



CITY OF WEST KELOWNA
DEVELOPMENT PERMIT
DP 20-22

To: Provincial Rental Housing Corporation
170- 4555 Kingsway
Burnaby, BC V5H 4V8

c/o: Faction Projects/ Alec Warrender

1. This Permit is issued subject to compliance with all of the Bylaws of the City of West Kelowna applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Permit applies to and only to those lands within the City of West Kelowna described below, and any and all buildings, structures and other developments thereon:

LOT A, DL 486, ODYD, Plan EPP101083
(3788 Brown Road)

3. This Permit allows the construction of a four storey, 42 unit congregate housing building in in the **Commercial Development Permit Area (DPA 1)**, subject to the following conditions and related Schedules:
 - A. The siting, exterior design, and finish of buildings are to be in accordance with the Architectural submission (site plan, elevations, renderings, and materials and colour schedule) by Cover Architectural Collaborative Inc., dated November 10, 2020 and attached within Schedule "A";
 - B. The dimensions and siting of the structures to be constructed on the land be in general accordance with Civil Engineering Drawings (site servicing and grading plans, erosion and sediment control, and offsite works), by WSP Consulting, dated June 19, 2020 and attached within Schedule "B";
 - C. The landscaping and lighting works to be provided on the land be in accordance with Landscape Drawings by WSP Consulting, dated June 4, 2020 and attached within Schedule "C"; and
4. As a condition of the issuance of this Permit, the City of West Kelowna is holding a landscape security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Permittee and be paid to the Permittee if the security is returned. The condition of the posting of the security is that should the Permittee fail to carry out the development hereby authorized, according to the terms and conditions of the Permit within the time provided, the City of West Kelowna may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Permittee, or should the Permittee carry out the development permitted by this Permit within the time set out below, the security shall be returned to the Permittee. There is filed accordingly:

a) An Irrevocable Letter of Credit or Bank Draft in the amount of \$69,668.75.

5. The land described herein shall be developed strictly in accordance with the terms and conditions of this Permit and any plans and specifications attached to this Permit, which shall form a part hereof. Should any changes be required to this permit, please ensure that you obtain written approval from City of West Kelowna prior to making any changes.
6. If this Development Permit has not been issued within one year from approval, Development Permit DP 20-22 shall be deemed to have been refused and the file will be closed.
7. **This Permit is not a Building Permit.**
8. Subject to the terms of the permit, where the holder of a permit issued under the *Local Government Act* does not substantially commence any construction with respect to which the permit was issued within one year after the date it is issued, the permit lapses.

AUTHORIZING RESOLUTION NO. _____ PASSED BY THE MUNICIPAL COUNCIL ON _____.

Signed on _____

City Clerk

I hereby confirm that I have read and agree with the conditions of Development Permit DP 20-22 with Variances and will ensure that copies of the Permit will be provided to onsite personnel at time of construction.

Signed on _____

Property Owner or Agent

ISSUED on _____

Schedules:

- A. Architectural Submission by Cover Architectural Collaborative Inc., dated November 11, 2020
- B. Civil Engineering Plans by WSP Consulting, dated June 19, 2020
- C. Landscape Plan by WSP Consulting, dated June 4, 2020

