PAPER 3		0.00	0.00
4	3/8" (9.5 mm) OSB SHEATHING		0.11	0.62
5	2x6 FRAMING @ 24" O.C. - FILLED WITH R22 BATT INSUL.		2.67	15.16
6	POLYETHYLENE		0.00	0.00
7	1/2" (12.7 mm) GYPSUM BOARD		0.08	0.45
8	FINISH - 1 COAT LATEX PRIMER AND LATEX PAINT		0.00	0.00
9	INTERIOR AIR FILM		0.12	0.68
EFFECTIVE RSI / R VALUE OF ENTIRE ASSEMBLY			3.036	17.220

W1-3 WALL ASSEMBLY - FIBER-CEMENT SIDING (eg. HARDIE)
FC_3/8 OSB_2x6@24_R22 INSUL N.T.S.



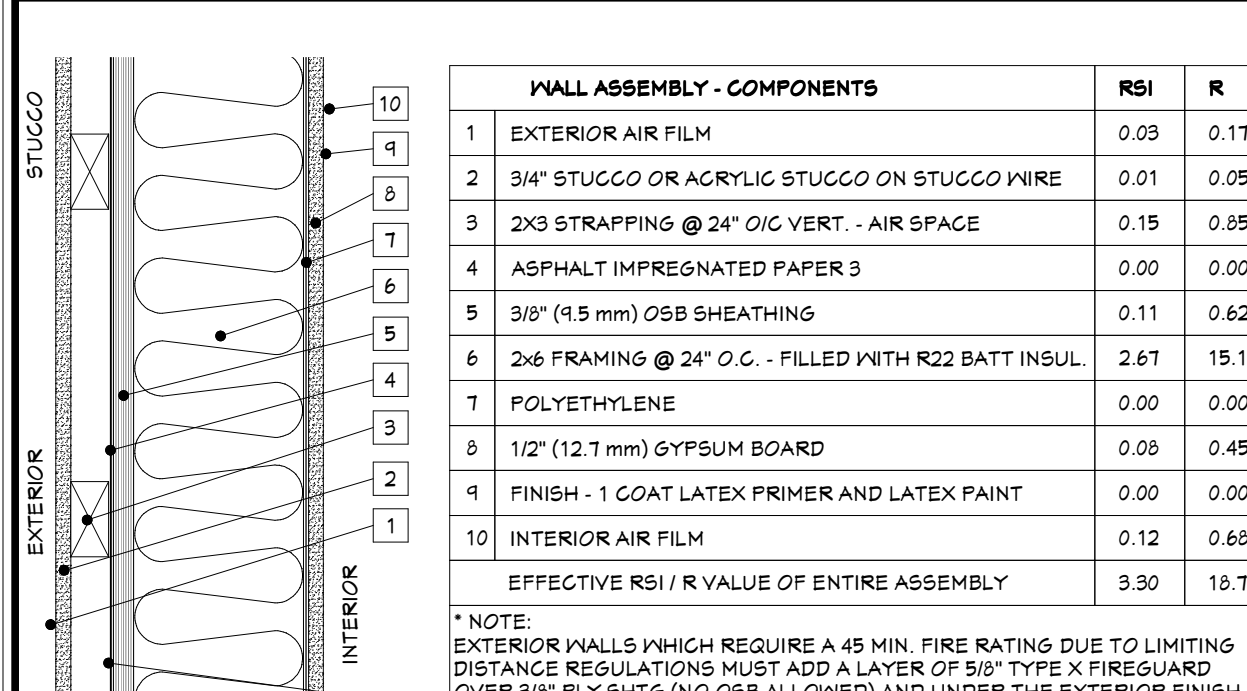
WALL ASSEMBLY - COMPONENTS			RSI	R
1	EXTERIOR AIR FILM		0.03	0.17
2	3/4" STUCCO OR ACRYLIC STUCCO ON STUCCO WIRE		0.01	0.05
3	ASPHALT IMPREGNATED PAPER 3		0.00	0.00
4	3/8" (9.5 mm) OSB SHEATHING		0.11	0.62
5	2x6 FRAMING @ 24" O.C. - FILLED WITH R22 BATT INSUL.		2.67	15.16
6	POLYETHYLENE		0.00	0.00
7	1/2" (12.7 mm) GYPSUM BOARD		0.08	0.45
8	FINISH - 1 COAT LATEX PRIMER AND LATEX PAINT		0.00	0.00
9	INTERIOR AIR FILM		0.12	0.68
EFFECTIVE RSI / R VALUE OF ENTIRE ASSEMBLY			3.02	17.13

W1-4 WALL ASSEMBLY - STUCCO
STUCCO_3/8 OSB_2x6@24_R22 INSUL N.T.S.



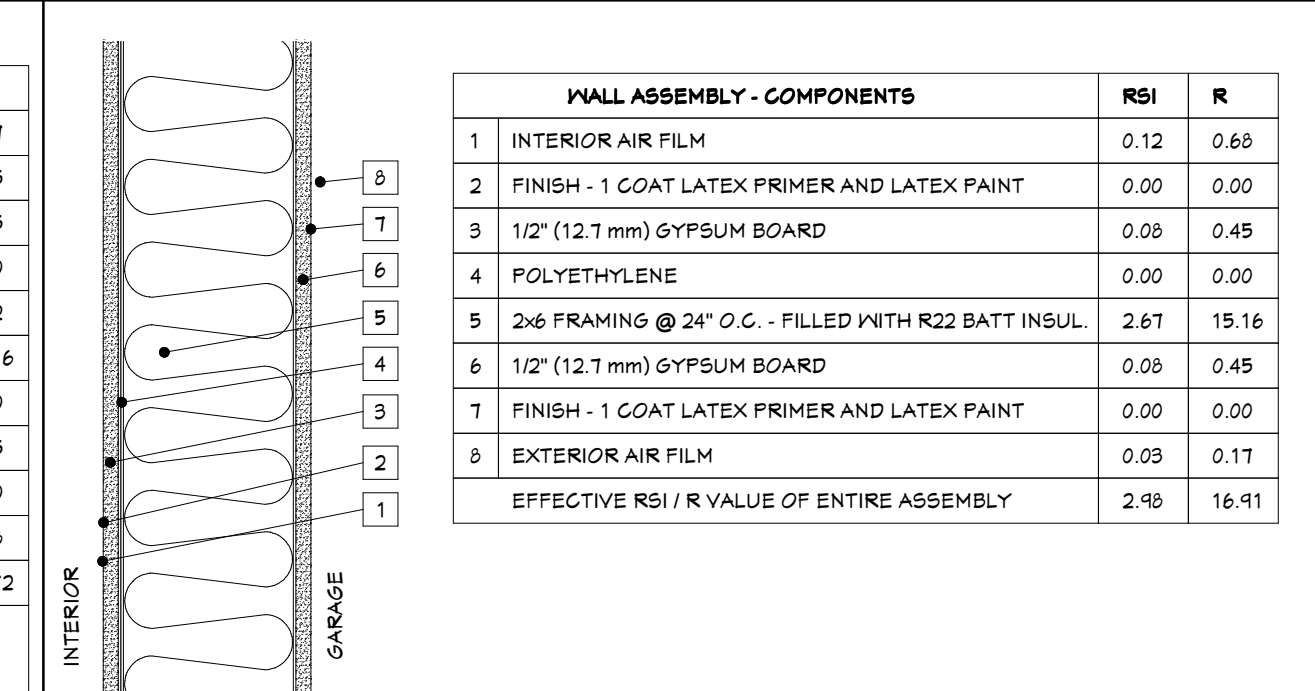
WALL ASSEMBLY - COMPONENTS			RSI	R
1	EXTERIOR AIR FILM		0.03	0.17
2	3/8" MORTAR, 2" STONE		0.04	0.23
3	ASPHALT IMPREGNATED PAPER 3		0.00	0.00
4	3/8" (9.5 mm) OSB SHEATHING		0.11	0.62
5	2x6 FRAMING @ 24" O.C. - FILLED WITH R22 BATT INSUL.		2.67	15.16
6	POLYETHYLENE		0.00	0.00
7	1/2" (12.7 mm) GYPSUM BOARD		0.08	0.45
8	FINISH - 1 COAT LATEX PRIMER AND LATEX PAINT		0.00	0.00
9	INTERIOR AIR FILM		0.12	0.68
EFFECTIVE RSI / R VALUE OF ENTIRE ASSEMBLY			3.05	17.31

W1-5 WALL ASSEMBLY - STONE
STONE_3/8 OSB_2x6@24_R22 INSUL N.T.S.



