




*CONSULTING: Change Orders/Requests
A(18/03/2024)- Add Cut/Fill Data & X-Sections

DESIGNER: motakanen design

***BUILDING SYSTEM CONSULT OPTIONS:**
SEE: TALO Build-pcm-MET

| | |
|----|-----------------------------------|
| 01 | ON-SITE WOOD FRAME(STICK) |
| 02 | ELEMENTS |
| 03 | MODULAR |
| 04 | SIPS(STRUCTURAL INSULATED PANELS) |
| 05 | MODERN LOG(HIRSI) |
| 06 | STEEL FRAME |
| 07 | CONCRETE |
| 08 | mot-PB(AKOKS) |
| 09 | POST & BEAM(TIMBER) |



TALO Build-PCM System

PLANNING: In Process
CONSULTING: Pending
MANAGEMENT: Not Applicable
Permits/Revisions/Change Orders-
For Planning Review- 03/06/2021
For Planning Review- 21/07/2021
For Rezone Review- 17/08/2021
For Development Application- 12/10/2021
For Civil Engineer Review- 26/11/2022
For Civil Engineer Review- 09/01/2023
For Civil Engineer Review- 05/02/2023
For Rezone Application- 09/02/2023
For Rezone Application- 17/03/2023
For Rezone Application- 29/05/2023
For Rezone Application- 09/02/2024
*For Rezone Application- 18/03/2024(A)

4-APARTMENT
3-APARTMENT
2-APARTMENT
1-COMMERCIAL

CONCEPTUAL ONLY

motakanen design

**PROJECT RESUME (REZONING FROM RU1 TO CD-
OCP AMENDMENT FROM RURAL RESIDENTIAL TO COMMERCIAL)**

CONSTRUCTION TYPE: COMMERCIAL/RESIDENTIAL
OCCUPANCY TYPE: COMMERCIAL/OFFICE/TOURIST/MULTI-FAMILY
PARCEL IDENTIFIER NO.: 011-646-551
LEGAL DESCRIPTION: DISTRICT LOT: 5017 OSOY00S DIVISION YALE DISTRICT EXCEPT PLAN H14324

PROJECT STREET ADDRESS: 3900 GELLATLY ROAD
WEST KELOWNA, BRITISH COLUMBIA, CANADA

SQUARE FOOTAGES:

| | | |
|----------------------------|---------------------|---------------------------|
| COMMERCIAL(FIRST FLOOR-A): | 6637 SQ. FT. SPACE | UNITS = 6 / STALLS = 50 |
| PARKADE(FIRST FLOOR-B): | 6910 SQ. FT. SPACE | UNITS = 0 / STALLS = (20) |
| RESIDENTIAL(SECOND FLOOR): | 13792 SQ. FT. SPACE | UNITS = 10 / STALLS = 10 |
| RESIDENTIAL(THIRD FLOOR): | 13792 SQ. FT. SPACE | UNITS = 7 / STALLS = 10 |
| RESIDENTIAL(FOURTH FLOOR): | 13792 SQ. FT. SPACE | UNITS = 5 / STALLS = 8 |

COMMERCIAL TOTALS: 6637 SQ. FT. SPACE UNITS = 6 / STALLS = 50
PARKADE TOTALS:(EX UNITS = 0 / STALLS = (20)
RESIDENTIAL TOTALS: 45376 SQ. FT. SPACE UNITS = 22 / STALLS = 28

FLOOR AREA TOTAL: 58923 SQ. FT. SPACE UNITS = 28 / STALLS = 78(20)
-98-
*FAR-
FLOOR AREA TOTAL: 58,923 SQ. FT. FAR = 1.2 FAR = 1.1
PARCEL/LOT AREA TOTAL: 48,648 SQ. FT. (NOT INCLUDING PARKADE)

NOTES:

1. ROOF TRUSS & JOIST DESIGN SHALL BE THE ONLY DEFERRED SUBMITTAL. SEE "B" SECTION.
2. SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE ARCHITECT OF RECORD, WHO SHALL REVIEW THEM and FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED and THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN and SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

LEGAL OWNER:
ROY CABRITA
WEST KELOWNA
BRITISH COLUMBIA
CANADA

ARCHITECTURAL DESIGN:
motakanen design

PLANNING-CONSULTING-MANAGEMENT:
TALO Build
www.talobuild.com

GENERAL CONTRACTOR/BUILDER:

PROPERTY STEWARD:
TALO Build
www.talobuild.com

DATE: _____

SHEET INDEX

- * A1.0 FOUNDATION PLAN, DETAILS & NOTES
- * A1.1 FIRST FLOOR PLAN(COMMERCIAL), DETAILS & NOTES
- * A1.2 SECOND FLOOR PLAN(OFFICE), DETAILS & NOTES
- * A1.3 THIRD FLOOR PLAN(RESIDENTIAL), DETAILS & NOTES
- * A1.4 FOURTH FLOOR PLAN(RESIDENTIAL), DETAILS & NOTES
- A2.1 EXTERIOR ELEVATION, North & East Facing
- A2.2 EXTERIOR ELEVATION, South & West Facing
- A3.1 BUILDING SECTION 1 & NOTES
- A3.2 BUILDING SECTION 2 & NOTES
- * A4.1 ROOF-DRAINAGE PLAN & GENERAL NOTES
- A4.2 TRUSS/JOIST PLAN & NOTES
- A5.1 SITE PLAN(FP)
- A5.2 LEGAL PLAN
- A5.3 SITE, DRAINAGE & LANDSCAPE PLAN(FC)
- A6 REFLECTED CEILING PLAN C/W ELECTRICAL
- A7 HVAC & PLUMBING PLAN C/W SPECIFICATIONS
- B1 STRUCTURAL ENGINEER DRAWINGS, DETAILS & NOTES
- B2 TRUSS MANUFACTURER DRAWINGS & NOTES
- B3 FLOOR JOIST MANUFACTURER DRAWINGS & NOTES
- B4 INTERIOR FLOOR MATERIAL PLANS & NOTES
- B5 KITCHEN PLAN, DETAILS & NOTES
- B6 CABINETS PLAN, DETAILS & NOTES
- B7 SECURITY SYSTEM DRAWINGS, DETAILS & NOTES
- C1 ENERGY COMPLIANCE FORMS
- C2 INTERIOR MATERIAL LIST & COLOUR BOARD
- C3 EXTERIOR MATERIAL LIST & COLOUR BOARD
- D1 RENDERINGS
- D2 PERSPECTIVES & 3D PLAN
- D3 ANIMATION & VISUALIZATION PLAN
- E1 CIVIL ENGINEER DRAWINGS, DETAILS & NOTES
- E2 LEGAL SURVEY
- E3 GEOTECHNICAL ENGINEER DRAWINGS, DETAILS & NOTES
- M1-7 mot-DS STANDARDS, DETAILS & NOTES SHEET

GELLATLY BENCH

*TALO Build [Rezone] Sequence- West Kelowna
CD13 - COMPREHENSIVE DEVELOPMENT ZONE
FSR = See CTQ Consultants

FOR REZONING

***UPDATED: 18/03/2024**

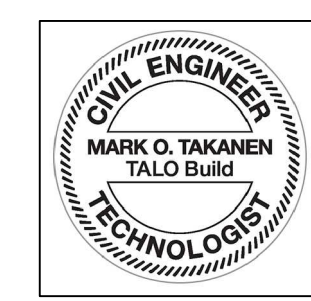
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ESTA ESTRUCTAMENTE PROHIBIDOS CUALQUIER REPRODUCCION O MODIFICACION
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ARCHIVOS Y QUALQUIER INFORMACION. DISPONIBLE 24/7.

TIER: 2

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TÄMÄ PIIRUSTUS ON "TALO Buildin" OMISTAMA.
JÄLJENNÖKSIA TAI MUUTOKSIA ON KIELLETTY.
KONTAKTA "TALO Build" FOR DESIGN-ELLER RITNINGSFILER
TAVOITETTAVISSA 24/7.

RITNINGEN ÄGS AV "TALO Build".
KÖPIERING ELLER ÄNDRINGAR ÄR FORBJUDET.
KONTAKTA "TALO Build" FOR DESIGN-ELLER RITNINGSFILER
VID PROBLEM ELLER FRÅGOR. ANTRÄFFBAR 24/7.



GELLATLY BENCH - COVER

CLIENT APPROVAL SIGNATURE: _____

CLIENT NAME(PRINT): _____

DATE: _____

*TB-CHANGE ORDERS REQUIRED FOR ALL/ANY CHANGES AFTER THIS DATE-

DESIGNER: **motakanen design**

- LEGEND:**
- 2x6 STUDS at 16" o.c. w/ R-21 FIBERGLASS BATT INSULATION.
 - 2x8 STUDS at 12" o.c. w/ R-21 FIBERGLASS BATT INSULATION.
 - 2x6 STUDS at 16" o.c. w/ NO FIBERGLASS BATT INSULATION.
 - 2x4 STUDS at 16" o.c. w/ NO FIBERGLASS BATT INSULATION.
 - STRUCTURAL BEAMS
 - 2x4 STUDS at 16" o.c. w/ NO FIBERGLASS BATT INSULATION. (EXISTING)
 - OVERLAY OR ABOVE/BELOW EDGE DELINEATION

- POST & BEAM SCHEDULE:**
- 3 PLY 2"x10"/2"x12" BEAM
 - 4"x8" TIMBER/ENGINEERED GLUE LAM BEAM
 - 6"x6"/8"x8" TIMBER POST
 - 4"x6"/4"x8" TIMBER PILASTER(NON-STRUCTURAL)
 - 3 PLY 2"x6"/2"x8" WALL POST
 - BLOCKING FOR 6"x6" TIMBER POST

- NOTES:**
1. DIMENSIONS SHOW TRUE SPANS ONLY. DENOTED BY: **23'-6"**
 2. ALL HEADERS 2-PLY 2x10 SPF #2 UNLESS OTHERWISE NOTED.
 3. ATTIC OPENINGS & LOCATIONS TO BE PROVIDED BY OTHERS.

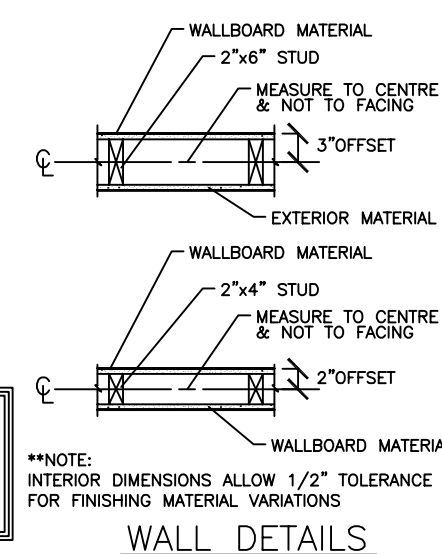
NOTES:

1. ALL DIMENSIONS ARE TO FACE OF DRYWALL or TO CENTERPOINT OF DOOR or WINDOW ROUGH OPENING.
2. PROVIDE 1 NON-FREEZEABLE HOSE BIB at EACH SIDE of HOUSE (MIN. of 4 LOCATIONS).
3. FOR ADDITIONAL NOTES THAT MAY REFER TO THIS PLAN - SEE GENERAL NOTES ON SHEET AS.
4. ONLY METALLIC PIPING MAY PENETRATE THE WALL BETWEEN THE GARAGE and INTERIOR LIVING SPACES.
5. WALLS ARE DELINEATED 4" WIDE or 6" WIDE.