WEST KELOWNA SUPPORTIVE HOUSING

ISSUED FOR DP
2020-11-10



ARCHITECTURAL			CIVIL	STRUCTURAL	MECHANICAL	ELECTRICAL	LANDSCAPE						
COVER ARCHITECTURAL COLLABORATIVE INC. 96 BAKER ST. NELSON, BC V1L 4G9 250 354 4445			WSP 1631 DICKSON AVENUE, SUITE 700, KELOWNA BC, V1Y 0B5 250 469 7747	ECORA 579 LAWRENCE AVE, KELOWNA, BC V1Y 6L8 250 469 9757	ROCKY POINT ENGINEERING #2-373 BAKER ST, NELSON BC, V1L 4H6 250 352 7933	FALCON ENGINEERING 1715 DICKSON AVENUE SUITE 210, KELOWNA BC, V1Y 9G6 250 762 9993	WSP 1631 DICKSON AVENUE, SUITE 700, KELOWNA BC, V1Y 0B5 250 469 7747						
A000	COVER PAGE	A220	RCP PLANS	C01	Cover Page	S100	Foundation Plan	M01	Site Plan	E-1	Site Plan, Symbol Legend	L000	Cover Page
A001	GENERAL NOTES & LEGENDS	A300	ELEVATIONS	C02	Site Plan	S101	Suspended Slab Plan	M11	Foundation Plan - Plumbing	E-2	Parkade Floor Plan, First Floor Plan - Lighting	LD01	Site Plan
A002	CONSTRUCTION ASSEMBLIES	A301	ELEVATIONS	C03	Servicing	S110	First Floor Framing Plan	M12	Parkade Plan - Plumbing	E-3	First Floor Plan, Power & Auxiliaries, Second Floor Plan	LD02	Landscape Plan
A003	CONSTRUCTION ASSEMBLIES & BCBC CODE REVIEW	A400	BUILDING SECTIONS	C04	Grading & SWM Plan	S120	Second Floor Framing Plan	M13	First Floor Plan - Plumbing	E-4	Third & Fourth Floor Plans		
A004	KEY PLANS & FIRE SEPARATION PLAN	A401	BUILDING SECTIONS	C05	Erosion & Sediment Control Plan	S130	Third Floor Framing Plan	M14	Second Floor Plan - Plumbing / HVAC	E-5	Suite Plans		
A005	FIRE SEPARATION PLAN	A402	BUILDING SECTIONS	C06	Office Works - Curb Plan/ Profile	S140	Fourth Floor Framing Plan	M15	Third Floor Plan - Plumbing / HVAC	E-6	Suite Plans		
A006	FIRE SEPARATION PLAN	A500	WALL SECTIONS	C07	Utility Details			M16	Fourth Floor Plan - Plumbing / HVAC	E-7	Suite Plans		
A007	AREA & OCCUPANCY SCHEDULES	A600	TYPICAL DETAILS	C08	Roadway Details			M21	Parkade Plan - HVAC	E-8	Suite Plans		
A100	SITE PLAN & B/LAW REVIEW	A601	SECTION DETAILS					M22	First Floor Plan - HVAC				
A200	U/G PARKING FLOOR PLAN	A700	MILLWORK PLANS					M23	Roof Plan - Plumbing / HVAC				
A201	U/G PARKING FLOOR CEILING PLAN	A701	MILLWORK PLANS					M31	Unit Plans - Plumbing / HVAC				
A202	OVERALL FIRST & SECOND FLOOR PLANS	A702	MILLWORK PLANS					M32	Unit Plans - Plumbing / HVAC				
A203	OVERALL THIRD AND FOURTH FLOOR PLANS	A800	DOOR SCHEDULE					M33	Unit Plans - Plumbing / HVAC				
A204	ENLARGED FLOOR PLANS - FIRST FLOOR	A801	DOOR SCHEDULE					M34	Unit Plans - Plumbing / HVAC				
A205	ENLARGED FLOOR PLANS - FIRST FLOOR	A802	DOOR SCHEDULE					M41	Mechanical Riser Diagrams & Schematics				
A206	ENLARGED FLOOR PLANS - SECOND FLOOR	A803	DOOR SCHEDULE					M42	Mechanical Riser Diagrams & Schematics				
A207	ENLARGED FLOOR PLANS - SECOND FLOOR	A804	WINDOW SCHEDULES					M43	Mechanical Riser Diagrams & Schematics				
A208	ENLARGED FLOOR PLANS - THIRD FLOOR	A805	WINDOW SCHEDULES					M51	Mechanical Details				
A209	ENLARGED FLOOR PLANS - THIRD FLOOR	A806	STOREFRONT SCHEDULES					M52	Mechanical Details				
A210	ENLARGED FLOOR PLANS - FOURTH FLOOR	A900	INT. FINISH PLANS					M61	Mechanical Equipment Schedules				
A211	ENLARGED FLOOR PLANS - FOURTH FLOOR	A901	INT. FINISH PLANS					M62	Mechanical Equipment Schedules				
A212	CIRCULATION PLANS	A902	INT. FINISH PLANS					M71	Mechanical Specifications				
A213	CIRCULATION PLANS	A903	INT. FINISH PLANS					M72	Mechanical Specifications				
A214	CIRCULATION SECTION	A904	INT. FINISH PLANS										
A215	ENLARGED SUITE PLANS												
A216	ENLARGED SUITE PLANS												
A217	ENLARGED SUITE PLANS												
A218	ENLARGED SUITE PLANS												
A219	RCP PLANS												