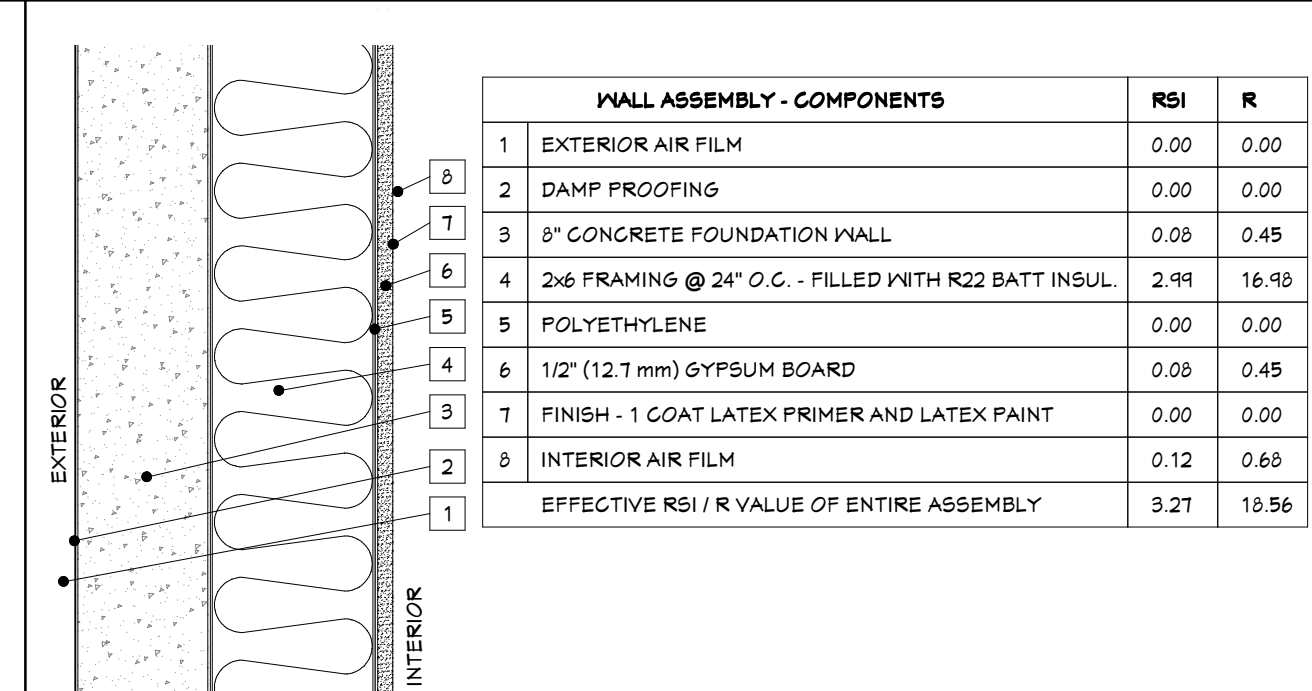
WALL ASSEMBLY - COMPONENTS			RSI	R
1	EXTERIOR AIR FILM		0.03	0.17
2	3/4" STUCCO OR ACRYLIC STUCCO ON STUCCO WIRE		0.01	0.05
3	2x3 STRAPPING @ 24" O.C. VERT. - AIR SPACE		0.15	0.85
4	ASPHALT IMPREGNATED PAPER 3		0.00	0.00
5	3/8" (9.5 mm) OSB SHEATHING		0.11	0.62
6	2x6 FRAMING @ 24" O.C. - FILLED WITH R22 BATT INSUL.		2.67	15.16
7	POLYETHYLENE		0.00	0.00
8	1/2" (12.7 mm) GYPSUM BOARD		0.08	0.45
9	FINISH - 1 COAT LATEX PRIMER AND LATEX PAINT		0.00	0.00
10	INTERIOR AIR FILM		0.12	0.68
EFFECTIVE RSI / R VALUE OF ENTIRE ASSEMBLY			3.30	18.72

W1-6 WALL ASSEMBLY - EXTERIOR STRAPPING
STUCCO_2x3 STRAPPING_3/8 OSB_2x6@24_R22 INSUL N.T.S.



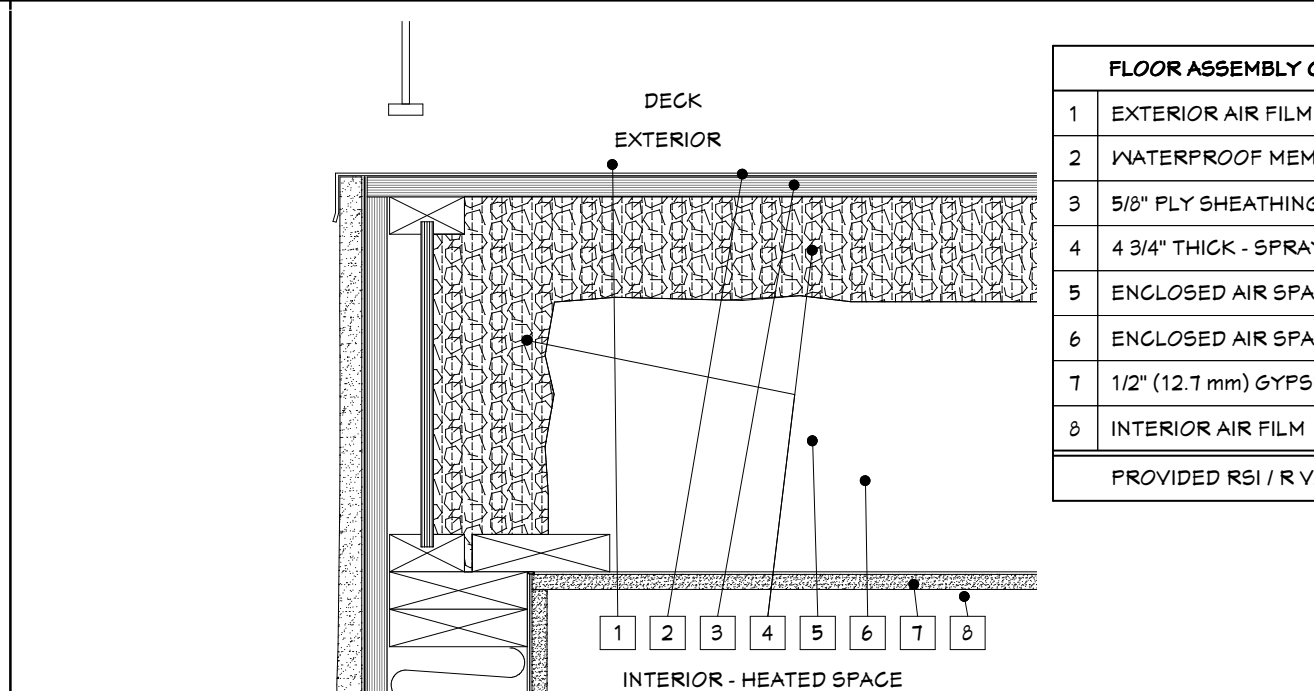
WALL ASSEMBLY - COMPONENTS			RSI	R
1	INTERIOR AIR FILM		0.12	0.68
2	FINISH - 1 COAT LATEX PRIMER AND LATEX PAINT		0.00	0.00
3	1/2" (12.7 mm) GYPSUM BOARD		0.08	0.45
4	POLYETHYLENE		0.00	0.00
5	2x6 FRAMING @ 24" O.C. - FILLED WITH R22 BATT INSUL.		2.67	15.16
6	1/2" (12.7 mm) GYPSUM BOARD		0.08	0.45
7	FINISH - 1 COAT LATEX PRIMER AND LATEX PAINT		0.00	0.00
8	EXTERIOR AIR FILM		0.03	0.17
EFFECTIVE RSI / R VALUE OF ENTIRE ASSEMBLY			2.48	16.41

W1-3 WALL ASSEMBLY - HOUSE/GARAGE WALL
2x6@24_R22 INSUL N.T.S.



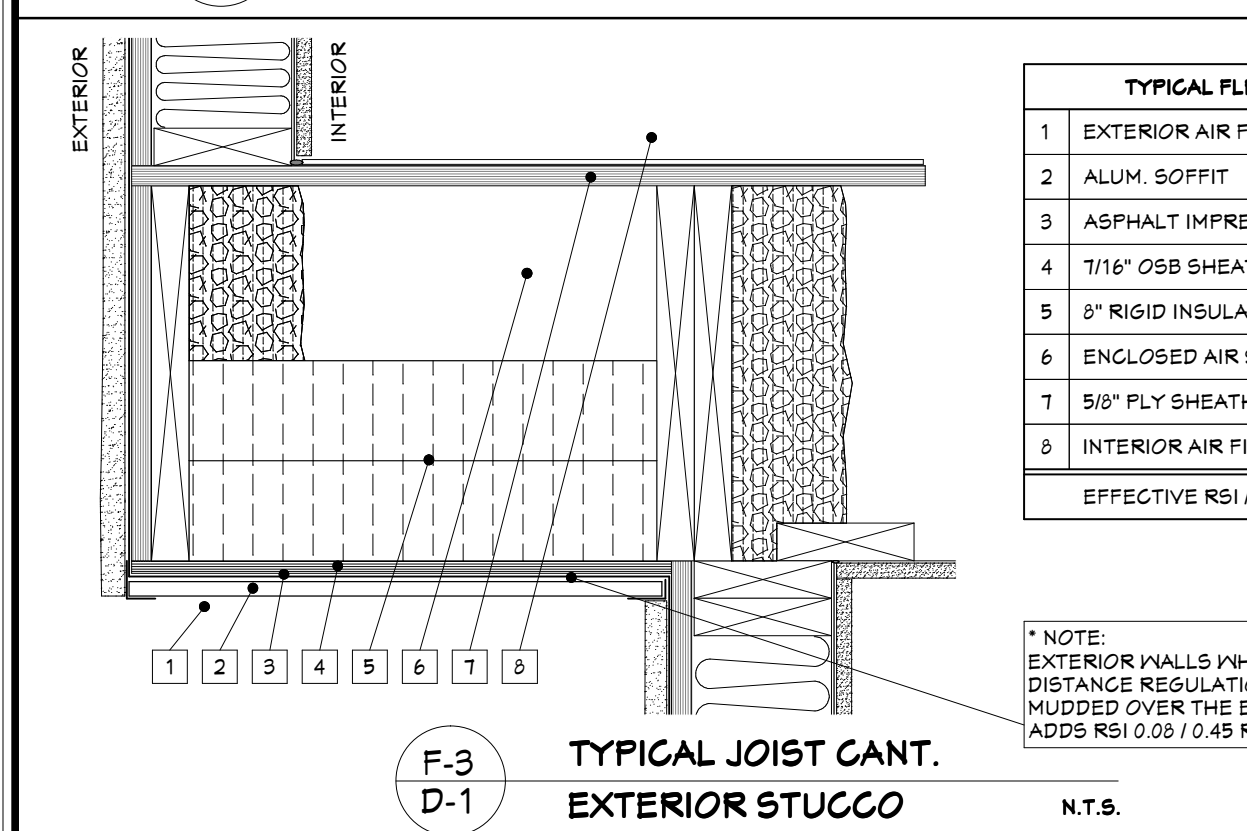
WALL ASSEMBLY - COMPONENTS			RSI	R
1	EXTERIOR AIR FILM		0.00	0.00
2	DAMP PROOFING		0.00	0.00
3	8" CONCRETE FOUNDATION WALL		0.08	0.45
4	2x6 FRAMING @ 24" O.C. - FILLED WITH R22 BATT INSUL.		2.94	16.48
5	POLYETHYLENE		0.00	0.00
6	1/2" (12.7 mm) GYPSUM BOARD		0.08	0.45
7	FINISH - 1 COAT LATEX PRIMER AND LATEX PAINT		0.00	0.00
8	INTERIOR AIR FILM		0.12	0.68
EFFECTIVE RSI / R VALUE OF ENTIRE ASSEMBLY			3.27	18.56

W1-5 WALL ASSEMBLY - 8" CONCRETE WALL
FDTN. WALL AT FINISHED AREAS N.T.S.