====NOTE TO FRAMERS====

INTERIOR WALLS TO BE FRAMED USING 2"+/- OFFSET & EXTERIOR WALLS TO BE FRAMED USING 3"+/- OFFSET FROM WALL FACING TO CENTRE POINT TO COMPENSATE FOR FACING MATERIAL NOT SPECIFIED IN THE "GYPSUM SCHEDULE" ON SHEET HEREON.

*ALL ANGLES ARE 45° OR 22.5°



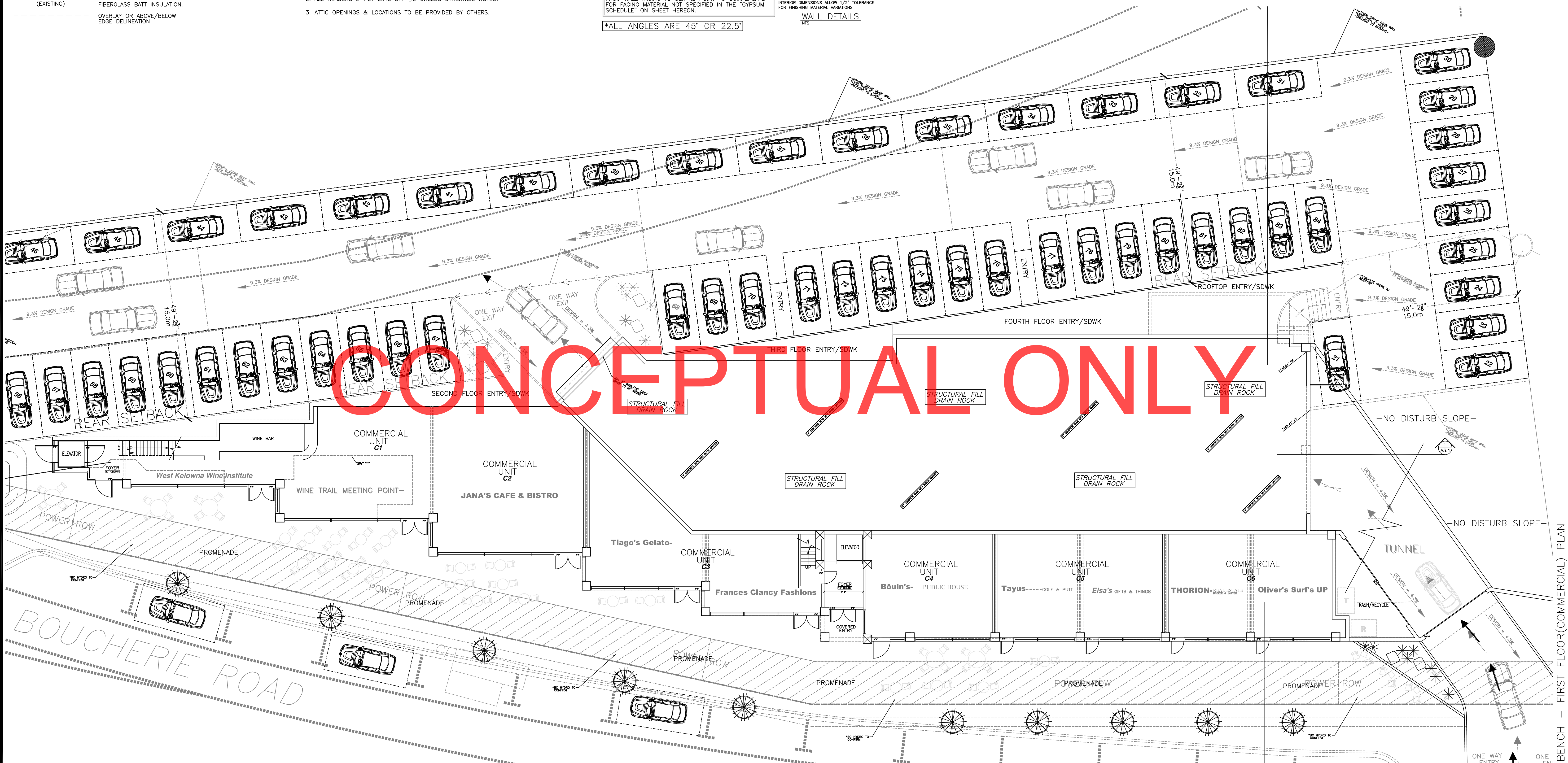
- INDICATES DUPLEX CONVENIENCE OUTLET at +12" U.O.N. (CS INDICATES GROUND FAULT PROTECTED) (WP INDICATES WATERPROOF COVER ON GROUND FAULT PROTECTED OUTLET) (F INDICATES FLOOR MOUNT)
- INDICATES TELEPHONE OUTLET at +12" U.O.N.
- INDICATES CABLE TV OUTLET at +12" U.O.N.
- INDICATES QUADPLEX CONVENIENCE OUTLET at HEIGHT AS INDICATED ON PLANS.
- INDICATES PLUMBING HOSE BIB.
- ALL CLOSETS 2' DEEP
- AREA DRAIN

ELECTRICIAN TO DETERMINE LOCATIONS ONSITE

GYPSUM SCHEDULE

| No. | Fire Rating | Ref. | Design No. | Description |
|-----|-------------|------|------------|--|
| 1 | 45 min. | UL | U317 | 1/2"(12.7mm)Fire-Shield C Gypsum Wallboard noted both sides 2 x 4(38 mm x 89 mm) studs, 16"o.c. (406 mm) |

- *RECOMMENDATION 1: TO BE USED ON ALL WALLS & CEILINGS.
- *RECOMMENDATION 2: NO TAPING, PRIME & BATTEN(REFIN-AA)



FIRST FLOOR PLAN(COMMERCIAL)
 FLOOR AREA = 6637 SQ. FT.
 TOTAL UNITS = 6

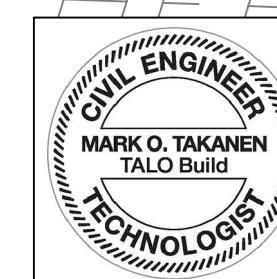
GELLATLY BENCH

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RITNINGEN ÄGS AV "TALO Build". KÖPIERING ELLER ÄNDRINGAR ÄR FORBJUDET. KONTAKTA "TALO Build" FOR DESIGN-ELLER RITNINGSFILER VID PROBLEM ELLER FRÅGOR. ANTRÄFFBAR 24/7.

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| | | |
|--------------------------------|--|--|
| PLANNING-CONSULTING-MANAGEMENT | TALO Build 2895 Lakeview Cove Road West Kelowna, CANADA, V1Z 4A1 +1.778.654.2771 info@talobuild.com www.talobuild.com | Scale 3/32"=1' Date FEBRUARY-24 Sheet A1.1 Design MOT Drawn MOT |
|--------------------------------|--|--|

SUPERSEDES PRINTS OF THIS NUMBER WITH LETTERS PREVIOUS TO **C**

CLIENT APPROVAL SIGNATURE: _____

CLIENT NAME(PRINT): _____

DATE: _____

*TB-CHANGE ORDERS REQUIRED FOR ALL/ANY CHANGES AFTER THIS DATE-

DESIGNER: **motakanen design**

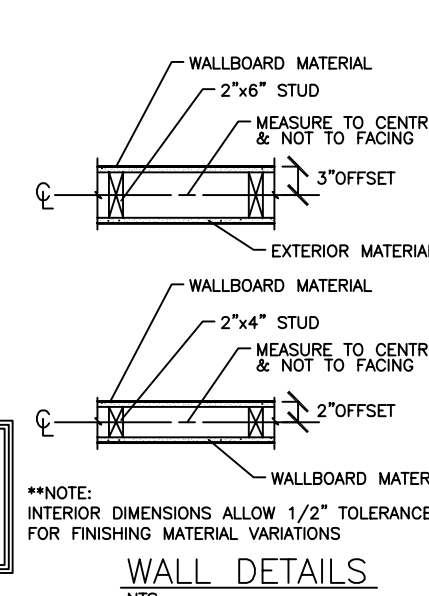
- LEGEND:**
- 2x6 STUDS at 16" o.c. w/ R-21 FIBERGLASS BATT INSULATION.
 - 2x8 STUDS at 12" o.c. w/ R-21 FIBERGLASS BATT INSULATION.
 - 2x6 STUDS at 16" o.c. w/ NO FIBERGLASS BATT INSULATION.
 - 2x4 STUDS at 16" o.c. w/ NO FIBERGLASS BATT INSULATION.
 - STRUCTURAL BEAMS
 - 2x4 STUDS at 16" o.c. w/ NO FIBERGLASS BATT INSULATION. (EXISTING)
 - OVERLAY OR ABOVE/BELOW EDGE DELINEATION

- POST & BEAM SCHEDULE:**
- 3 PLY 2"x10"/2"x12" BEAM
 - 4"x8" TIMBER/ENGINEERED GLUE LAM BEAM
 - 6"x6"/8"x8" TIMBER POST
 - 4"x6"/4"x8" TIMBER PILASTER(NON-STRUCTURAL)
 - 3 PLY 2"x6"/2"x8" WALL POST
 - BLOCKING FOR 6"x6" TIMBER POST

- NOTES:**
1. DIMENSIONS SHOW TRUE SPANS ONLY. DENOTED BY: 23'-6"
 2. ALL HEADERS 2-PLY 2x10 SPF #2 UNLESS OTHERWISE NOTED.
 3. ATTIC OPENINGS & LOCATIONS TO BE PROVIDED BY OTHERS.

- NOTES:**
1. ALL DIMENSIONS ARE TO FACE OF DRYWALL or TO CENTERPOINT OF DOOR or WINDOW ROUGH OPENING.
 2. PROVIDE 1 NON-FREEZEABLE HOSE BIB AT EACH SIDE OF HOUSE (MIN. of 4 LOCATIONS).
 3. FOR ADDITIONAL NOTES THAT MAY REFER TO THIS PLAN - SEE GENERAL NOTES ON SHEET AS.
 4. ONLY METALLIC PIPING MAY PENETRATE THE WALL BETWEEN THE GARAGE and INTERIOR LIVING SPACES.
 5. WALLS ARE DELINEATED 4" WIDE or 6" WIDE.