ARCHITECTURE
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CONSULTANTS

CLIENT

REVISIONS		
Revision	Description	Date
2	60% CD	2020 11 04
3	ISSUED FOR DP	2020 11 10

BC HOUSING
SUPPORTIVE HOUSING
WEST KELOWNA
ADDRESS

3788 & 3792 BROWN ROAD, WEST KELOWNA
BC

PROJECT #
19074
DATE
2020-11-10
REV.
3

SHEET
COVER PAGE
A000

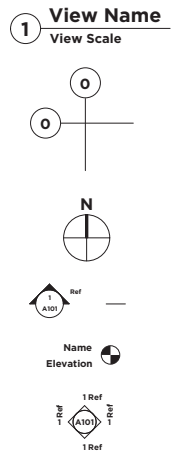
GENERAL CONSTRUCTION NOTES

- THESE NOTES ARE TO BE READ IN CONJUNCTION WITH THE DRAWINGS AND SPECIFICATIONS, FINISHES SCHEDULE AND OWNERS SUPPLY SCHEDULE.
- CONFIRM ALL DIMENSIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.
- ALL LABOUR, MATERIALS, AND PRODUCTS TO COMPLY WITH THE REQUIREMENTS OF THE BRITISH COLUMBIA BUILDING CODE 2018 EDITION (BCBC) AND ALL OTHER APPLICABLE CODES, STANDARDS AND BY-LAWS.
- BUILDING CODE, SAFETY STANDARDS, AND REGULATORY STATUTE REFERENCES ON DRAWINGS ARE FOR AUTHORITY REVIEW PURPOSES ONLY. THE PRESENCE OF THE AFOREMENTIONED NOTES DOES NOT RELEASE THE CONTRACTOR AND ALL OTHERS INVOLVED IN THE CONSTRUCTION OF THE PROJECT FROM THEIR LEGAL AND STATUTORY RESPONSIBILITY TO CONFORM TO THE LAW OF THE LAND IN CONSTRUCTION AND THE CONSTRUCTION OF THE BUILDING.
- ALL DIMENSIONS ARE TO FACE OF CONCRETE, FACE OF STUDS, OR TO GROUNDLINE UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS MUST BE FIELD MEASURED ON SITE AND SHOWN ON SHOP DRAWINGS. ALL DIMENSIONS MUST BE VERIFIED PRIOR TO CARRYING OUT WORK.
- IF ADJUSTMENTS ARE REQUIRED, ADVISE THE CONSULTANT PRIOR TO CARRYING OUT WORK.
- ALL AREAS ADJACENT TO AREA OF WORK ARE TO BE CONSIDERED OCCUPIED. WORK THAT IMPAIRS CORRIDOR ACCESS IS TO BE COORDINATED IN ADVANCE WITH OWNER.
- PATCH AND MAKE GOOD ALL DAMAGED FINISHES & STRUCTURE (WALL, FLOOR, & CEILING) WHICH WERE A RESULT FROM DEMOLITION OR CONSTRUCTION.
- COORDINATE WITH OWNER THE REMOVAL OF ALL EQUIPMENTS, AND SUPPLIES PRIOR TO CONSTRUCTION.
- IF CONTRACTOR FINDS ASBESTOS OR OTHER HAZARDOUS MATERIALS IN THE COURSE OF THE WORK, STOP WORK AND IMMEDIATELY REPORT TO CONSULTANT.
- PROVIDE SOLID BLOCKING AS REQUIRED IN PARTITION WALLS TO SUPPORT SHELVING, HANGER RODS, MILLWORK, SINKS, ACCESSORIES AND OTHER ITEMS THAT ARE PART OF THIS CONTRACT OR PROVIDED BY OTHERS.
- REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR COMPLETE SPECIFICATIONS, INCLUDING COLOUR AND FINISHES OF EQUIPMENT AND COVER PLATES.
- MECHANICAL AND ELECTRICAL ITEMS SHOWN ON THESE ARCHITECTURAL DRAWINGS ARE FOR COORDINATION PURPOSES. REFER TO RESPECTIVE DISCIPLINES FOR COMPLETE LAYOUTS.
- REFER TO THE SPECIFICATIONS FOR DETAILS AROUND ALTERNATE PRICES AND CASH ALLOWANCES.
- FLOORS ARE TO BE MADE LEVEL PRIOR TO ANY FLOORING INSTALLATION.
- ALL NEW AND EXISTING PENETRATIONS AND WALLS ARE TO BE SEALED TO PREVENT AIR LEAKAGE.