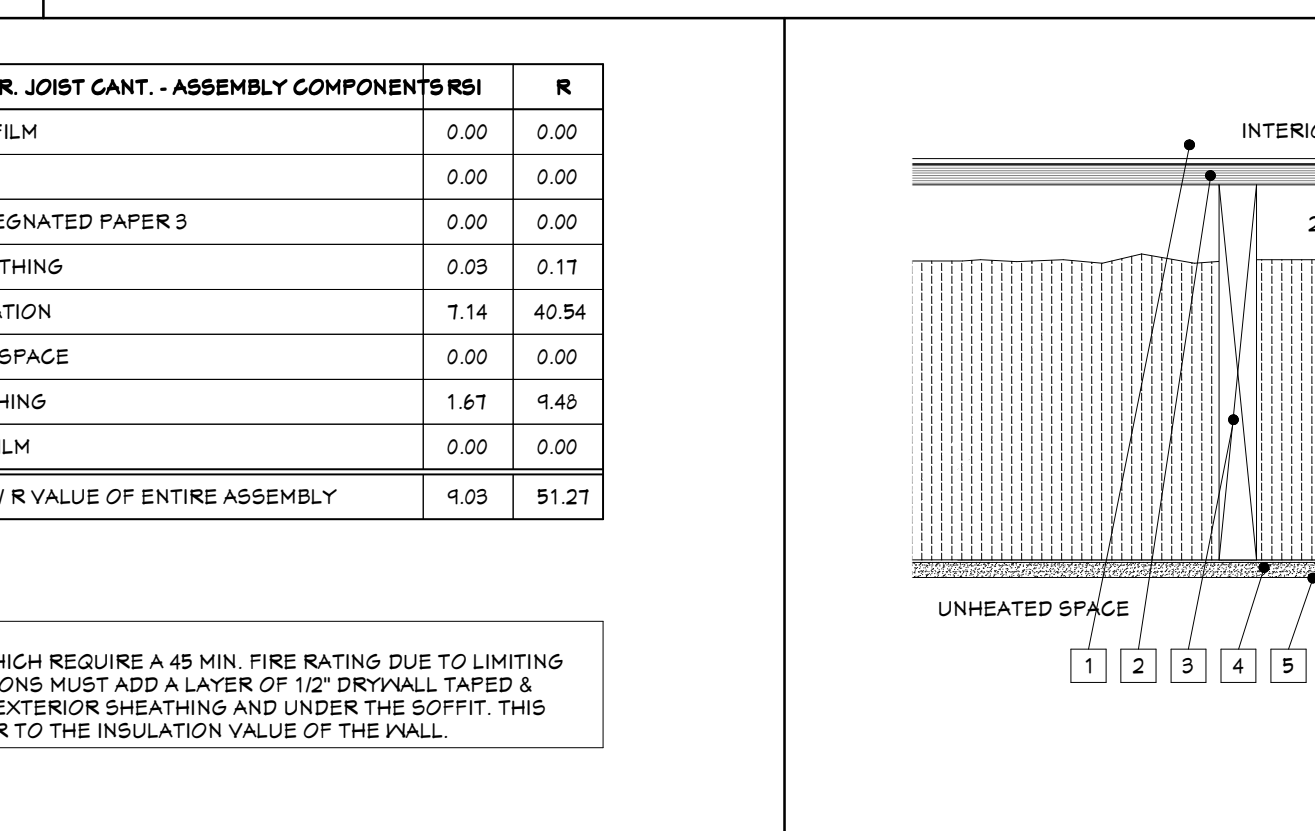
FLOOR ASSEMBLY COMPONENTS			RSI	R
1	EXTERIOR AIR FILM		0.03	0.17
2	WATERPROOF MEMBRANE		0.00	0.00
3	5/8" PLY SHEATHING		0.167	0.95
4	4 3/4" THICK - SPRAYED 2 LB. POLYURETHANE FOAM		4.274	24.30
5	ENCLOSED AIR SPACE		0.00	0.00
6	ENCLOSED AIR SPACE		0.00	0.00
7	1/2" (12.7 mm) GYPSUM BOARD		0.08	0.45
8	INTERIOR AIR FILM		0.12	0.68
PROVIDED RSI / R VALUE OF ENTIRE ASSEMBLY			4.676	26.95

F-9 FLOOR ASSEMBLY - HEATED AREA TO UNHEATED AREA ABOVE (eg. DECK) N.T.S.



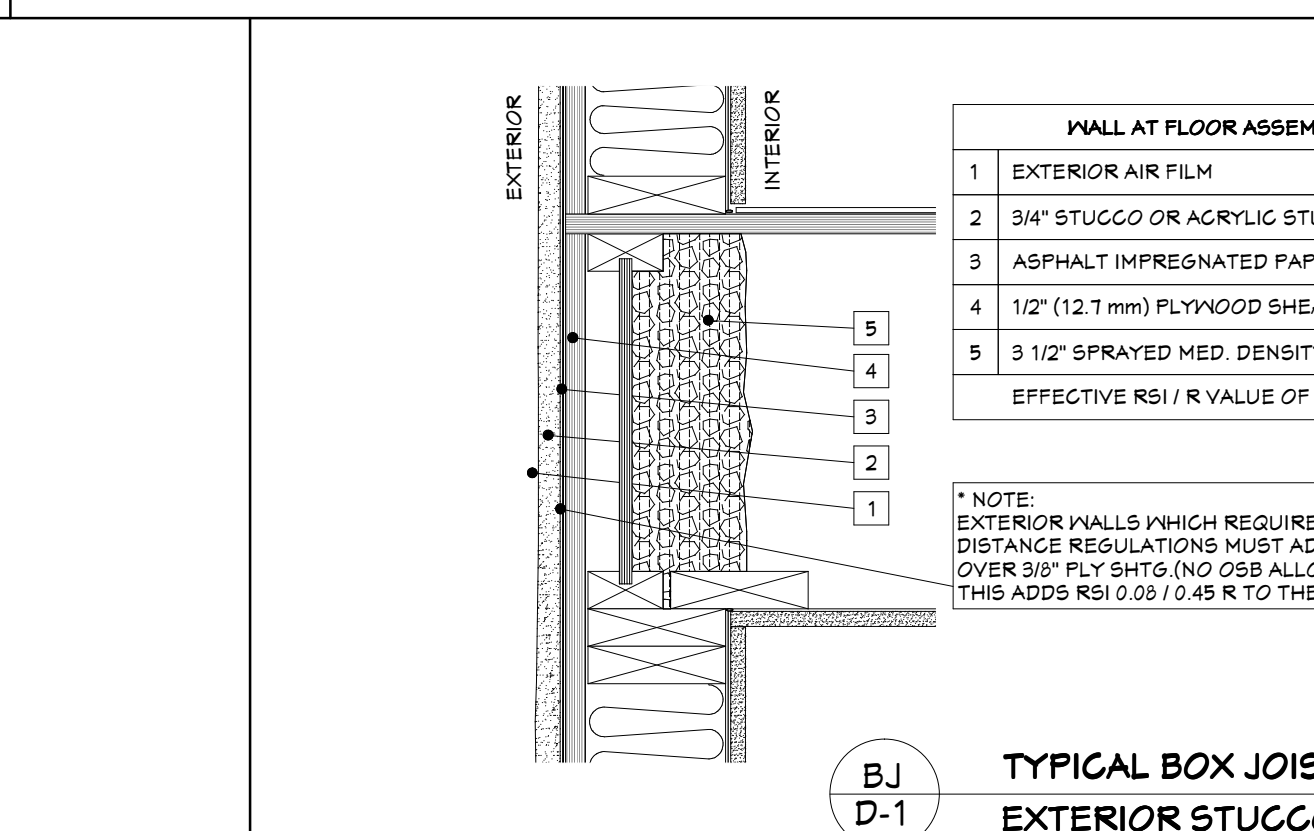
TYPICAL FLR. JOIST CANT. - ASSEMBLY COMPONENTS			RSI	R
1	EXTERIOR AIR FILM		0.00	0.00
2	ALUM. SOFFIT		0.00	0.00
3	ASPHALT IMPREGNATED PAPER 3		0.00	0.00
4	7/16" OSB SHEATHING		0.03	0.17
5	8" RIGID INSULATION		7.14	40.54
6	ENCLOSED AIR SPACE		0.00	0.00
7	5/8" PLY SHEATHING		1.67	9.48
8	INTERIOR AIR FILM		0.00	0.00
EFFECTIVE RSI / R VALUE OF ENTIRE ASSEMBLY			4.03	51.27

F-3 TYPICAL JOIST CANT. EXTERIOR STUCCO N.T.S.