====NOTE TO FRAMERS====
 INTERIOR WALLS TO BE FRAMED USING 2"+/- OFFSET & EXTERIOR WALLS TO BE FRAMED USING 3"+/- OFFSET FROM WALL FACING TO CENTRE POINT TO COMPENSATE FOR FACING MATERIAL NOT SPECIFIED IN THE "GYPSUM SCHEDULE" ON SHEET HEREON.
 **NOTE: INTERIOR DIMENSIONS ALLOW 1/2" TOLERANCE FOR FINISHING MATERIAL VARIATIONS



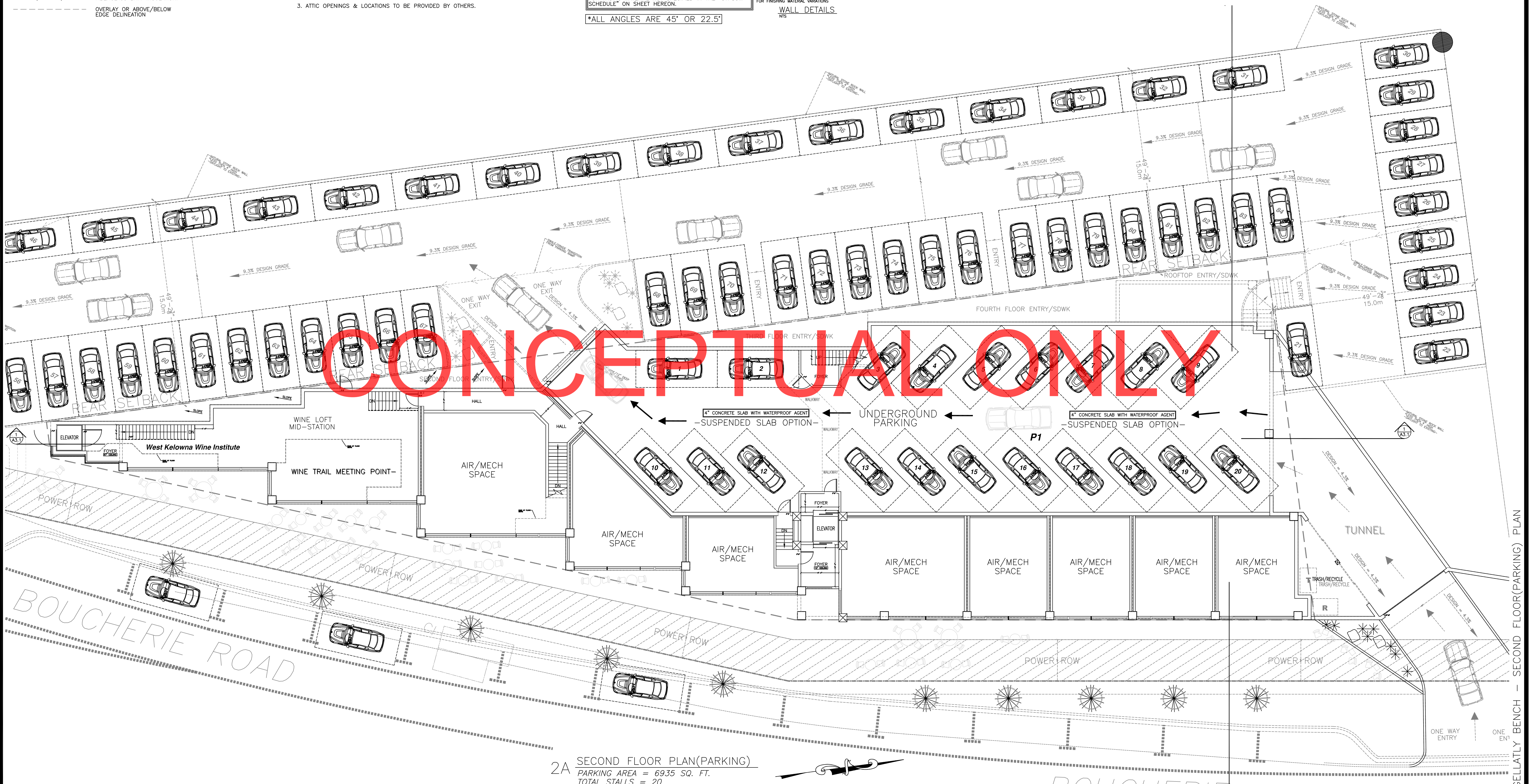
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- INDICATES CABLE TV OUTLET at +12" U.O.N.
- INDICATES QUADPLEX CONVENIENCE OUTLET at HEIGHT AS INDICATED ON PLANS.
- INDICATES PLUMBING HOSE BIB.
- ALL CLOSETS 2' DEEP
- AREA DRAIN

ELECTRICIAN TO DETERMINE LOCATIONS ONSITE

GYPSUM SCHEDULE

| No. | Fire Rating | Ref. | Design No. | Description |
|-----|-------------|---------|------------|--|
| 1 | 45 min. | UL U317 | | 1/2"(12.7mm)Fire-Shield Gypsum Wallboard rated both sides 2 x 4(38 mm x 89 mm) studs, 16"o.c. (406 mm) |

*RECOMMENDATION 1: TO BE USED ON ALL WALLS & CEILING.
 *RECOMMENDATION 2: NO TAPING, PRIME & BATTEN(REFIN-AA)



2A SECOND FLOOR PLAN(PARKING)
 PARKING AREA = 6935 SQ. FT.
 TOTAL STALLS = 20

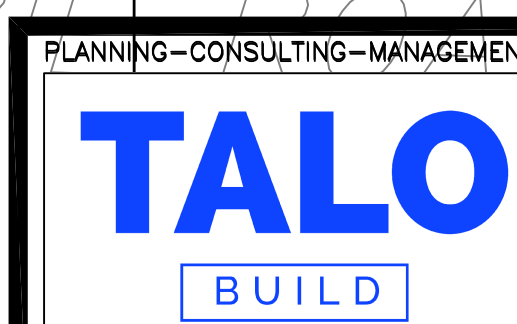
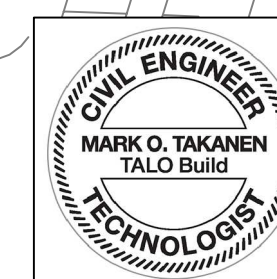
GELLATLY BENCH

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TÄMÄ PIIRUSTUS ON "TALO Buildin" OMISTAMA. JÄLJENNOKSIÄ TAI MUUTOKSIA ON KIELLETTY. KONTAKTA "TALO Build" FOR DESIGN-ELLER RITNINGSFILER VID PROBLEM ELLER FRÅGOR. ANTRÄFFBAR 24/7.

RITNINGEN ÄRS AV "TALO Build". KÖPIERING ELLER ÄNDRINGAR ÄR FORBJUDET. KONTAKTA "TALO Build" FOR DESIGN-ELLER RITNINGSFILER VID PROBLEM ELLER FRÅGOR. ANTRÄFFBAR 24/7.

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| | SECOND FLOOR(PARKING) PLAN | Date FEBRUARY-24 |
| | | Sheet A1.2A |
| | | Design MOT |
| | | Drawn MOT |

SUPERSEDES PRINTS OF THIS NUMBER WITH LETTERS PREVIOUS TO **D**

LEGEND:

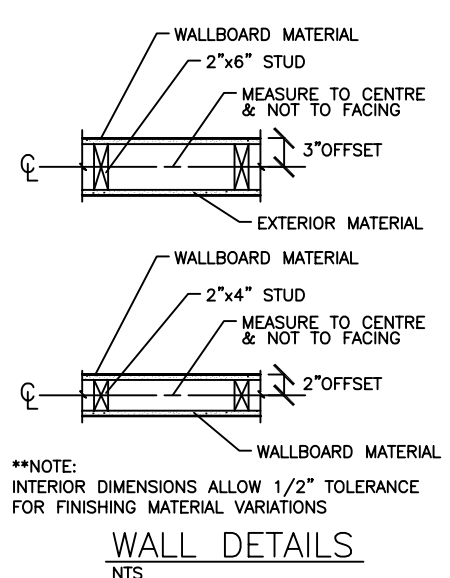
| | |
|--|--|
| | 2x6 STUDS at 16" o.c. w/ R-21 FIBERGLASS BATT INSULATION. |
| | 2x8 STUDS at 12" o.c. w/ R-21 FIBERGLASS BATT INSULATION. |
| | 2x6 STUDS at 16" o.c. w/ NO FIBERGLASS BATT INSULATION. |
| | 2x4 STUDS at 16" o.c. w/ NO FIBERGLASS BATT INSULATION. |
| | STRUCTURAL BEAMS |
| | 2x4 STUDS at 16" o.c. w/ NO FIBERGLASS BATT INSULATION. (EXISTING) |
| | OVERLAY OR ABOVE/BELOW EDGE DELINEATION |

POST & BEAM SCHEDULE:

| | |
|--|---|
| | 3 PLY 2"x10"/2"x12" BEAM |
| | 4"x8" TIMBER/ENGINEERED GLUE LAM BEAM |
| | 6"x6"/8"x8" TIMBER POST |
| | 4"x6"/4"x8" TIMBER PILASTER(NON-STRUCTURAL) |
| | 3 PLY 2"x6"/2"x8" WALL POST |
| | BLOCKING FOR 6"x6" TIMBER POST |

- NOTES:**
- DIMENSIONS SHOW TRUE SPANS ONLY. DENOTED BY: 23'-6"
 - ALL HEADERS 2-PLY 2x10 SPF #2 UNLESS OTHERWISE NOTED.
 - ATTIC OPENINGS & LOCATIONS TO BE PROVIDED BY OTHERS.

- NOTES:**
- ALL DIMENSIONS ARE TO FACE OF DRYWALL OR TO CENTERPOINT OF DOOR OR WINDOW ROUGH OPENING.
 - PROVIDE 1 NON-FREEZEABLE HOSE BIB AT EACH SIDE OF HOUSE (MIN. OF 4 LOCATIONS).
 - FOR ADDITIONAL NOTES THAT MAY REFER TO THIS PLAN - SEE GENERAL NOTES ON SHEET A5.
 - ONLY METALLIC PIPING MAY PENETRATE THE WALL BETWEEN THE GARAGE and INTERIOR LIVING SPACES.
 - WALLS ARE DELINEATED 4" WIDE or 6" WIDE.
- ====NOTE TO FRAMERS====
- INTERIOR WALLS TO BE FRAMED USING 2"+/- OFFSET & EXTERIOR WALLS TO BE FRAMED USING 3"+/- OFFSET FROM WALL FACING TO CENTRE POINT TO COMPENSATE FOR FINISHING MATERIAL VARIATIONS
- ***NOTE: INTERIOR DIMENSIONS ALLOW 1/2" TOLERANCE FOR FINISHING MATERIAL VARIATIONS
- *ALL ANGLES ARE 45° OR 22.5°