ABBREVIATIONS

AC.	ACOUSTIC	GA	GAUGE	RAD.	RADIUS
ADJ.	ADJUSTABLE	GB	GRAB BAR	RB	ROLLER BLINDS
ALT.	ALTERNATE	RCP	REFLECTED CEILING PLAN	RD	ROOF DRAIN
ALUM.	ALUMINUM	GLUMAM	GLUE LAMINATED	RF	REINFORCED
AND	AND/OR	GR	GRADE	REV.D	REQUIRED
APPROX.	APPROXIMATE	GWB	GYPSSUM WALL BOARD	REV.	REVISION
AVM	AVR/VAPOUR/MOISTURE	GWB	GYPSSUM WALL BOARD - WATER RESISTANT	RTU	ROOF TOP UNIT
				RM	ROOM
BD.	BOARD	HCW	HOLLOW CORE WOOD	RO	ROUGH OPENING
BLDG.	BUILDING	HDR	HEADER	RWD	RAIN WATER DOWN PIPE
BLK.	BLOCK	HD.WD.	HARD WOOD	RWL	RAIN WATER LEADER
BLKG.	BLOCKING	HHS	HAND HYGIENE SINK		
BM.	BEAM	HLM	HOLLOW METAL		
BOT.	BOTTOM	HORZ.	HORIZONTAL		
		HSS	HOLLOW STRUCTURAL SECTION		
CB	CATCH BASIN	HTE	HEATER	SCW	SOLID CORE WOOD
CG	CORNER GUARD	HWT	HOT WATER TANK	SD	SOAP DISPENSER
CIP	CAST IN PLACE			SAN.D	SANITARY DISPOSAL
CJ	CONTROL JOINT	ID	INSIDE DIAMETER	SEC.G	SECURITY GRILLE
CL	CENTER LINE	IF	INSIDE FACE	SECT.	SECTION
CLU	CEILING	INSUL	INSULATION	SEM GLSS	SEMI GLOSS
CMU	CONCRETE MASONRY UNIT	INT.	INTERIOR	SHGT.	SHEATHING
COL	COLUMN			SIM	SIMILAR
COMP	COMPACTED	JT.	JOINT	SNW.G	SNOW GUARD
CONC.	CONCRETE			SOG	SLAB ON GRADE
CONT.	CONTINUOUS	LAV	LAVATORY	STC	SOUND TRANSMISSION CLASS
CORR	CORRIDOR	L.G.	LONG	SPEC.	SPECIFICATION
COV	COVER			SQ.	SQUARE
C/W	COMPLETE WITH	M.STD.	METAL STUD	SS	STAINLESS STEEL
CSCI	CONTRACTOR SUPPLY-CONTRACTOR INSTALL	M	METER	STD	STANDARD
		MATL	MATERIAL	STRUC.	STRUCTURAL
		MAX.	MAXIMUM	SUSP.	SUSPENDED
		MEF	MEDIUM DENSITY FIBREBOARD	SYM.	SYMMETRICAL
DEG.	DEGREE	MECH.	MECHANICAL	T&G	TONGUE AND GROOVE
DIA.	DIAMETER	MEZZ.	MEZZANINE	TBD	TO BE DETERMINED
DIAG.	DIAGONAL	MH	MANNHOLE	TEMP.	TEMPERATURE
DN.	DOWN	MIN.	MINIMUM	T/O	TOilet
DRY.	DRYER (CLOTHES)	MISC.	MISCELLANEOUS	TP	TOILET WASHROOM PARTITIONS
DWG(S)	DRAWING(S)	mm	MILLIMETERS	TPD	TOILET PAPER DISPENSER
		MO	MASONRY OPENING	TRANS.	TRANSFORMER
		MR	MOISTURE RESISTANT	TS	TRACK SYSTEM
		MS	MOP SINK	TV	TELEVISION
EA	EACH			TYP.	TYPICAL
EAF	EACH FACE	NIC	NOT IN CONTRACT	U	UNDER COUNTER
ELEC.	ELECTRICAL	NO	NOT TO SCALE	U/O	UNDER NOTED OTHERWISE
ELEV.	ELEVATION	NTS	NOT TO SCALE	U/S	UNDERSIDE
EQ	EQUAL				
ES	EXPOSED STRUCTURE	O/C	ON CENTER	VB	VAPOUR BARRIER
EXIST.	EXISTING	O.D.	OUTSIDE DIAMETER	VERT.	VERTICAL
EXP.	EXPANDED	O.S.F.	OUTSIDE FACE	VEST.	VESTIBULE
EXP.JT.	EXPANSION JOINT	OSP	OPPOSITE	VLC	VERNACARE
EXTR.	EXTERIOR	OSB	ORIENTED STRAND BOARD	V.J	V JOINT
EXT.GR.	EXTERIOR GRADE	OS/CI	OWNER SUPPLY-OWNER INSTALL	VOL	VOLUME
		OS/CI	OWNER SUPPLY-CONTRACTOR INSTALL		
		OS/VI	OWNER SUPPLY-VENDOR INSTALL	W/	WITH
FOC	FACE OF CURB	OWSJ	OPEN WEB STEEL JOIST	WD	WOOD
F	FLOOR DRAIN			WF	WALL FOUNTAIN
FD	FLOOR DRAIN	PAT	PATIENT	WWM	WELDED WIRE MESH
FDR	FOUNDATION	PERM.	PERIMETER		
FE	FIRE EXTINGUISHER	PG	PLATE GLASS		
FEC	FIRE EXTINGUISHER CABINET	PJ	PARALAM JOIST		
FHC	FIRE HOSE CABINET	PLY	PLYWOOD		
FIN.GD.	FINISHED GRADE	P/LAM	PLASTIC LAMINATE		
FLR	FLOOR	POLY.	POLYETHYLENE		
FP	FIRE PLACE	PP	POWER POLE		
FRP	FIBER REINFORCED PLASTIC	PSF	PARALAM STEEL CONNECTION		
FRT	FIRE SHUTTER	PSC	PRESSED STEEL FRAME		
FTG.	FOOTING	PT	PRESSURE TREATED		
FURR.	FURRING	PID	PAPER TOWEL DISPENSER		
F/O	FACE OF	PROJ.	PROJECTION		
		PVC	POLYVINYL CHLORIDE		
		PVCW	POLYVINYL CHLORIDE WALLCOVERING		