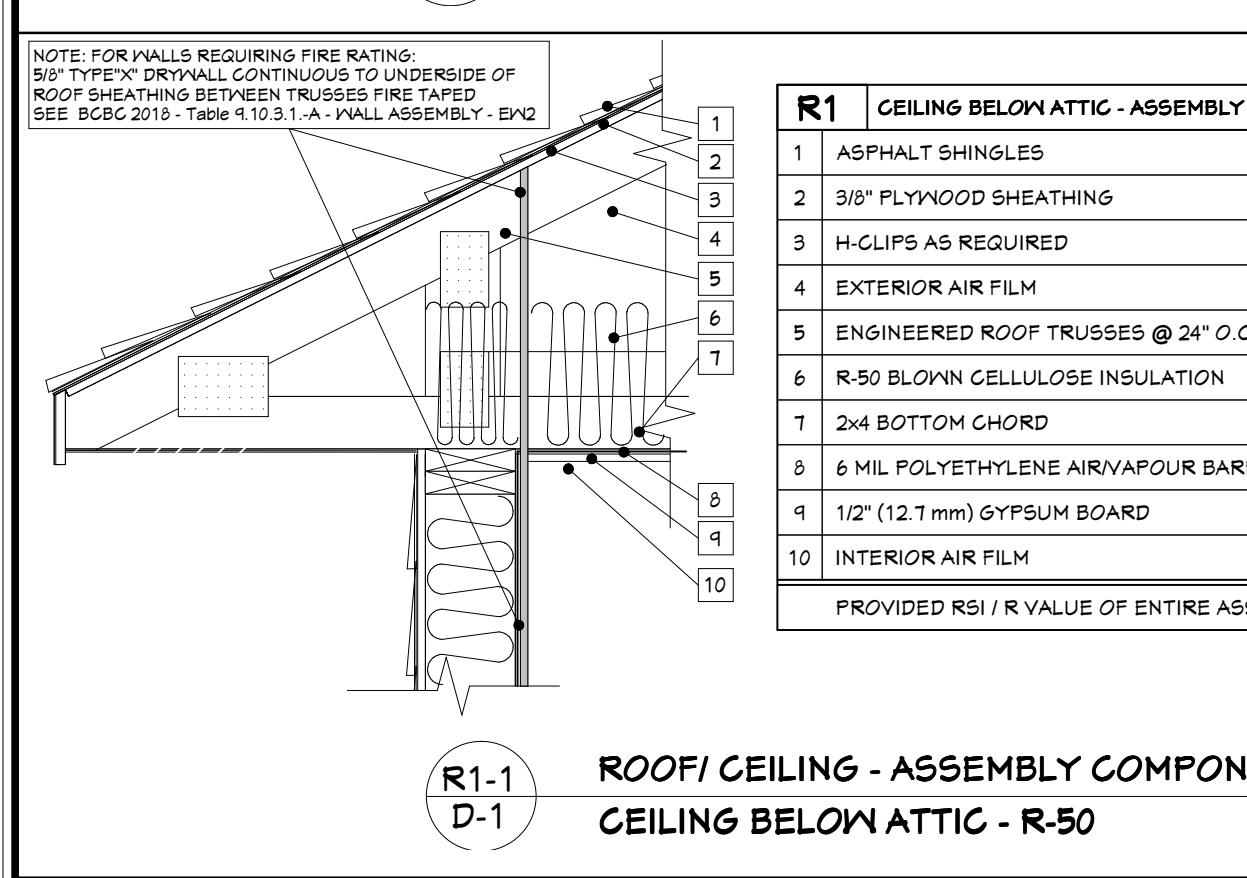
FLOOR ASSEMBLIES OVER HEATED SPACES			RSI	R
1	INTERIOR AIR FILM		0.12	0.68
2	3/4" (19.5 mm) OSB SUBFLOOR		0.18	1.06
3	2x12 (38mm x 286mm) @ 16" O.C. RSI 5.10 (R-24) NOMINAL INSULATION FILLING CAVITY BETWEEN FLOOR JOISTS		4.35	24.70
4	1/2" (12.7 mm) GYPSUM BOARD		0.08	0.45
5	FINISH - 1 COAT LATEX PRIMER AND LATEX PAINT		0.00	0.00
6	EXTERIOR AIR FILM		0.03	0.17
EFFECTIVE RSI / R VALUE OF ENTIRE ASSEMBLY			4.76	27.06

F-8 FLOOR ASSEMBLIES - HEATED SPACES OVER UNHEATED SPACES N.T.S.



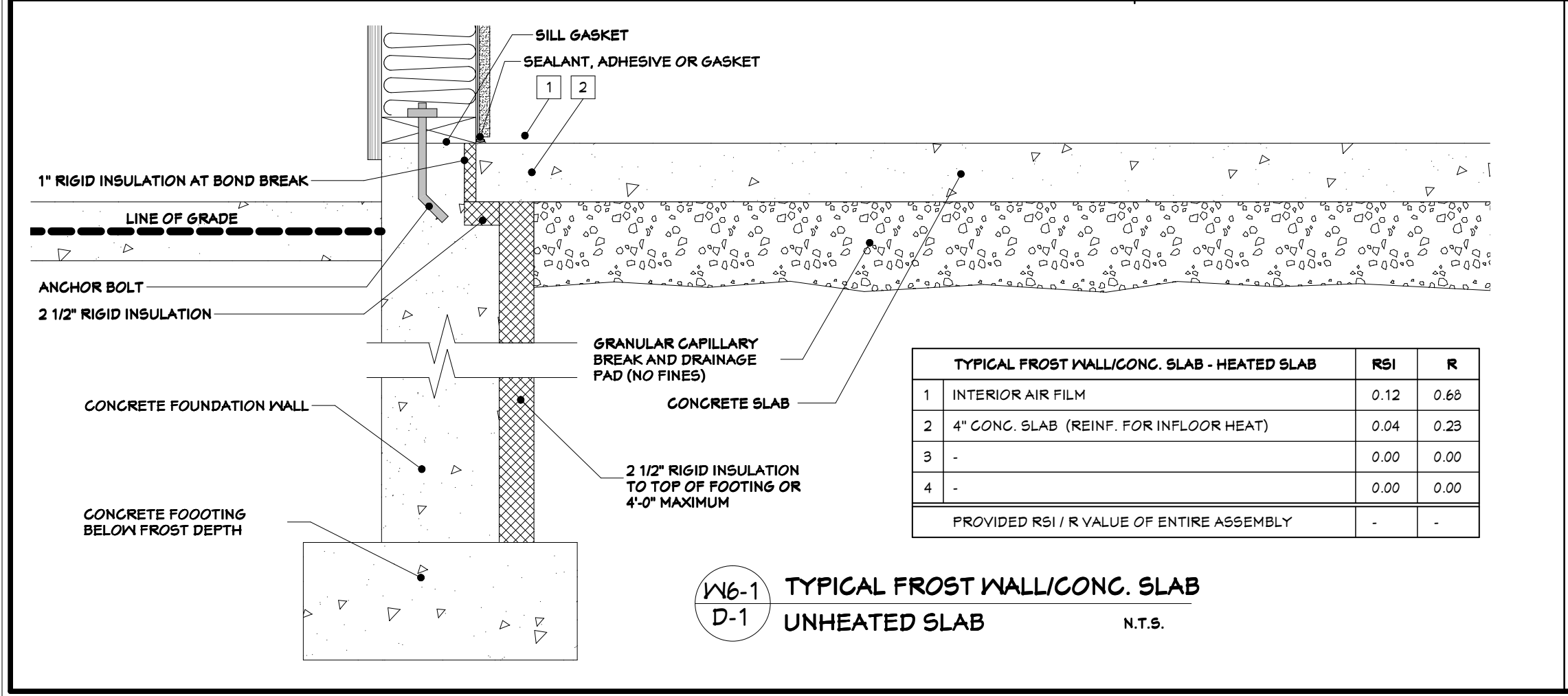
WALL AT FLOOR ASSEMBLY - COMPONENTS			RSI	R
1	EXTERIOR AIR FILM		0.03	0.17
2	3/4" STUCCO OR ACRYLIC STUCCO ON STUCCO WIRE		0.01	0.06
3	ASPHALT IMPREGNATED PAPER 3		0.00	0.00
4	1/2" (12.7 mm) PLYWOOD SHEATHING		0.11	0.62
5	3 1/2" SPRAYED MED. DENSITY POLYURETHANE FOAM		2.48	16.42
EFFECTIVE RSI / R VALUE OF ENTIRE ASSEMBLY			3.13	17.71

B.1 TYPICAL BOX JOIST EXTERIOR STUCCO N.T.S.