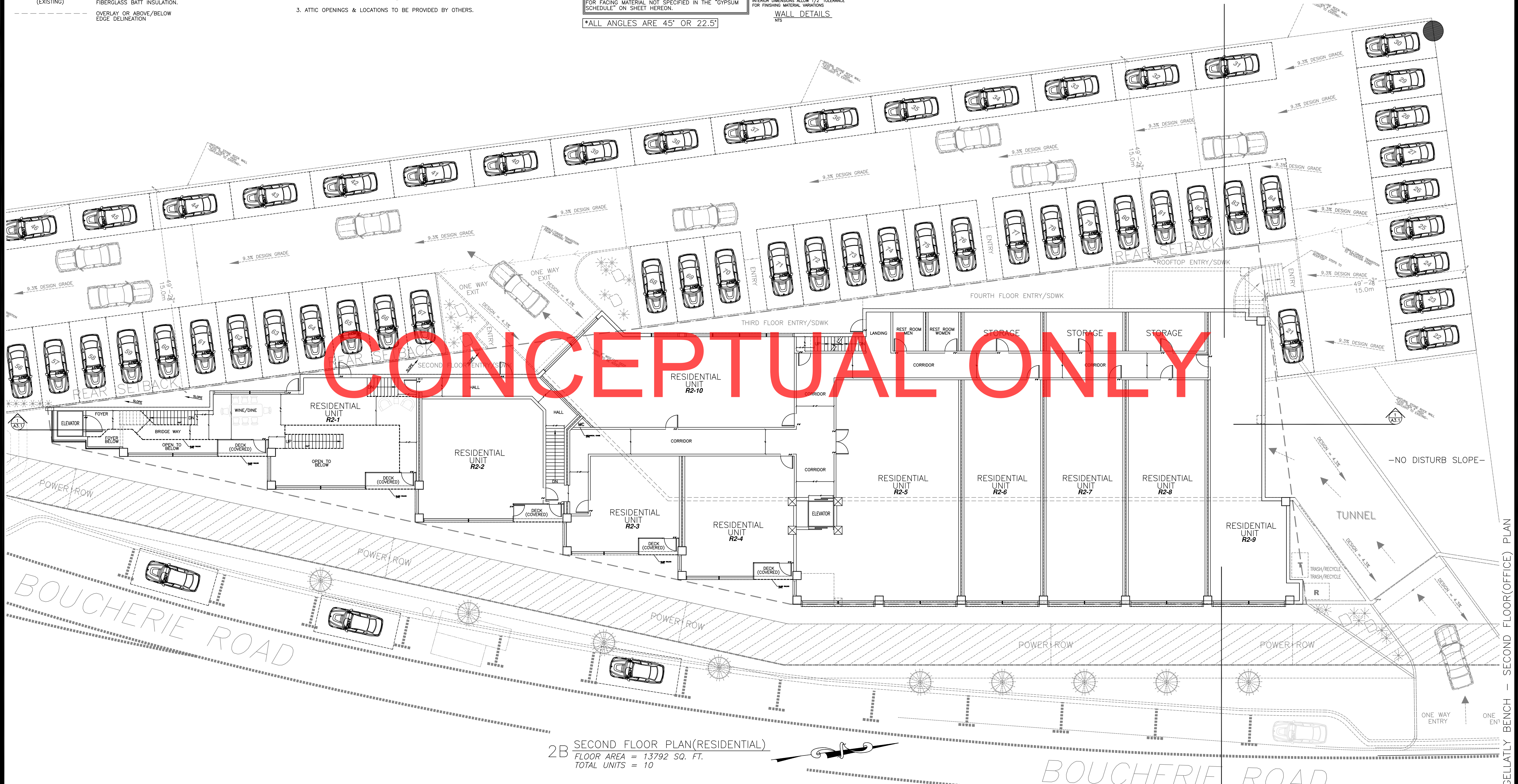


- ⊕ INDICATES DUPLEX CONVENIENCE OUTLET at +12" U.O.N. ("G" INDICATES GROUND FAULT PROTECTED) ("WP" INDICATES WATERPROOF COVER ON GROUND FAULT PROTECTED OUTLET) ("F" INDICATES FLOOR MOUNT)
 - ⊕ INDICATES TELEPHONE OUTLET at +12" U.O.N.
 - ⊕ INDICATES CABLE TV OUTLET at +12" U.O.N.
 - ⊕ INDICATES QUADPLEX CONVENIENCE OUTLET at HEIGHT AS INDICATED ON PLANS.
 - ⊕ INDICATES PLUMBING HOSE BIB.
 - CL ALL CLOSETS 2' DEEP
 - AD AREA DRAIN
- ELECTRICIAN TO DETERMINE LOCATIONS ONSITE

GYPSUM SCHEDULE

| No. | Fire Rating | Ref. | Design No. | Description |
|-----|-------------|---------|---|---|
| 1 | 45 min. | UL U317 | 1/2"(12.7mm) Fire-Shield C Gypsum Wallboard nailed both sides 2 x 4(38 mm x 89 mm) studs, 16" o.c. (606 mm) | Gypsum Wallboard Partitions / Wood Framing (Load - Bearing) |

*RECOMMENDATION 1: TO BE USED ON ALL WALLS & CEILING.
*RECOMMENDATION 2: NO TAPING. PRIME & BATTEN(REFIN-AA)



2B SECOND FLOOR PLAN(RESIDENTIAL)
FLOOR AREA = 13792 SQ. FT.
TOTAL UNITS = 10

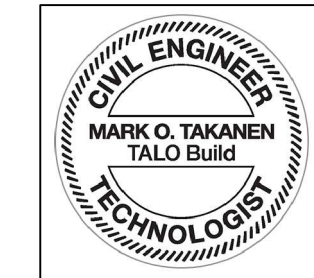
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RITNINGEN ÄGS AV "TALO Build". KÖPIERING ELLER ÄNDRINGAR ÄR FORBJUDET. KONTAKTA "TALO Build" FÖR DESIGN-ELLER RITNINGSFILER VID PROBLEM ELLER FRÅGOR. ANTRÄFFBAR 24/7.

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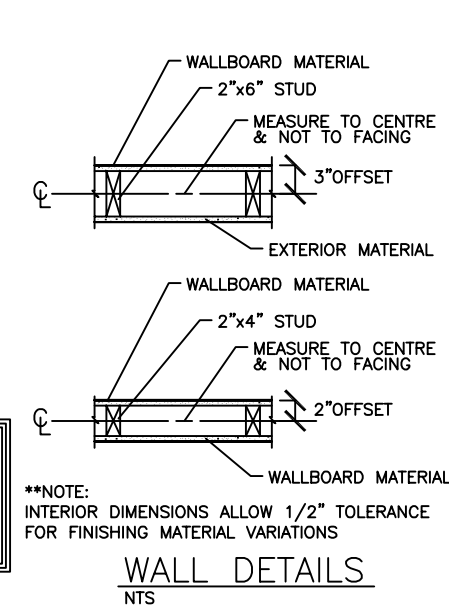
| | | |
|---|--|------------------|
| PLANNING-CONSULTING-MANAGEMENT | TALO Build 2895 Lakeview Cove Road West Kelowna, CANADA, V1Z 4A1 +1.778.654.2771 info@talobuild.com www.talobuild.com | Scale 3/32"=1' |
| | | Date FEBRUARY-24 |
| | | Sheet A1.2B |
| | | Design MOT |
| | | Drawn MOT |
| SUPERSEDES PRINTS OF THIS NUMBER WITH LETTERS PREVIOUS TO | | C |

- LEGEND:**
- 2x6 STUDS at 16" o.c. w/ R-21 FIBERGLASS BATT INSULATION.
 - 2x8 STUDS at 12" o.c. w/ R-21 FIBERGLASS BATT INSULATION.
 - 2x6 STUDS at 16" o.c. w/ NO FIBERGLASS BATT INSULATION.
 - 2x4 STUDS at 16" o.c. w/ NO FIBERGLASS BATT INSULATION.
 - STRUCTURAL BEAMS
 - 2x4 STUDS at 16" o.c. w/ NO FIBERGLASS BATT INSULATION. (EXISTING)
 - OVERLAY OR ABOVE/BELOW EDGE DELINEATION

- POST & BEAM SCHEDULE:**
- 3 PLY 2"x10"/2"x12" BEAM
 - 4"x8" TIMBER/ENGINEERED GLUE LAM BEAM
 - 6"x6"/8"x8" TIMBER POST
 - 4"x6"/4"x8" TIMBER PILASTER(NON-STRUCTURAL)
 - 3 PLY 2"x6"/2"x8" WALL POST
 - BLOCKING FOR 6"x6" TIMBER POST

- NOTES:**
1. DIMENSIONS SHOW TRUE SPANS ONLY. DENOTED BY: 23'-6"
 2. ALL HEADERS 2-PLY 2x10 SPF #2 UNLESS OTHERWISE NOTED.
 3. ATTIC OPENINGS & LOCATIONS TO BE PROVIDED BY OTHERS.

- NOTES:**
1. ALL DIMENSIONS ARE TO FACE OF DRYWALL or TO CENTERPOINT OF DOOR or WINDOW ROUGH OPENING.
 2. PROVIDE 1 NON-FREEZEABLE HOSE BIB AT EACH SIDE OF HOUSE (MIN. of 4 LOCATIONS).
 3. FOR ADDITIONAL NOTES THAT MAY REFER TO THIS PLAN - SEE GENERAL NOTES ON SHEET A5.
 4. ONLY METALLIC PIPING MAY PENETRATE THE WALL BETWEEN THE GARAGE and INTERIOR LIVING SPACES.
 5. WALLS ARE DELINEATED 4" WIDE or 6" WIDE.
- ====NOTE TO FRAMERS====
- INTERIOR WALLS TO BE FRAMED USING 2"+/- OFFSET & EXTERIOR WALLS TO BE FRAMED USING 3"+/- OFFSET FROM WALL FACING TO CENTRE POINT TO COMPENSATE FOR FACING MATERIAL NOT SPECIFIED IN THE "GYPSUM SCHEDULE" ON SHEET HEREON.
- *ALL ANGLES ARE 45° OR 22.5°

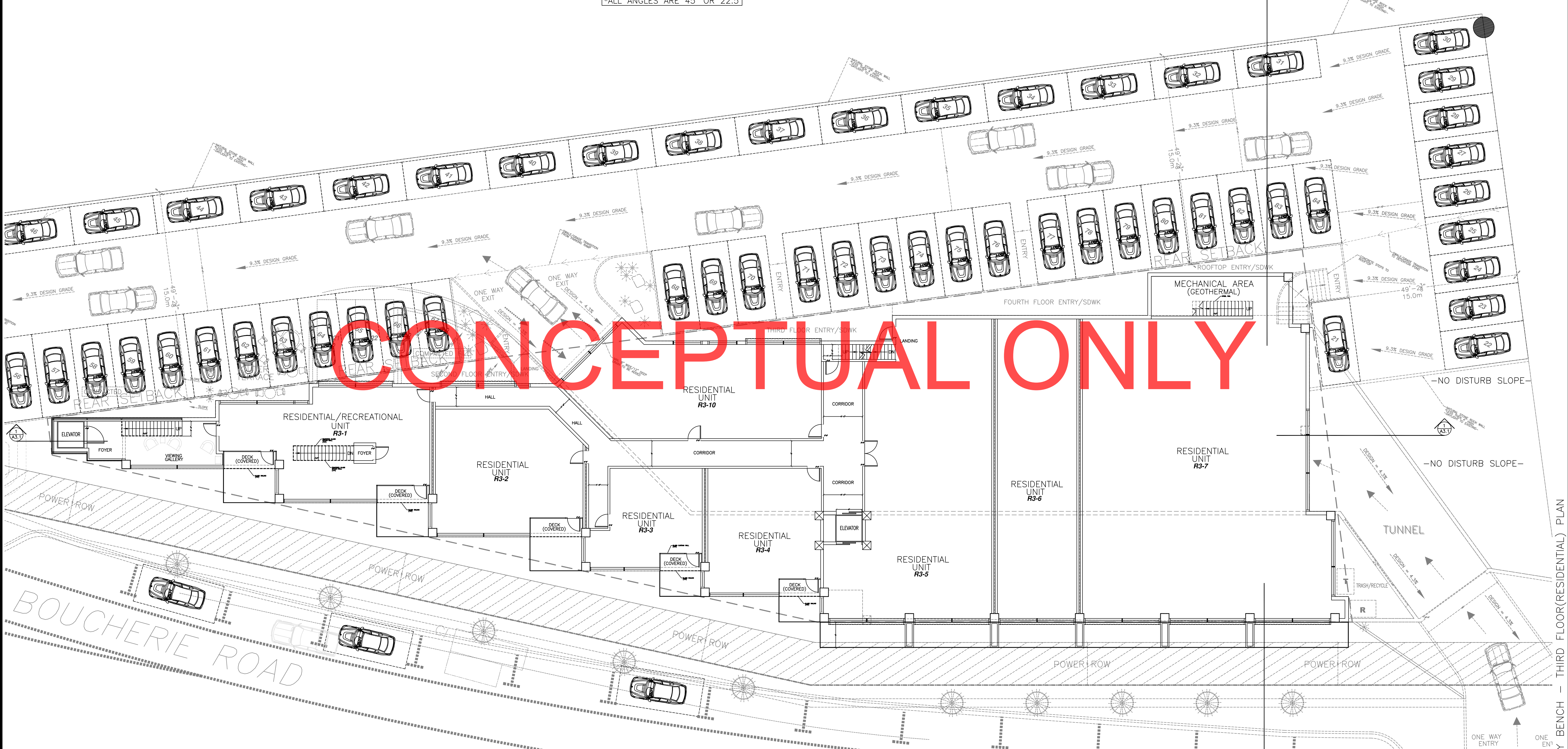


- INDICATES DUPLEX CONVENIENCE OUTLET at +12" U.O.N. (G INDICATES GROUND FAULT PROTECTED) (WP INDICATES WATERPROOF COVER ON GROUND FAULT PROTECTED OUTLET) (F INDICATES FLOOR MOUNT)
 - INDICATES TELEPHONE OUTLET at +12" U.O.N.
 - INDICATES CABLE TV OUTLET at +12" U.O.N.
 - INDICATES QUADPLEX CONVENIENCE OUTLET at HEIGHT AS INDICATED ON PLANS.
 - INDICATES PLUMBING HOSE BIB.
 - ALL CLOSETS 2' DEEP
 - AREA DRAIN
- ELECTRICIAN TO DETERMINE LOCATIONS ONSITE