GRAPHIC LEGEND



DRAWING REFERENCE		DEMOLITION KEYNOTES		EARTH
		CONSTRUCTION KEYNOTES		GRAVEL
		WALL TAG		INSULATION - BATT
		FLOOR/ROOF TAG		INSULATION - RIGID
		WINDOW TAG		INSULATION - SEMI-RIGID
		DOOR TAG		INSULATION - SPRAY FOAM
		ROOM TAG		LANDSCAPING
		EXISTING WALL		MASONRY
		EXISTING WALL TO BE DEMOLISHED		PLYWOOD
		NEW WALL		SAND/GWB
		FIRE SEPARATION		STEEL
		EXISTING BUILDING		
		HOARDING		
		CONCRETE		
		CONCRETE BLOCK		

KEYNOTE LEGEND- OVERALL

3	CONC. COLUMN (REFER TO STRUCT.)
4	CONC. BEAM ABOVE (REFER TO STRUCT.)
5	FOOTING BELOW (REFER TO STRUCT.)
6	PAD FOOTING BELOW (REFER TO STRUCT.)
7	300 mm RETAINING WALL (REFER TO MECH.)
8	PAINTED PARKING STALL INDICATOR, 100mm
9	CONC. RAMP GOING ABOVE
10	CATCH BASIN (REFER TO MECH.)
11	TRENCH DRAIN (REFER TO MECH.)
15	SANITARY DRAIN PIPE (REFER TO MECH.)
16	MOP SINK (REFER TO MECH.)
17	SINK (REFER TO MECH.)
19	MECHANICAL SHAFT
22	STARWELL C/W METAL PIPE GUARDRAIL & HANDRAIL AS REQUIRED PER CURRENT EDITION OF 2018 BCBC. SEE CIRCULATION PLANS & SECTIONS.
32	INSTALL MOISTURE RESISTANT GWB IN WET AREAS ON WALLS & CEILINGS (W/C, JANITOR, LAUNDRY)
35	CORNER MIRROR, FACE MOUNTED
36	STORAGE SHELF
37	LINEN CLOSET SHELF
38	COAT HOOK
39	COAT SHELF
41	COUNTERTOP (REFER TO MILLWORK PLANS & ELEVATION)
43	PREFABRICATED TUB
44	PREFABRICATED ACCESSIBLE SHOWER STALL
45	WATER CLOSET
46	VANITY SINK
47	WASHER/DRYER
48	MIRROR
53	RANGE W/ HOOD FAN SYSTEM
54	REFRIGERATOR
55	DISHWASHER
57	KITCHEN SINK
61	RECESSED LIGHTING (REFER TO ELEC.)
65	STOP SIGN, FACE MOUNTED
C1	
M1	BASE CABINET
M2	UPPER CABINET
P1	PAINTED GWB WALL
P4	
12	RESILIENT RUBBER WALL BASE
V1	VINYL PLANK

COVER

Architectural Collaborative Inc.