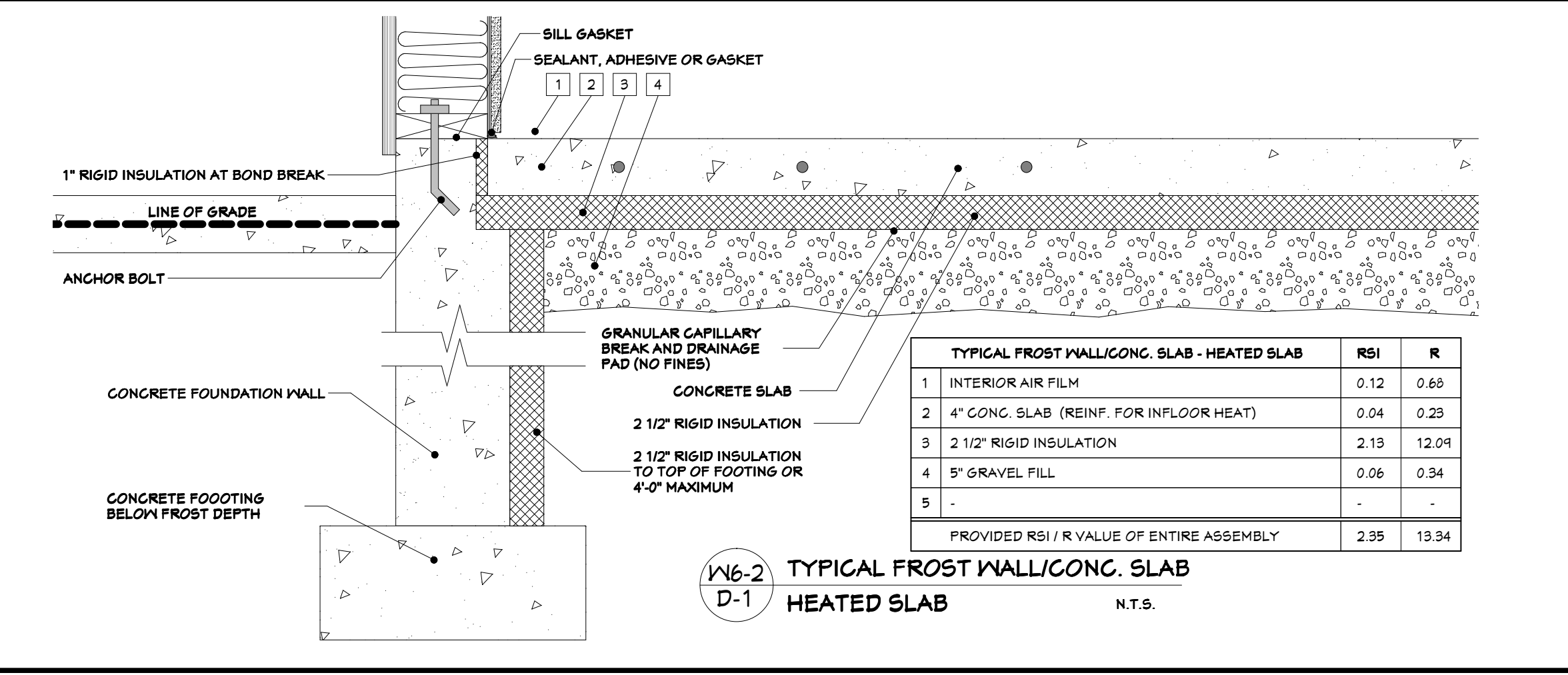
R1 CEILING BELOW ATTIC - ASSEMBLY COMPONENTS			RSI	R
1	ASPHALT SHINGLES		0.00	0.00
2	3/8" PLYWOOD SHEATHING		0.00	0.00
3	H-CLIPS AS REQUIRED		0.00	0.00
4	EXTERIOR AIR FILM		0.03	0.17
5	ENGINEERED ROOF TRUSSES @ 24" O.C.		0.00	0.00
6	R-50 BLOWN CELLULOSE INSULATION		7.14	40.54
7	2x4 BOTTOM CHORD		1.67	9.48
8	6 MIL POLYETHYLENE AIR/VAPOUR BARRIER		0.00	0.00
9	1/2" (12.7 mm) GYPSUM BOARD		0.08	0.45
10	INTERIOR AIR FILM		0.11	0.62
PROVIDED RSI / R VALUE OF ENTIRE ASSEMBLY			4.03	51.27

R1-1 ROOF/CEILING - ASSEMBLY COMPONENTS CEILING BELOW ATTIC - R-50 N.T.S.



TYPICAL FROST WALL/CONC. SLAB - UNHEATED SLAB			RSI	R
1	INTERIOR AIR FILM		0.12	0.68
2	4" CONC. SLAB (REINF. FOR INFLOOR HEAT)		0.04	0.23
3	-		0.00	0.00
4	-		0.00	0.00
PROVIDED RSI / R VALUE OF ENTIRE ASSEMBLY			-	-

W6-1 TYPICAL FROST WALL/CONC. SLAB UNHEATED SLAB N.T.S.



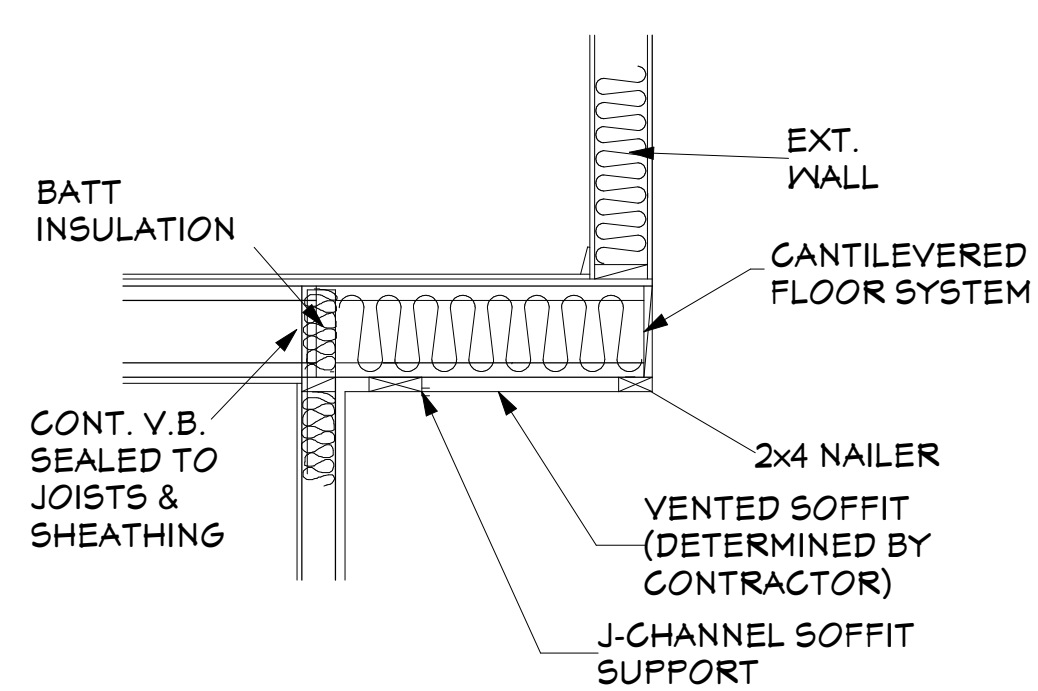
TYPICAL FROST WALL/CONC. SLAB - HEATED SLAB			RSI	R
1	INTERIOR AIR FILM		0.12	0.68
2	4" CONC. SLAB (REINF. FOR INFLOOR HEAT)		0.04	0.23
3	2 1/2" RIGID INSULATION		2.13	12.09
4	5" GRAVEL FILL		0.06	0.34
5	-		-	-
PROVIDED RSI / R VALUE OF ENTIRE ASSEMBLY			2.35	13.34

W6-2 TYPICAL FROST WALL/CONC. SLAB HEATED SLAB N.T.S.

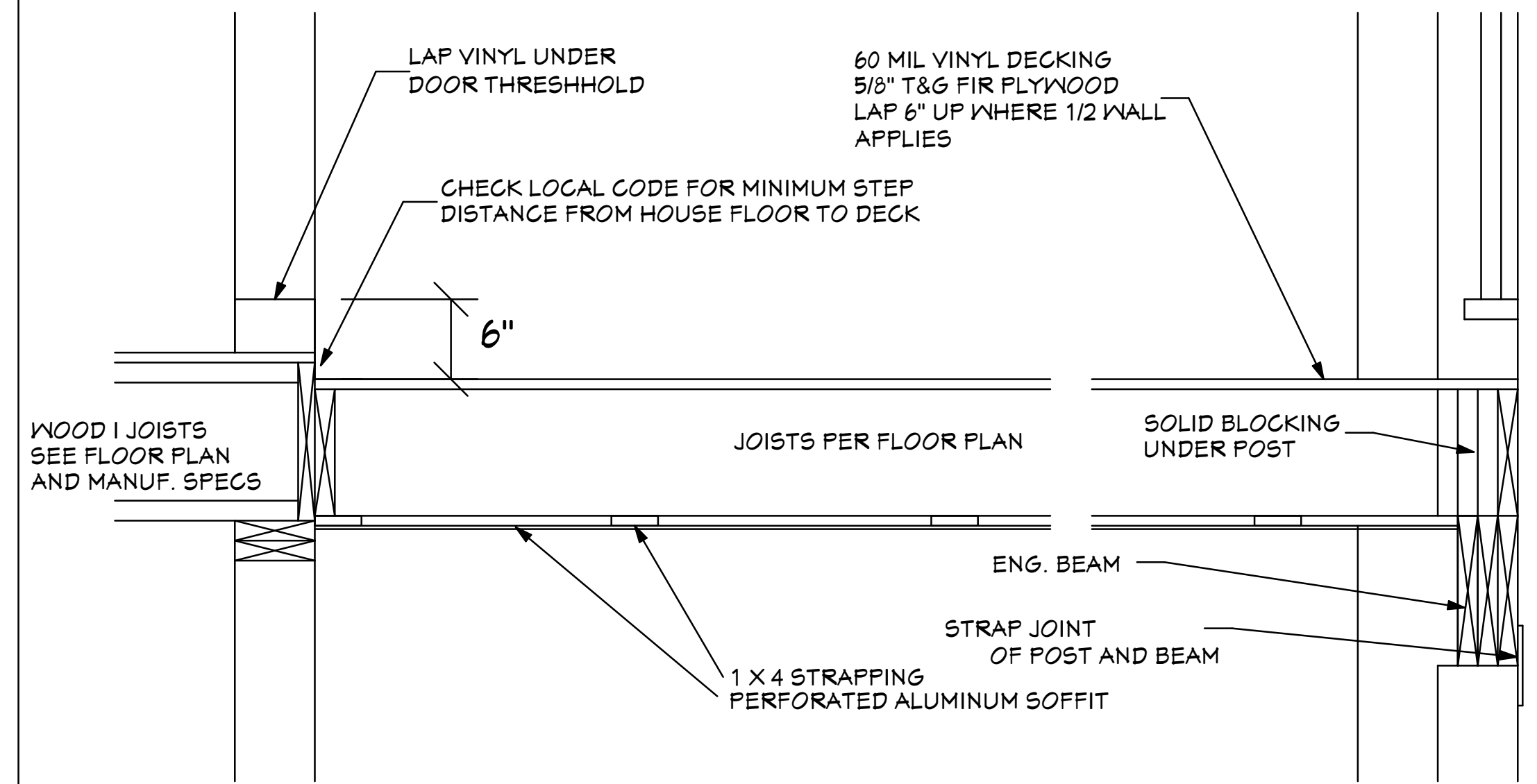
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 Standard Insulation Details - 3/8" OSB_2x6@24_R22 INSUL WITH HRV
 ISSUED - 17/02/2021