GYPSUM SCHEDULE

| No. | Fire Rating | Ref. | Design No. | Description |
|-----|-------------|---------|---|-------------|
| 1 | 45 min. | UL U317 | 1/2"(12.7mm)Fire-Shield Gypsum Wallboard rated both sides 2 x 4(38 mm x 89 mm) studs, 16" o.c. (406 mm) | |

*RECOMMENDATION 1: TO BE USED ON ALL WALLS & CEILING.
*RECOMMENDATION 2: NO TAPING. PRIME & BATTEN(REFIN-AA)



3 THIRD FLOOR PLAN(RESIDENTIAL)
FLOOR AREA = 1,3792 SQ. FT.
TOTAL UNITS = 7

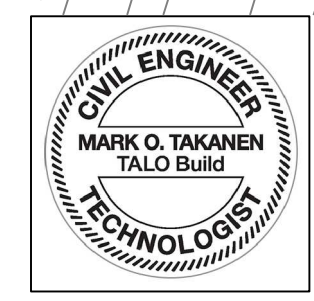
GELLATLY BENCH

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TÄMÄ PIIRUSTUS ON "TALO Buildin" OMISTAMA. JÄLJENNÖKSIÄ TAI MUUTOKSIA ON KIELLETTY. OTA YHTEYTTÄ "TALO Buildin". TAVOITETTAVISSA 24/7.

RITNINGEN ÄGS AV "TALO Build". KÖPIERING ELLER ÄNDRINGAR ÄR FORBJUDET. KONTAKTA "TALO Build" FOR DESIGN-ELLER RITNINGSFILER VID PROBLEM ELLER FRÅGOR. ANTRÄFFBAR 24/7.

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| | | |
|--------------------------------|--|---|
| PLANNING-CONSULTING-MANAGEMENT | TALO Build 2895 Lakeview Cove Road West Kelowna, CANADA, V1Z 4A1 +1.778.654.2771 info@talobuild.com www.talobuild.com | Scale 3/32"=1' Date FEBRUARY-24 Sheet A1.3 Design MOT Drawn MOT |
|--------------------------------|--|---|

SUPERSEDES PRINTS OF THIS NUMBER WITH LETTERS PREVIOUS TO **C**

CLIENT APPROVAL SIGNATURE: _____

CLIENT NAME(PRINT): _____

DATE: _____

*TB=CHANGE ORDERS REQUIRED FOR ALL/ANY CHANGES AFTER THIS DATE=

DESIGNER: **motakanen design**

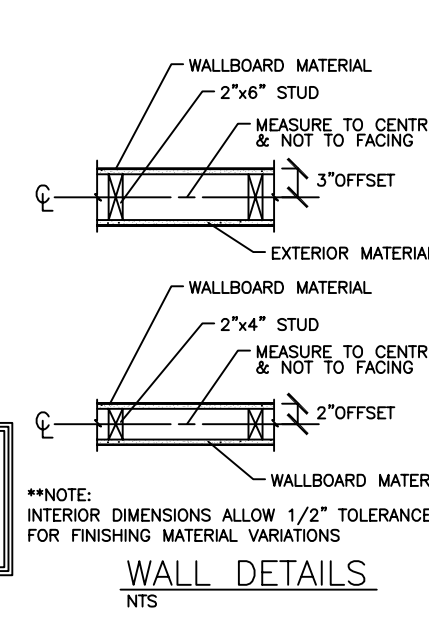
- LEGEND:**
- 2x6 STUDS at 16" o.c. w/ R-21 FIBERGLASS BATT INSULATION.
 - 2x8 STUDS at 12" o.c. w/ R-21 FIBERGLASS BATT INSULATION.
 - 2x6 STUDS at 16" o.c. w/ NO FIBERGLASS BATT INSULATION.
 - 2x4 STUDS at 16" o.c. w/ NO FIBERGLASS BATT INSULATION.
 - STRUCTURAL BEAMS
 - 2x4 STUDS at 16" o.c. w/ NO FIBERGLASS BATT INSULATION. (EXISTING)
 - OVERLAY OR ABOVE/BELow EDGE DELINEATION

- POST & BEAM SCHEDULE:**
- 3 PLY 2"x10"/2"x12" BEAM
 - 4"x8" TIMBER/ENGINEERED GLUE LAM BEAM
 - 6"x6"/8"x8" TIMBER POST
 - 4"x6"/4"x8" TIMBER PILASTER(NON-STRUCTURAL)
 - 3 PLY 2"x6"/2"x8" WALL POST
 - BLOCKING FOR 6"x6" TIMBER POST

- NOTES:**
1. DIMENSIONS SHOW TRUE SPANS ONLY. DENOTED BY: $23'-6"$
 2. ALL HEADERS 2-PLY 2x10 SPF #2 UNLESS OTHERWISE NOTED.
 3. ATTIC OPENINGS & LOCATIONS TO BE PROVIDED BY OTHERS.

- NOTES:**
1. ALL DIMENSIONS ARE TO FACE OF DRYWALL OR TO CENTERPOINT OF DOOR OR WINDOW ROUGH OPENING.
 2. PROVIDE 1 NON-FREEZEABLE HOSE BIB AT EACH SIDE OF HOUSE (MIN. of 4 LOCATIONS).
 3. FOR ADDITIONAL NOTES THAT MAY REFER TO THIS PLAN - SEE GENERAL NOTES ON SHEET A5.
 4. ONLY METALLIC PIPING MAY PENETRATE THE WALL BETWEEN THE GARAGE and INTERIOR LIVING SPACES.
 5. WALLS ARE DELINEATED 4" WIDE or 6" WIDE.

====NOTE TO FRAMERS====
 INTERIOR WALLS TO BE FRAMED USING 2"x4" OFFSET & EXTERIOR WALLS TO BE FRAMED USING 3"x4" OFFSET FROM WALL FACING TO CENTRE POINT TO COMPENSATE FOR FACING MATERIAL NOT SPECIFIED IN THE "GYPSUM SCHEDULE" ON SHEET HEREON.
 *ALL ANGLES ARE 45° OR 22.5°

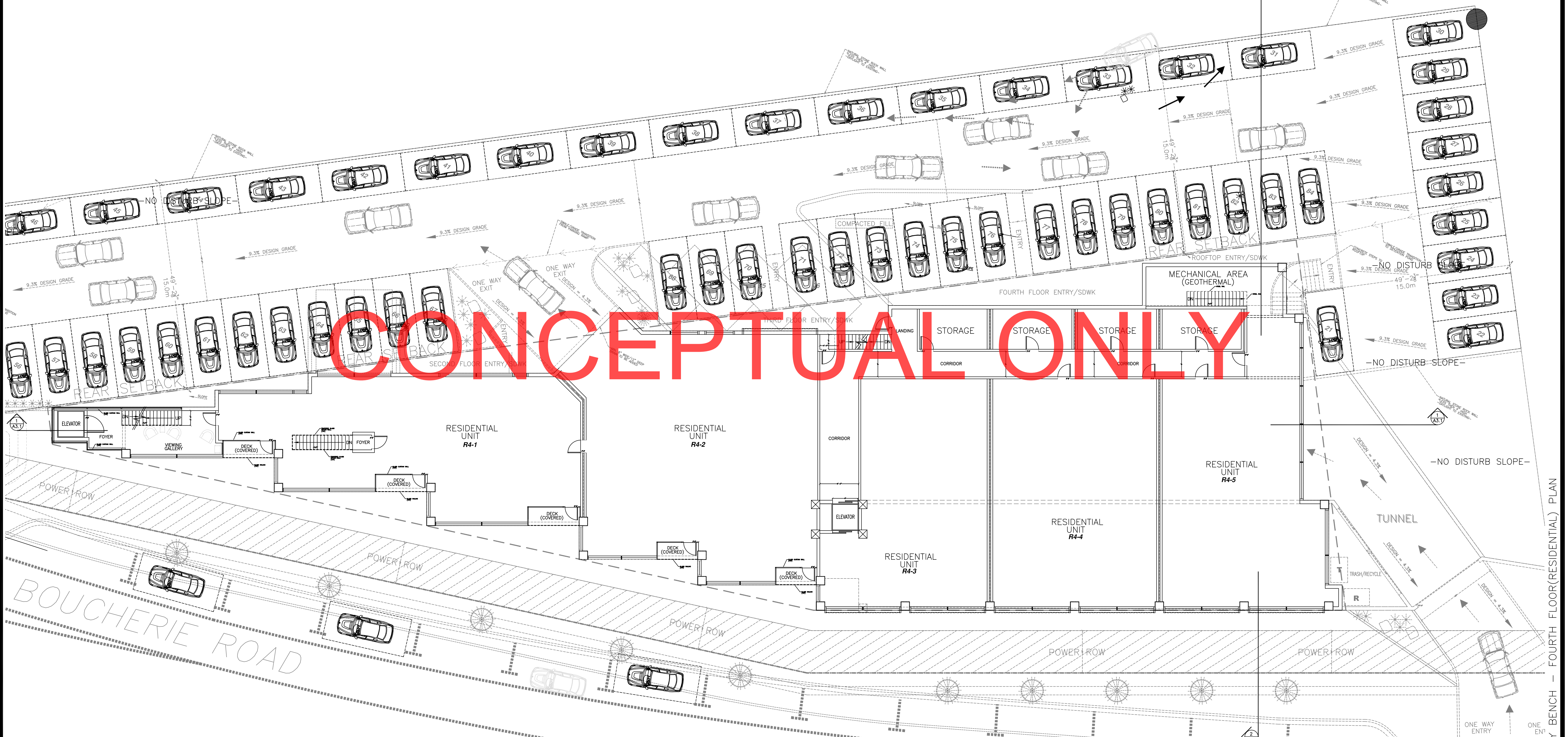


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 - INDICATES TELEPHONE OUTLET at +12" U.O.N.
 - INDICATES CABLE TV OUTLET at +12" U.O.N.
 - INDICATES QUADPLEX CONVENIENCE OUTLET at HEIGHT AS INDICATED ON PLANS.
 - INDICATES PLUMBING HOSE BIB.
 - ALL CLOSETS 2' DEEP
 - AREA DRAIN
- ELECTRICIAN TO DETERMINE LOCATIONS ONSITE