ARCHITECTURE

#1 St. James Street
V6A 1A8
200 St. James Street
V6A 1A8

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CONSULTANTS

CLIENT

REVISIONS

Revision	Description	Date
2	60% CD	2020 11 04
3	ISSUED FOR DP	2020 11 10

BC HOUSING SUPPORTIVE HOUSING WEST KELOWNA ADDRESS

3788 & 3792 BROWN ROAD, WEST KELOWNA BC

PROJECT #

19074

DATE

2020-11-10

REV.

3










SHEET

GENERAL NOTES & LEGENDS













A001

CONSTRUCTION ASSEMBLIES SCHEDULE




FOUNDATION WALL


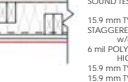


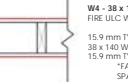


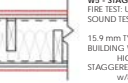


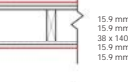


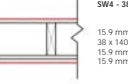


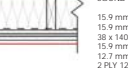


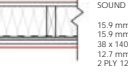


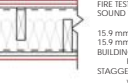

	 <p>FN1 - CAST-IN-PLACE CONC. FOUNDATION CONC. PARGING (300 mm BELOW GRADE & ALONG RAMP WALL) 75mm RIGID INSULATION WATERPROOF MEMBRANE 250mm CAST-IN-PLACE CONC. (REFER TO STRUCT.)</p>	
	 <p>FN2 - CAST-IN-PLACE CONC. FOUNDATION 200 mm CAST-IN-PLACE CONC. (REFER TO STRUCT.)</p>	
	 <p>FN2 - CAST-IN-PLACE CONC. FOUNDATION 300 mm CAST-IN-PLACE CONC. (REFER TO STRUCT.)</p>	





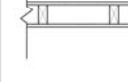


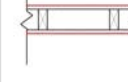


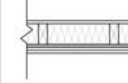


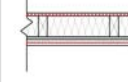


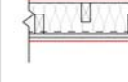







EXTERIOR LOAD-BEARING WALL

	 <p>W1 - 38 X 140 WOOD STUD EXT. WALL, 1 hr FRR 2018 BCBC APPENDIX D FOR FRR RATING EXTERIOR CLADDING (REFER TO ELEVATION) WEATHER BARRIER 15.9 mm EXTERIOR GRADE PLYWOOD SHEATHING (TAPE SEAMS & ALL PENETRATION W/ HIGH PERFORMANCE TAPE) 38 x 140 WOOD STUDS SPACED @ 400 mm O.C. (20 min FRR - TABLE D-2.3.4-E) W/ R24 BATT INSULATION INTELLO AIR MEMBRANE (DEAL SEAMS & ALL PENETRATION W/ HIGH PERFORMANCE TAPE) 15.9 mm TYPE 'X' GYPSUM BOARD (40 min FRR - TABLE D-2.3.4-A)</p>	
	 <p>SW1 - 38 X 140 WOOD STUD SHEAR EXT. WALL, 1 hr FRR 2018 BCBC APPENDIX D FOR FRR RATING EXTERIOR CLADDING (REFER TO ELEVATION) WEATHER BARRIER 15.9 mm EXTERIOR GRADE PLYWOOD SHEATHING (TAPE SEAMS & ALL PENETRATION W/ HIGH PERFORMANCE TAPE) W/ R24 BATT INSULATION INTELLO AIR MEMBRANE (DEAL SEAMS & ALL PENETRATION W/ HIGH PERFORMANCE TAPE) 15.9 mm PLYWOOD SHEATHING 12.7 mm TYPE 'C' GYPSUM BOARD (25 min FRR - TABLE D-2.3.4-A)</p>	
	 <p>SW2 - 38 X 140 WOOD STUD SHEAR EXT. WALL, 1 hr FRR EXTERIOR CLADDING (REFER TO ELEVATION) WEATHER BARRIER 15.9 mm EXTERIOR GRADE TYPE 'X' GYPSUM BOARD (40 min FRR - TABLE D-2.3.4-A) 15.9 mm EXTERIOR GRADE PLYWOOD SHEATHING (DEAL SEAMS & ALL PENETRATION W/ HIGH PERFORMANCE TAPE) 38 x 140 WOOD STUDS SPACED @ 400 mm O.C. (20 min FRR - TABLE D-2.3.4-E) W/ R24 BATT INSULATION INTELLO AIR MEMBRANE (DEAL SEAMS & ALL PENETRATION W/ HIGH PERFORMANCE TAPE) 15.9 mm PLYWOOD SHEATHING 15.9 mm TYPE 'X' GYPSUM BOARD (40 min FRR - TABLE D-2.3.4-A)</p>	
	 <p>SW2a - 38 X 140 WOOD STUD SHEAR EXT. WALL, 1 hr FRR EXTERIOR CLADDING (REFER TO ELEVATION) WEATHER BARRIER 15.9 mm EXTERIOR GRADE TYPE 'X' GYPSUM BOARD (40 min FRR - TABLE D-2.3.4-A) 15.9 mm EXTERIOR GRADE PLYWOOD SHEATHING (DEAL SEAMS & ALL PENETRATION W/ HIGH PERFORMANCE TAPE) 38 x 140 WOOD STUDS SPACED @ 400 mm O.C. (20 min FRR - TABLE D-2.3.4-E) W/ R24 BATT INSULATION INTELLO AIR MEMBRANE (DEAL SEAMS & ALL PENETRATION W/ HIGH PERFORMANCE TAPE) 15.9 mm TYPE 'X' GYPSUM BOARD (40 min FRR - TABLE D-2.3.4-A)</p>	