PROJECT:
INSULATION REQUIREMENTS WITH HRV
 DRAWING TITLE: **STD. INSULATION DETAILS & CALCULATIONS**
 PAGE: **D-1**
 DATE: 17/02/2021
 JOB #:
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3/8" OSB_2x6@24_R22 INSUL WITH HRV

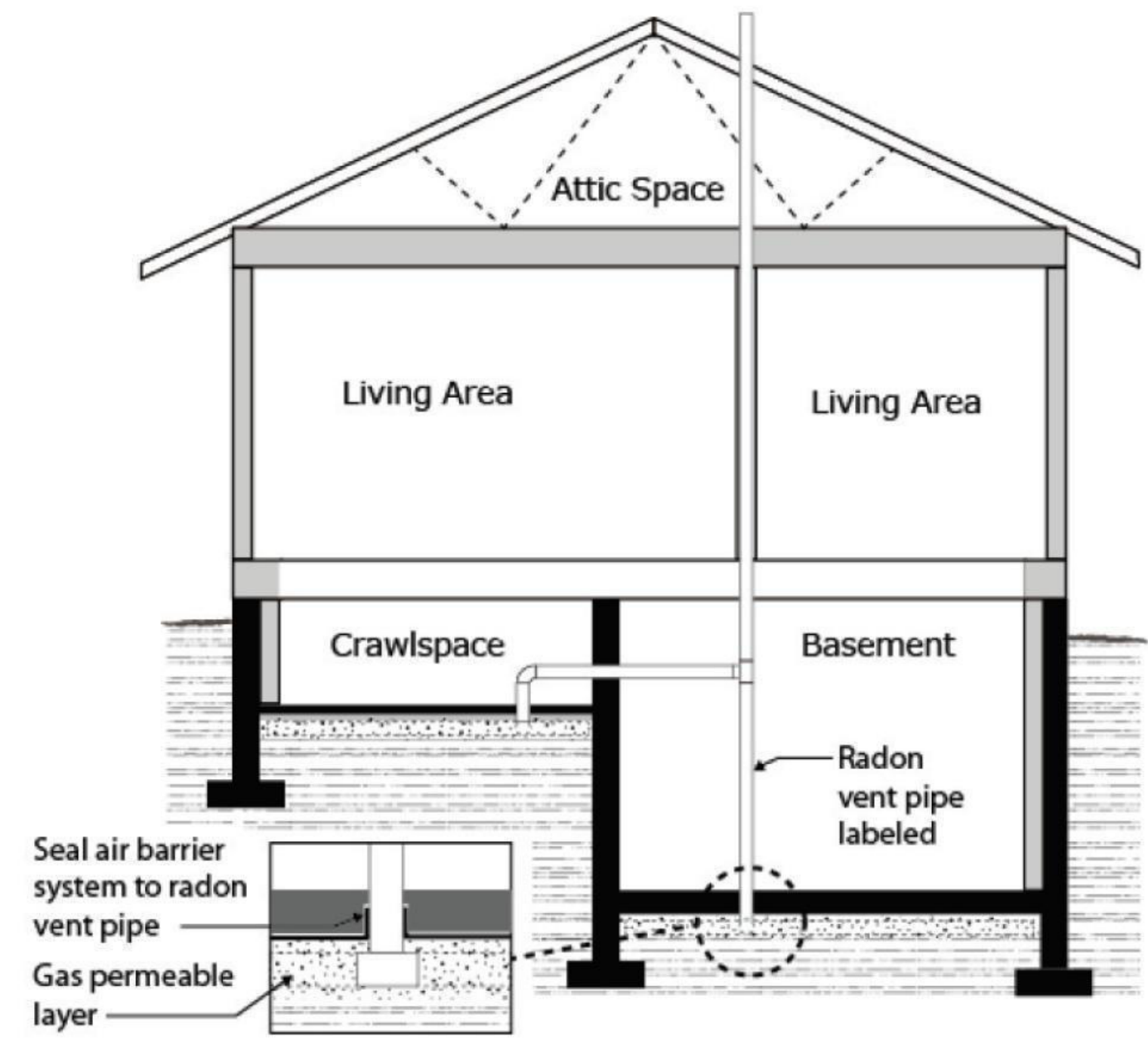


TYPICAL CANTILEVER DETAIL
N.T.S.



DECK DETAIL
N.T.S.

IMPORTANT BUILDING INSULATION AND AIRTIGHTNESS NOTES:
THE BUILDING CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION ASSEMBLIES MEETING THE LOCAL CODE RELATING TO INSULATION STANDARDS.
SEE SHEET D-1 FOR CANADIAN BLDG. CODE INSULATION SPECIFICATION OPTIONS FOR EXTERIOR WALL, FLOOR, ROOF AND FOUNDATION CONSTRUCTION ASSEMBLY DETAILS WHICH SUPERSEDE THE NOMINAL INSULATION VALUES AND ASSEMBLIES NOTED ON THIS PAGE.