GYPSUM SCHEDULE

| Gypsum Wallboard Partitions / Wood Framing (Load - Bearing) | | | | |
|---|-------------|------|------------|--|
| No. | Fire Rating | Ref. | Design No. | Description |
| 1 | 45 min. | UL | US17 | 1/2"(12.7mm)Fire-Shield C Gypsum Wallboard nailed both sides 2 x 4(38 mm x 89 mm) studs, 16"o.c. (406 mm). |

*RECOMMENDATION 1: TO BE USED ON ALL WALLS & CEILING.
 *RECOMMENDATION 2: NO TAPING. PRIME & BATTEN(REFIN-AA)



4 FOURTH FLOOR PLAN(RESIDENTIAL)
 FLOOR AREA = 13792 SQ. FT.
 TOTAL UNITS = 5

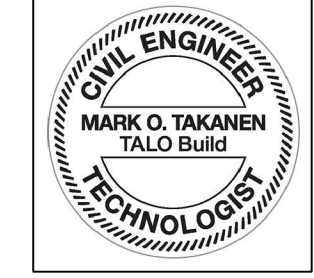
GELLATLY BENCH

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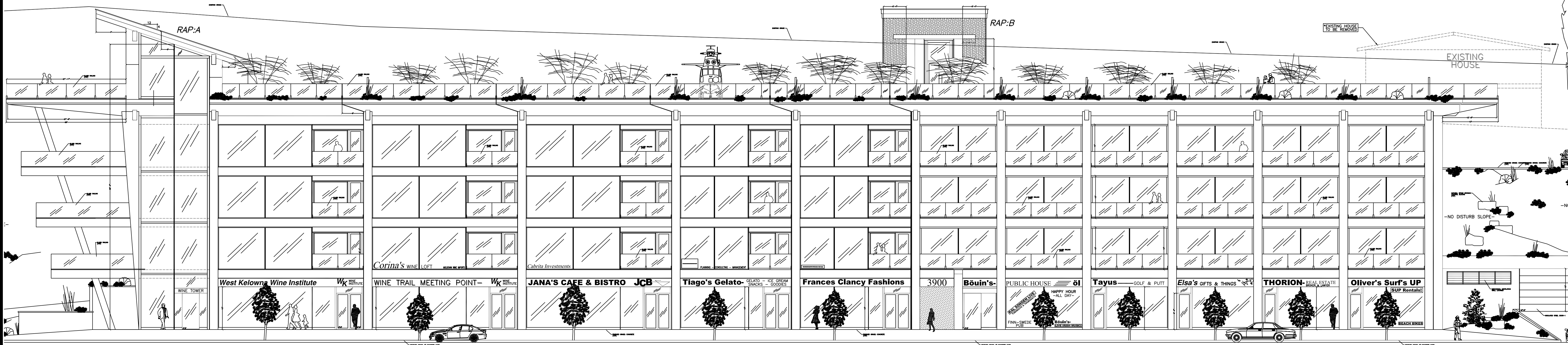
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 www.talobuild.com

Scale 3/32"=1'
 Date JULY-21
 Sheet A1.4
 Design MOT
 Drawn MOT

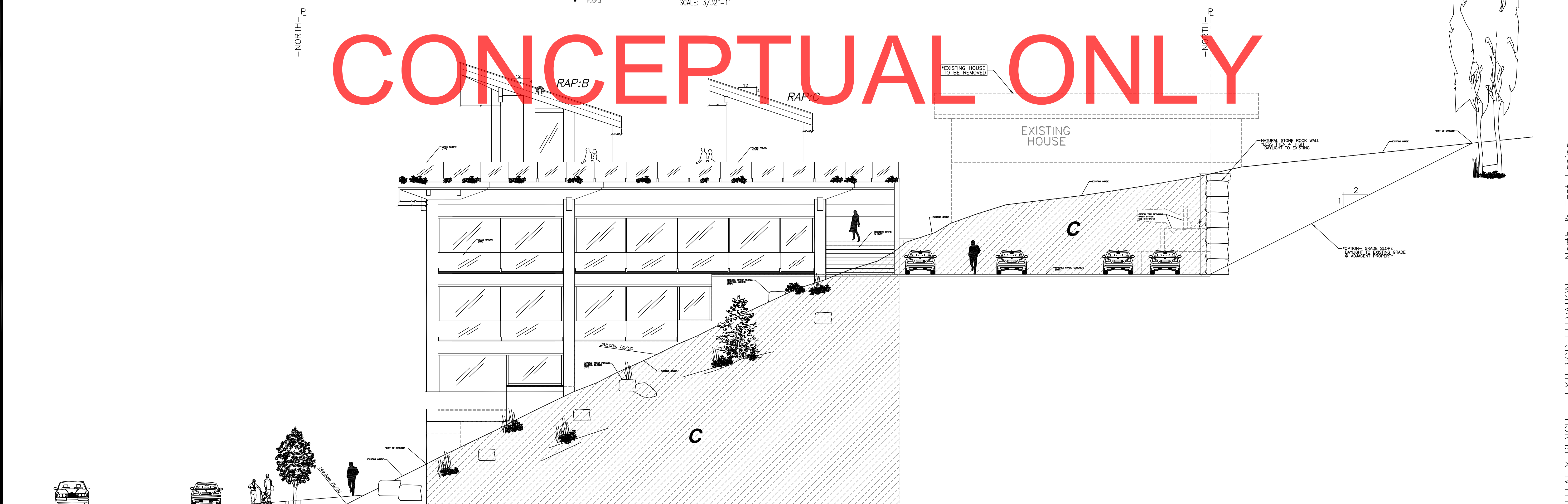
SUPERSEDES PRINTS OF THIS NUMBER WITH LETTERS PREVIOUS TO **C**



CUT/FILL AREAS-
C CUT VOLUMES SEE: mnt-DS-2
 FILL DATA SHEETS-
F FILL VOLUMES SEE: mnt-DS-2
1 EAST FACING WALL
 ELEVATION
 SCALE: 3/32"=1'

NOTES:
 1. REFER TO ALL APPROVED PERMITS FOR PROVISIONS AND REQUIREMENTS THAT MAY APPLY TO THIS PROJECT.
 2. THIS DRAWING IS FOR INFORMATIONAL PURPOSES ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION.
 3. THE DESIGNER ASSUMES RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED.
 4. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
 5. THE DESIGNER DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED.
 6. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

CONCEPTUAL ONLY



CUT/FILL AREAS-
C CUT VOLUMES SEE: mnt-DS-2
 FILL DATA SHEETS-
F FILL VOLUMES SEE: mnt-DS-2
2 NORTH FACING WALL
 ELEVATION
 SCALE: 1/8"=1'

GELLATLY BENCH

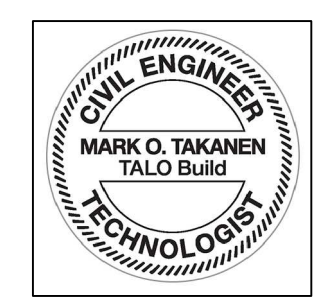
Tier: 2

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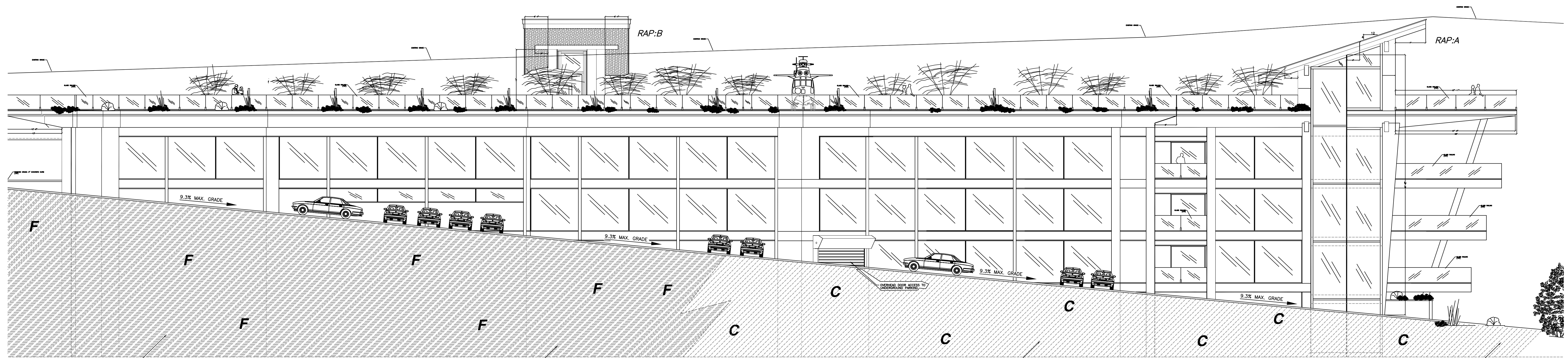
RITNINGEN ÄGS AV "TALO Build". KÖPIERING ELLER ÄNDRINGAR ÄR FORBJUDET. KONTAKTA "TALO Build" FÖR DESIGN-ELLER RITNINGSFILER VID PROBLEM ELLER FRÅGOR. ANTRÄFFBAR 24/7.