INTERIOR LOADBEARING WALL

	 <p>W2 - STAGGERED 38 x 89 WOOD STUDS PARTY WALL, 1 HR FRR, 52 STC FIRE TEST: ULC W313 SOUND TEST: TABLE 9.10.3.1-A, W8a 15.9 mm TYPE 'X' GYPSUM BOARD STAGGERED 38 x 89 WOOD STUDS ON 38 x 140 PLATED @ 300 O.C. w/89mm SOUND-PROOF INSULATION 6 mil POLY (TAPE SEAMS & ALL PENETRATION W/ HIGH PERFORMANCE TAPE) 15.9 mm TYPE 'X' GYPSUM BOARD *FASTEN 1 LAYER VERTICALLY OR HORIZONTALLY TO BOTH SIDES WITH 32 mm TYPE W SCREWS SPACED 203 mm O.C. FASTEN FACE LAYER USING 60 mm LONG NAILS SPACED 203 mm O.C. VERTICAL JOINTS LOCATED OVER STUDS. ALL JOINTS IN FACE LAYER STAGGERED WITH JOINTS IN BASE LAYER. TAPE & FINISH OUT LAYER JOINTS.*</p>	
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	 <p>W3 - STAGGERED 2-38 x 89 WOOD STUDS PARTY WALL, 1 HR FRR, 52 STC FIRE TEST: ULC W313 SOUND TEST: TABLE 9.10.3.1-A, W8a 15.9 mm TYPE 'X' GYPSUM BOARD STAGGERED 2-38 x 89 WOOD STUDS ON 38 x 140 PLATED @ 300 O.C. w/89mm SOUND-PROOF INSULATION 6 mil POLY (TAPE SEAMS & ALL PENETRATION W/ HIGH PERFORMANCE TAPE) 15.9 mm TYPE 'X' GYPSUM BOARD 15.9 mm TYPE 'X' GYPSUM BOARD *FASTEN 1 LAYER VERTICALLY OR HORIZONTALLY TO BOTH SIDES WITH 32 mm TYPE W SCREWS SPACED 203 mm O.C. FASTEN FACE LAYER USING 60 mm LONG NAILS SPACED 203 mm O.C. VERTICAL JOINTS LOCATED OVER STUDS. ALL JOINTS IN FACE LAYER STAGGERED WITH JOINTS IN BASE LAYER. TAPE & FINISH OUT LAYER JOINTS.*</p>	
	 <p>W4 - 38 x 140 WOOD STUDS INT. WALL, 1 HR FRR FIRE ULC W 301 15.9 mm TYPE 'X' GYPSUM BOARD 38 x 140 WOOD STUDS @ 400 O.C. 15.9 mm TYPE 'X' GYPSUM BOARD *FASTEN BOARDS VERTICALLY USING 51 mm NAILS SPACED 175 mm O.C. JOINTS MUST BE OFFSET. TAPE & FINISH JOINTS*</p>	