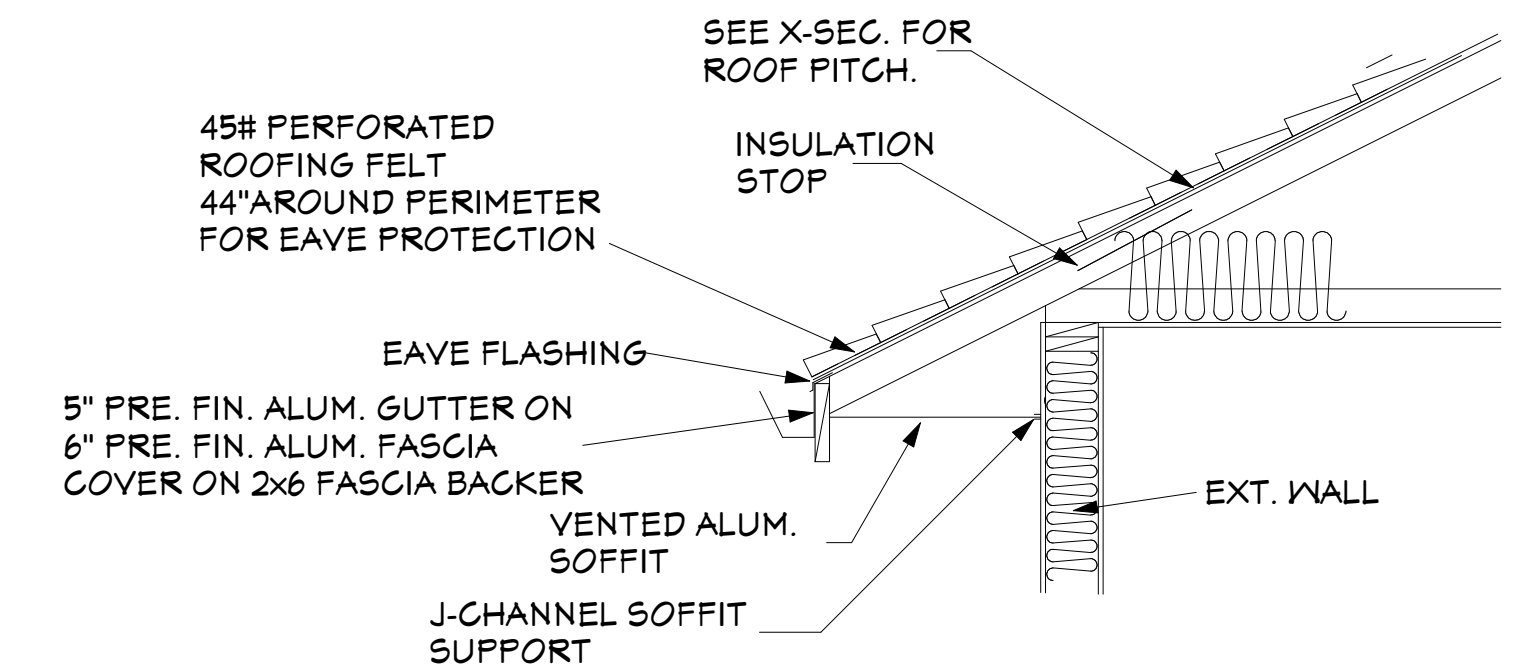


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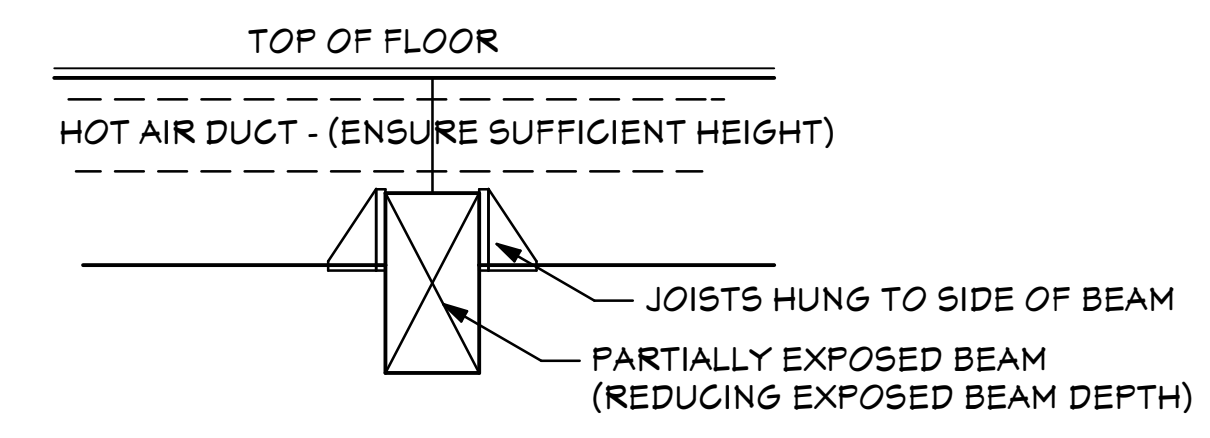
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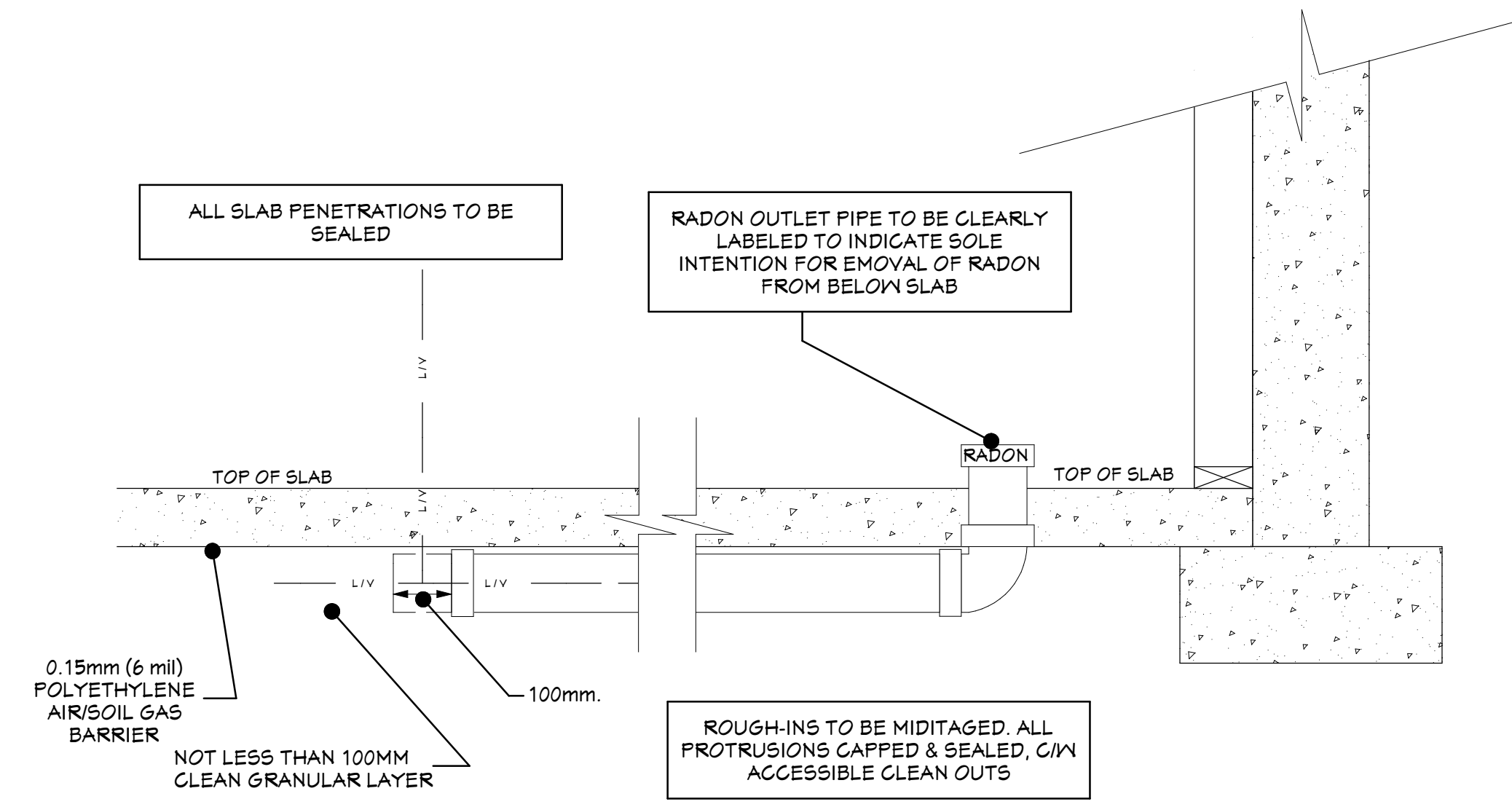
OLD SCHOOL CONSTRUCTION
Cody Deall
Custom Build Homes 250-862-7094
WESTBANK, BC oldschoolconstruction@shaw.ca



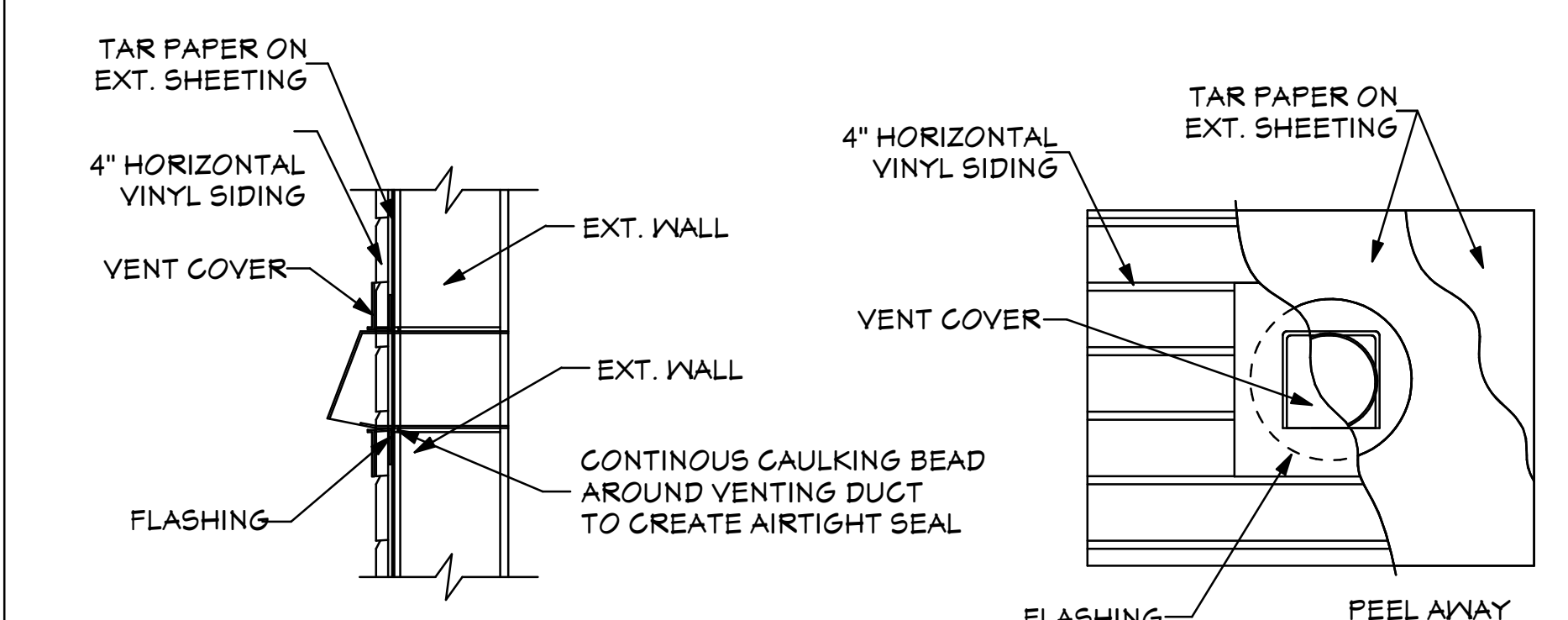
TYPICAL SOFFIT DETAIL
N.T.S.