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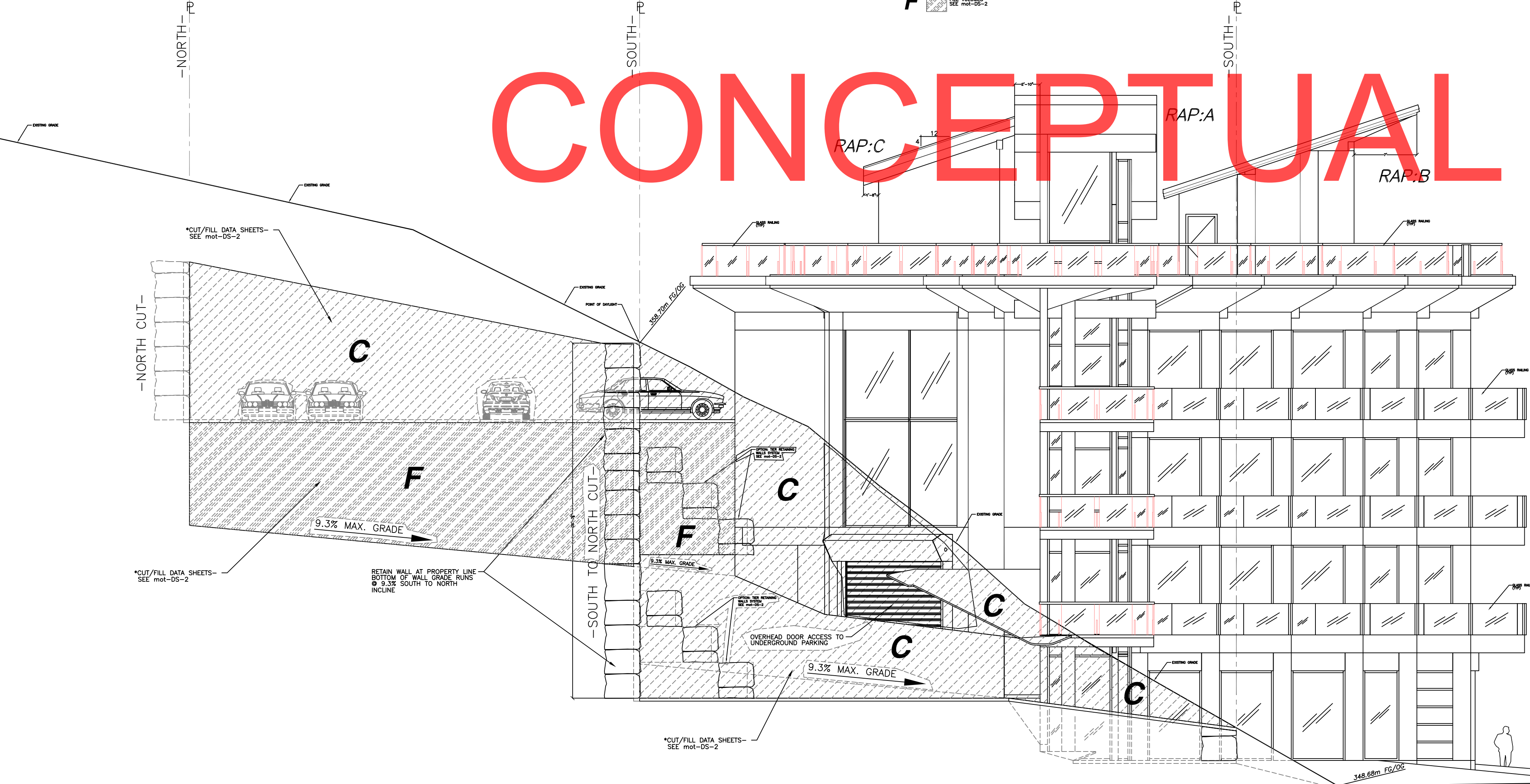
| | | |
|----------------------|--|--|
| TALO BUILD | PLANNING-CONSULTING-MANAGEMENT TALO Build 2895 Lakeview Cove Road West Kelowna, CANADA, V1Z 4A1 +1.778.654.2771 info@talobuild.com www.talobuild.com | Scale: 3/32" & 1/8"=1' Date: MAR-24 Sheet: A2.1 Design: MOT Drawn: MOT |
| | SUPERSEDES PRINTS OF THIS NUMBER WITH LETTERS PREVIOUS TO D | |

GELLATLY BENCH - EXTERIOR ELEVATION - North & East Facing



4 WEST FACING WALL
ELEVATION
SCALE: 3/32"=1'

CONCEPTUAL ONLY



3 SOUTH FACING WALL
ELEVATION
SCALE: 1/8"=1'

GELLATLY BENCH

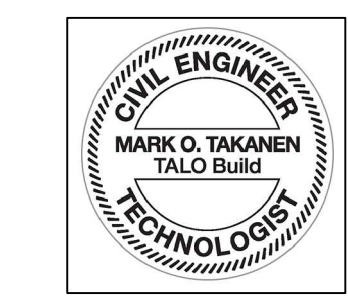
Mark Takanen
T2C-ABC3D2
TA:GB-1-24
TIER: 2

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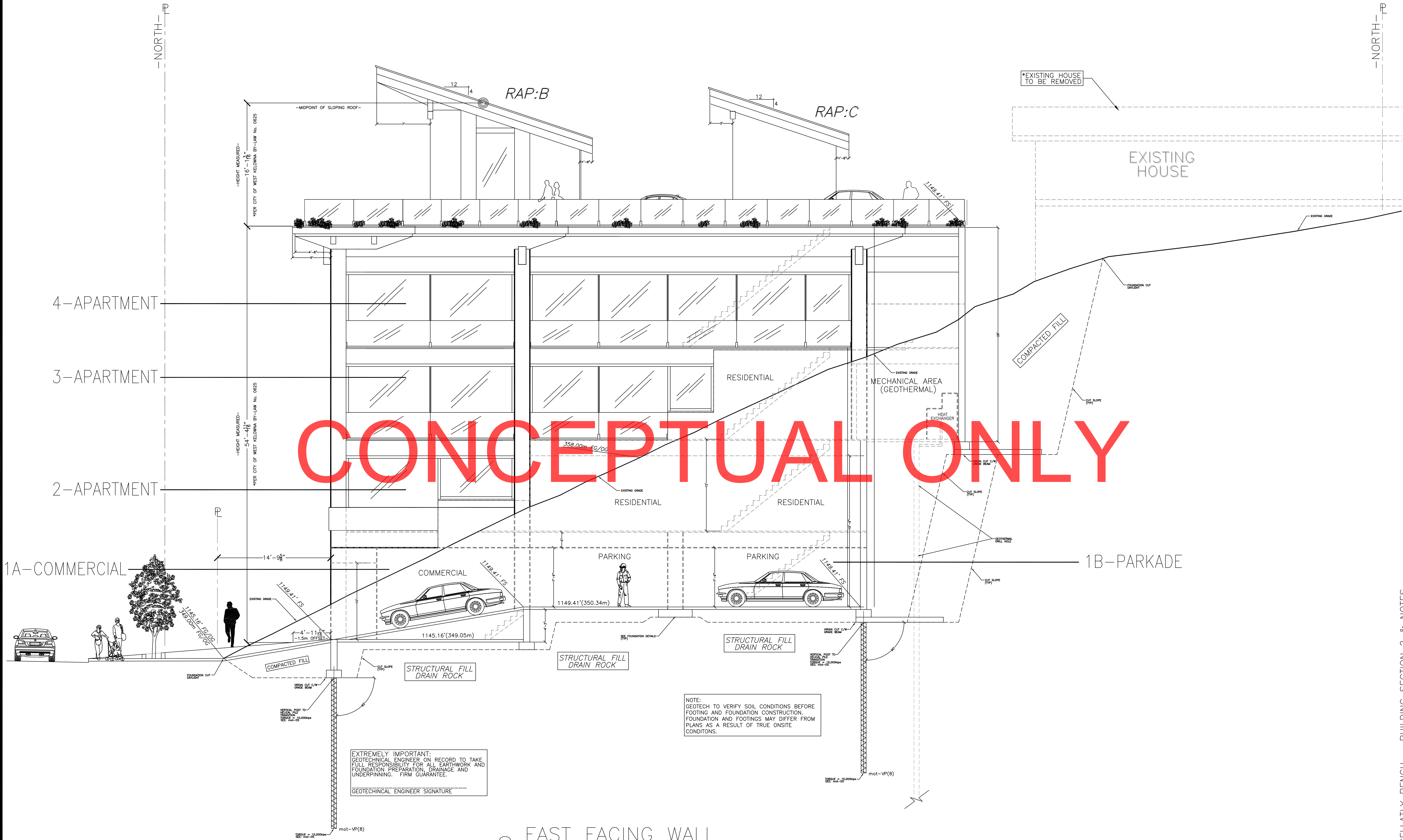


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West Kelowna, CANADA, V1Z 4A1
+1.778.654.2771
info@talobuild.com
www.talobuild.com

Scale 1/8"=1'
Date MAR-24
Sheet A2.2
Design MOT
Drawn MOT

SUPERSEDES PRINTS OF THIS NUMBER WITH LETTERS PREVIOUS TO **F**

GELLATLY BENCH - EXTERIOR ELEVATION - South & East Facing



CONCEPTUAL ONLY

NOTE: GEOTECH TO VERIFY SOIL CONDITIONS BEFORE FOOTING AND FOUNDATION CONSTRUCTION. FOUNDATION AND FOOTINGS MAY DIFFER FROM PLANS AS A RESULT OF TRUE ONSITE CONDITIONS.

EXTREMELY IMPORTANT: GEOTECHNICAL ENGINEER ON RECORD TO TAKE FULL RESPONSIBILITY FOR ALL EARTHWORK AND FOUNDATION PREPARATION, DRAINAGE AND UNDERPINNING. FIRM GUARANTEE.
 GEOTECHNICAL ENGINEER SIGNATURE _____

2 EAST FACING WALL X-SECTION

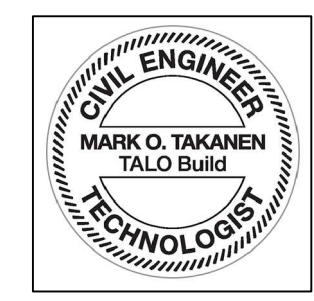
GELLATLY BENCH

TIER: 2
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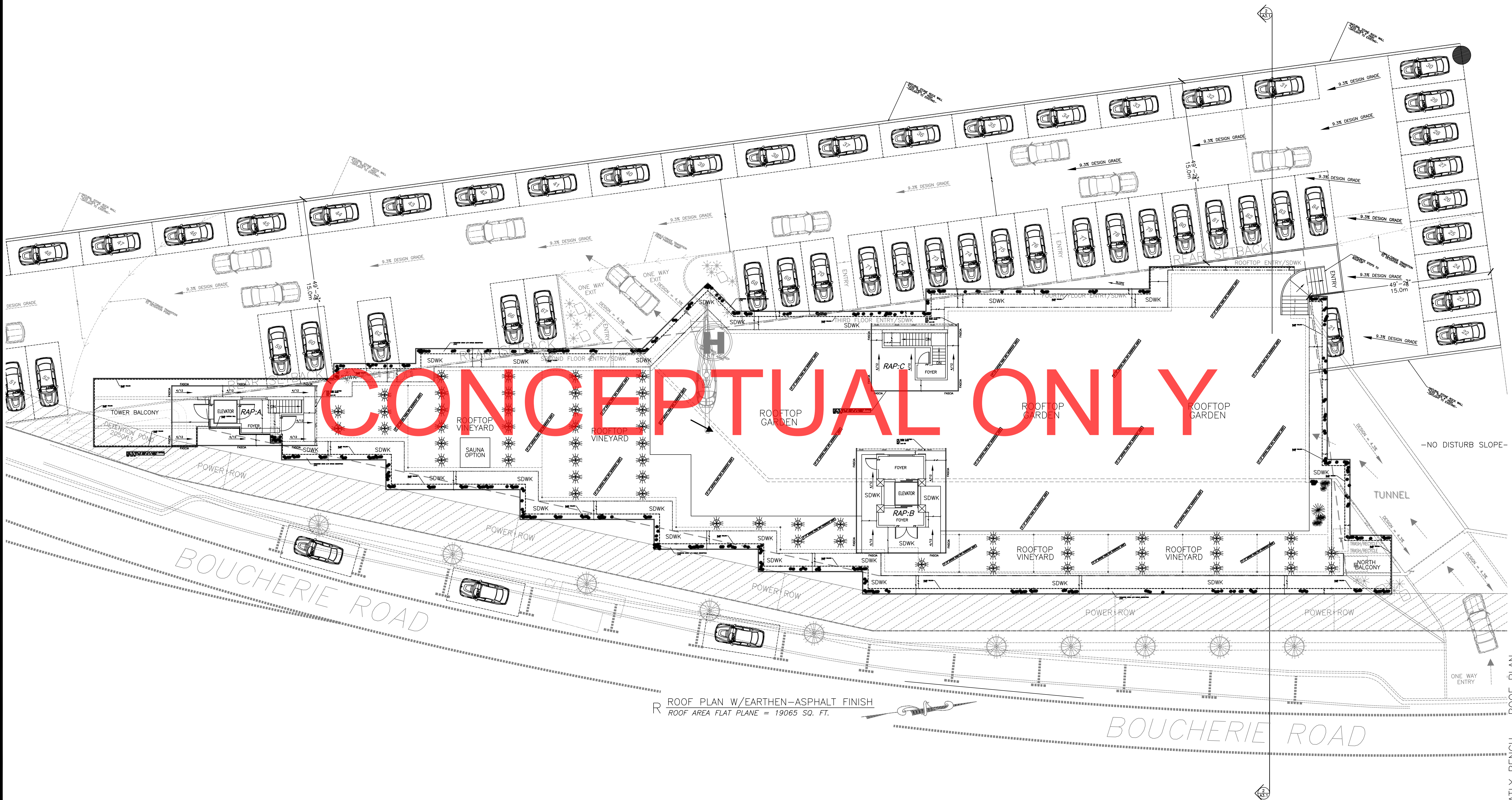


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 www.talobuild.com

Scale 1/4"=1'
 Date MAR-24
 Sheet A3.1
 Design MOT
 Drawn MOT

SUPERSEDES PRINTS OF THIS NUMBER WITH LETTERS PREVIOUS TO **G**

GELLATLY BENCH - BUILDING SECTION 2 & NOTES



R ROOF PLAN W/EARTHEN-ASPHALT FINISH
ROOF AREA FLAT PLANE = 19065 SQ. FT.

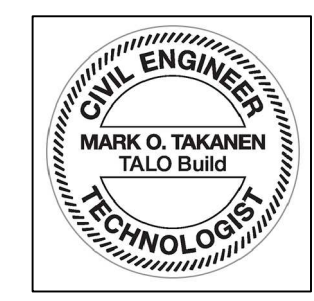
GELLATLY BENCH

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| | | |
|--------------------------------|--|---|
| PLANNING-CONSULTING-MANAGEMENT | TALO Build 2895 Lakeview Cove Road West Kelowna, CANADA, V1Z 4A1 +1.778.654.2771 info@talobuild.com www.talobuild.com | Scale: NTS Date: MAR-24 Sheet: A4.1 Design: MOT Drawn: MOT |
| ROOF PLAN | | Supersedes prints of this number with letters previous to D |

GELLATLY BENCH - ROOF PLAN

LOT AREA: 48,644 SQ. FT. PROJECT DESCRIPTION:
 BUILDING FOOTPRINT: 14,713 SQ. FT. **GELLATLY BENCH**
 TOTAL LOT COVERAGE: 14,713 SQ. FT.(30.25%)

PROJECT RESUME

CONSTRUCTION TYPE: COMMERCIAL/RESIDENTIAL
 OCCUPANCY TYPE: COMMERCIAL/MULTI-FAMILY
 PARCEL IDENTIFIER NO.: DL REM 5017
 LEGAL DESCRIPTION: DISTRICT LOT: _____
 PROJECT STREET ADDRESS: 3900 GELLATLY ROAD, WEST KELOWNA
 BRITISH COLUMBIA, CANADA

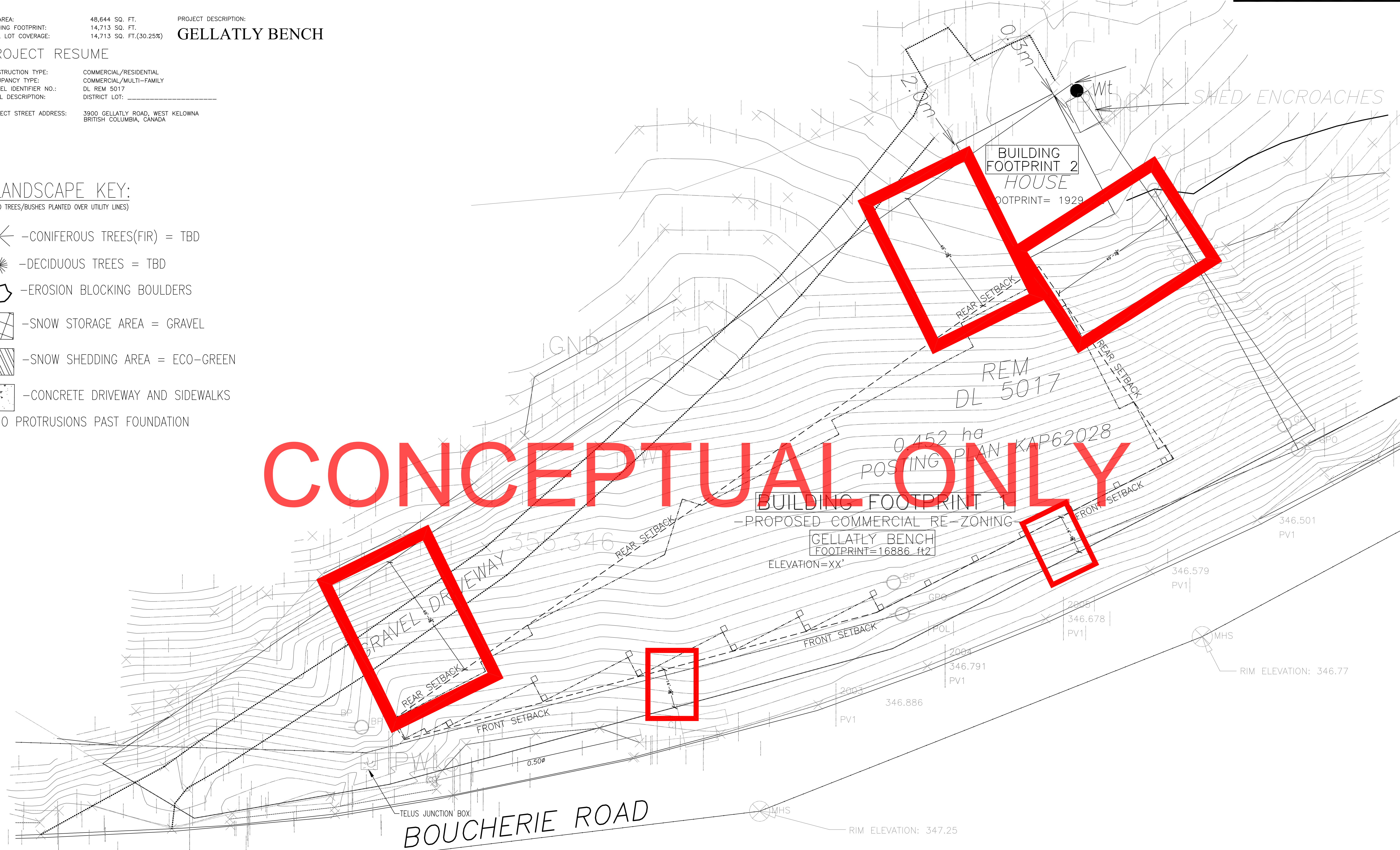
LANDSCAPE KEY:

(NO TREES/BUSHES PLANTED OVER UTILITY LINES)

- CONIFEROUS TREES(FIR) = TBD
- DECIDUOUS TREES = TBD
- EROSION BLOCKING BOULDERS
- SNOW STORAGE AREA = GRAVEL
- SNOW SHEDDING AREA = ECO-GREEN
- CONCRETE DRIVEWAY AND SIDEWALKS

*NO PROTRUSIONS PAST FOUNDATION

CONCEPTUAL ONLY



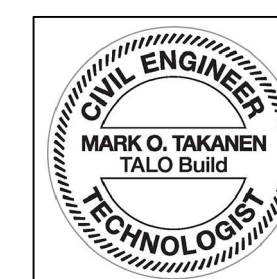
GELLATLY BENCH

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 info@talobuild.com
 www.talobuild.com

Scale 1/16"=1'
 Date MAR-24
 Sheet A5.1
 Design MOT
 Drawn MOT

SUPERSEDES PRINTS OF THIS NUMBER WITH LETTERS PREVIOUS TO **E**

GELLATLY BENCH - SITE PLAN

CLIENT APPROVAL SIGNATURE: _____

CLIENT NAME(PRINT): _____

DATE: _____

*TB-CHANGE ORDERS REQUIRED FOR ALL/ANY CHANGES AFTER THIS DATE-

DESIGNER: **motakainen design**

SQUARE FOOTAGES:

| | | |
|----------------------------|---------------------|---------------------------|
| COMMERCIAL(FIRST FLOOR-A): | 6637 SQ. FT. SPACE | UNITS = 6 / STALLS = 50 |
| PARKADE(FIRST FLOOR-B): | 6910 SQ. FT. SPACE | UNITS = 0 / STALLS = (20) |
| RESIDENTIAL(SECOND FLOOR): | 13792 SQ. FT. SPACE | UNITS = 10 / STALLS = 10 |
| RESIDENTIAL(THIRD FLOOR): | 13792 SQ. FT. SPACE | UNITS = 7 / STALLS = 10 |
| RESIDENTIAL(FOURTH FLOOR): | 13792 SQ. FT. SPACE | UNITS = 5 / STALLS = 8 |

| | | |
|---------------------|---------------------|---------------------------|
| COMMERCIAL TOTALS: | 6637 SQ. FT. SPACE | UNITS = 6 / STALLS = 50 |
| PARKADE TOTALS:(EX | 6910 SQ. FT. SPACE | UNITS = 0 / STALLS = (20) |
| RESIDENTIAL TOTALS: | 45376 SQ. FT. SPACE | UNITS = 22 / STALLS = 28 |

FLOOR AREA TOTAL: 58923 SQ. FT. SPACE UNITS = 28 / STALLS = 78(20)

*FAR- FLOOR AREA TOTAL: 58,923 SQ. FT. FAR = 1.2 PARCEL/LOT AREA TOTAL: 48,648 SQ. FT. FAR = 1.1 (NOT INCLUDING PARKADE)



CD ZONE CRITERIA: GELLATLY BENCH

| | |
|--------------------------|--|
| PERMITTED USES: | ACTIVE COMMERCIAL FRONTAGE, APARTMENT & LIVE WORK UNIT |
| SUBDIVISION: | PARCEL FRONTAGE = 5m / PARCEL AREA = 1546m ² |
| SITING REGULATIONS: | FRONT PARCEL BOUNDARY = 4.5m / REAR & SIDE BOUNDARIES = 15m |
| FAR(FLOOR AREA RATIO): | TOTAL FLOOR AREA = 58,923 SQ. FT. / TOTAL PARCEL AREA = 46,648 SQ. FT. |
| MAXIMUM BUILDING HEIGHT: | 0m AT BACK & 14.7m AT FRONT |
| PARCEL COVERAGE: | 34%(1546m ²) |
| TOTALS(UNITS/STALLS): | 80870 SQ. FT. SPACE UNITS = 33 / STALLS = 78(20) TOTAL PARKING STALLS = 98 |

*REFERENCE: CITY OF WEST KELOWNA-PART 11 COMMERCIAL ZONES- BYLAW No. 0265

CONCEPTUAL ONLY



GELLATLY BENCH

FOR REZONE TO: COMPREHENSIVE DEVELOPMENT ZONE

*REFERENCE: CITY OF WEST KELOWNA-PART 11 COMMERCIAL ZONES- BYLAW No. 0265

TIER: 2

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Scale 1/16"=1'
Date MAR-24
Sheet A5.3
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