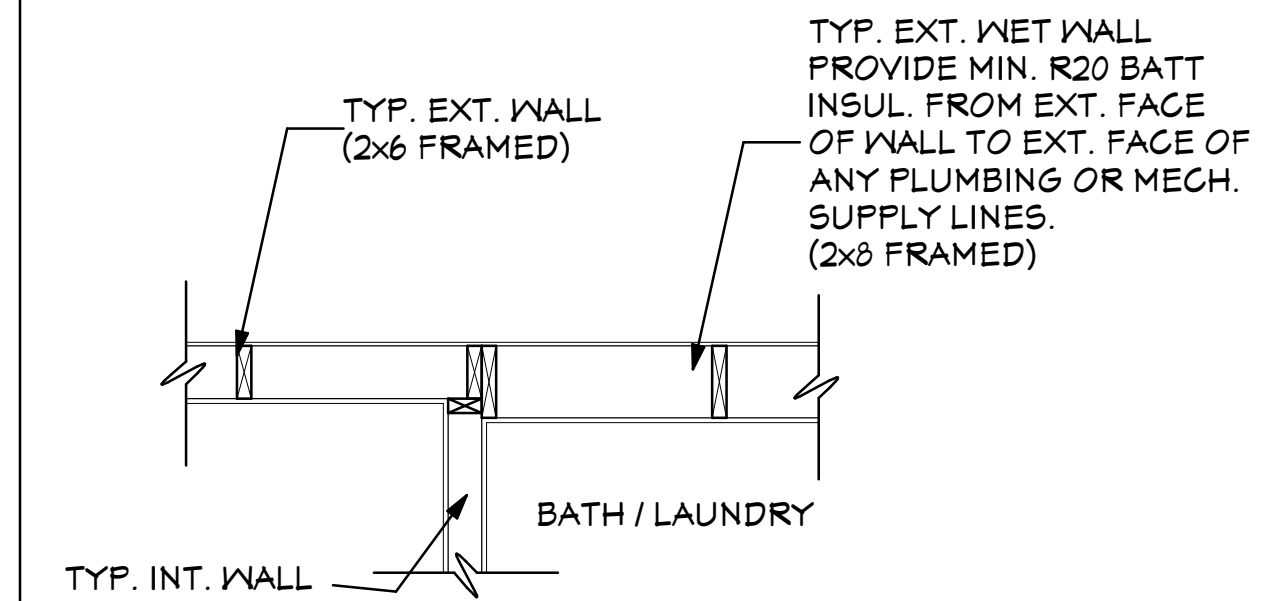
DETAIL - PARTIALLY EXPOSED BEAMS (N.T.S.)



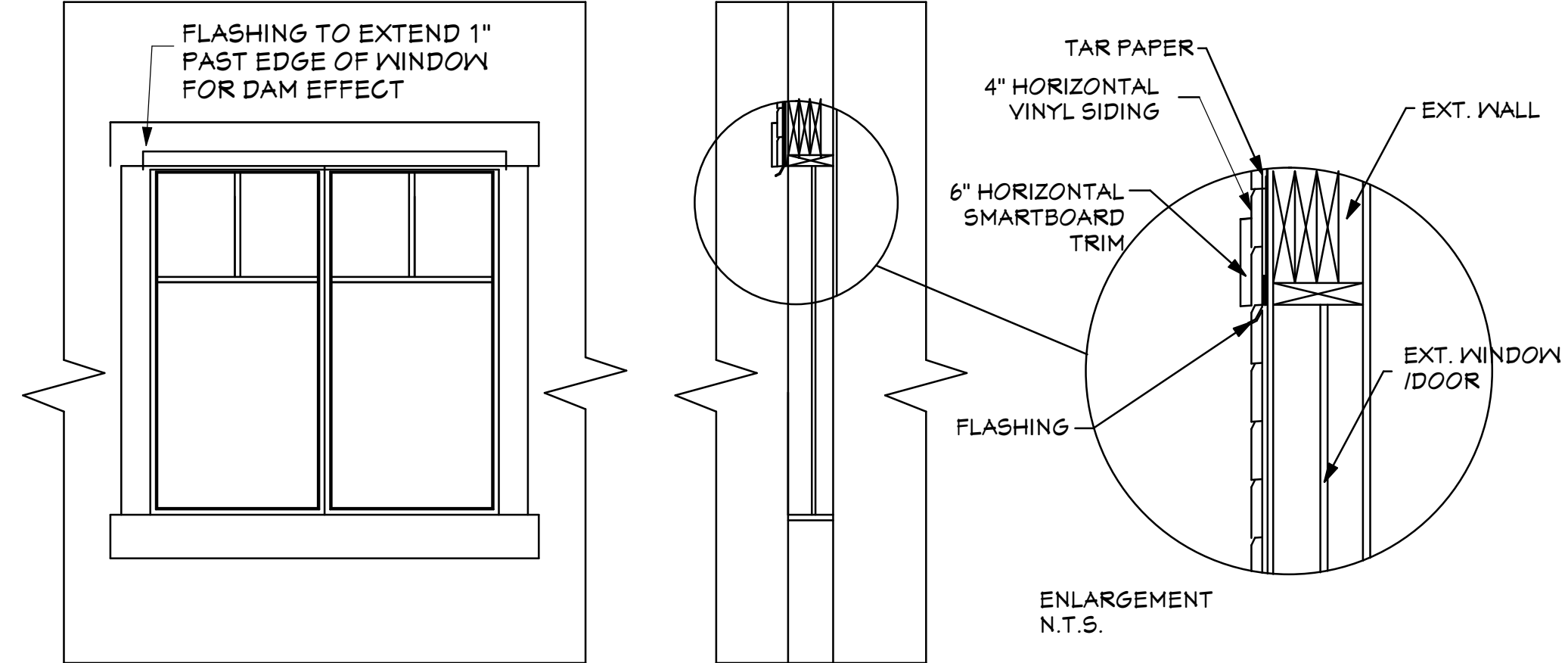
EXTRACTION OPENING IN DEPRESSURIZATION SYSTEM
N.T.S.



TYP. VENTING FLASHING DETAIL
N.T.S.



TYP. EXT. WET WALL DETAIL
N.T.S.



TYPICAL EXTERIOR WINDOW FLASHING DETAIL N.T.S.

EXCITING HOME PLANS
Project # A1611 - Lot 39 Phase 11 Tallus

Lot 39 Tallus Ridge Ph. 11

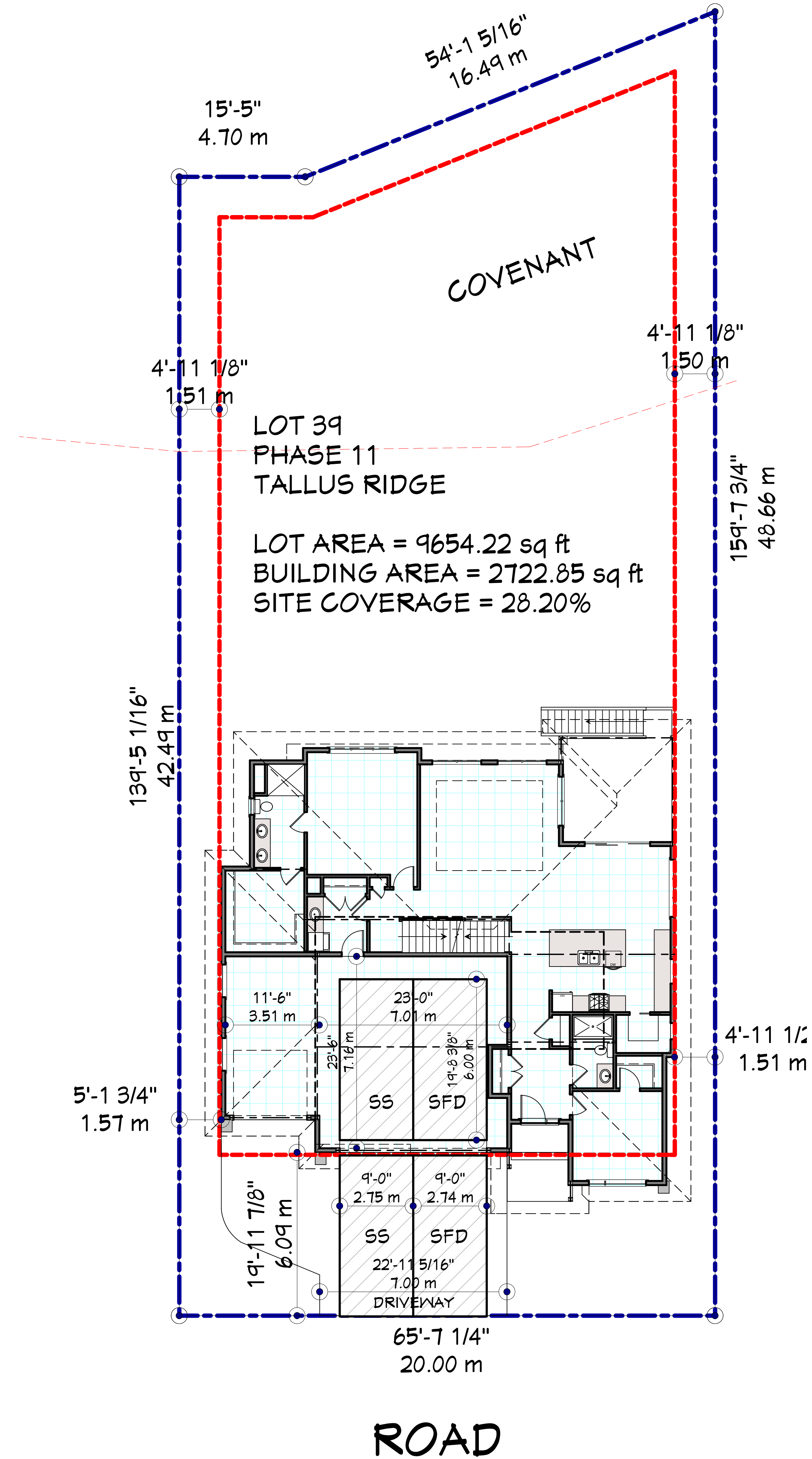
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DRAWING TITLE: DETAILS

PAGE: D2

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Schedule B



**CITY OF WEST KELOWNA
PLANNING DEPARTMENT**

SCHEDULE: 'B'

FILE NO.: DVP 23-08

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**EXCITING
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Project # A1611 - Lot 39 Phase 11 Tallus

Lot 39
Tallus Ridge Ph. 11

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The Tran Residence

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