	 <p>W5 - STAGGERED 38 x 140 WOOD STUDS PARTY WALL, 1 HR FRR, 52 STC FIRE TEST: ULC W313 SOUND TEST: TABLE 9.10.3.1-A, W8a 15.9 mm TYPE 'X' GYPSUM BOARD BUILDING WRAP (DEAL SEAMS & ALL PENETRATION W/ HIGH PERFORMANCE TAPE) STAGGERED 38 x 140 WOOD STUDS ON 38 x 184 PLATED @ 400 O.C. w/89mm SOUND-PROOF INSULATION BUILDING WRAP (DEAL SEAMS & ALL PENETRATION W/ HIGH PERFORMANCE TAPE) 15.9 mm TYPE 'X' GYPSUM BOARD 15.9 mm TYPE 'X' GYPSUM BOARD *FASTEN 1 LAYER VERTICALLY OR HORIZONTALLY TO BOTH SIDES WITH 32 mm TYPE W SCREWS SPACED 203 mm O.C. FASTEN FACE LAYER USING 60 mm LONG NAILS SPACED 203 mm O.C. VERTICAL JOINTS LOCATED OVER STUDS. ALL JOINTS IN FACE LAYER STAGGERED WITH JOINTS IN BASE LAYER. TAPE & FINISH OUT LAYER JOINTS.*</p>	
	 <p>SW3 - 38 x 140 INTERIOR SHEAR WALL, 1 hr FRR 15.9 mm TYPE 'X' GYPSUM BOARD (40 min FRR - TABLE D-2.3.4-A) 15.9 mm PLYWOOD SHEATHING 38 x 140 WOOD STUDS @ 400 mm O.C. (20 min FRR - TABLE D-2.3.4-E) 15.9 mm PLYWOOD SHEATHING 15.9 mm TYPE 'X' GYPSUM BOARD (40 min FRR - TABLE D-2.3.4-A)</p>	
	 <p>SW4 - 38 x 140 INTERIOR SHEAR WALL, 1 hr FRR 15.9 mm TYPE 'X' GYPSUM BOARD (40 min FRR - TABLE D-2.3.4-A) 38 x 140 WOOD STUDS @ 400 mm O.C. (20 min FRR - TABLE D-2.3.4-E) 15.9 mm PLYWOOD SHEATHING 15.9 mm TYPE 'X' GYPSUM BOARD (40 min FRR - TABLE D-2.3.4-A)</p>	
	 <p>SW5 - 38 x 140 INTERIOR SHEAR WALL, 1 hr FRR, 53 STC 2018 BCBC APPENDIX D FOR FRR RATING SOUND TEST: W4d 15.9 mm TYPE 'X' GYPSUM BOARD (40 min FRR - TABLE D-2.3.4-A) 15.9 mm PLYWOOD SHEATHING 38 x 140 WOOD STUDS @ 400 mm O.C. (20 min FRR - TABLE D-2.3.4-E) 15.9 mm PLYWOOD SHEATHING 12.7 mm RESILIENT CHANNEL @ 400 mm O.C. (NOTE 4, TABLE D-2.3.4-A) 2 PLV 12.7 mm TYPE 'C' GYPSUM BOARD (40 min FRR - TABLE D-2.3.4-A)</p>	
	 <p>SW6 - 38 x 140 INTERIOR SHEAR WALL, 1 hr FRR, 53 STC 2018 BCBC APPENDIX D FOR FRR RATING SOUND TEST: W4d 15.9 mm TYPE 'X' GYPSUM BOARD (40 min FRR - TABLE D-2.3.4-A) 15.9 mm PLYWOOD SHEATHING 38 x 140 WOOD STUDS @ 400 mm O.C. (20 min FRR - TABLE D-2.3.4-E) 12.7 mm RESILIENT CHANNEL @ 400 mm O.C. (NOTE 4, TABLE D-2.3.4-A) 2 PLV 12.7 mm TYPE 'C' GYPSUM BOARD (40 min FRR - TABLE D-2.3.4-A)</p>	
	 <p>SW7 - STAGGERED 38 x 140 WOOD STUDS INT. SHEAR WALL, 1 HR FRR, 52 STC (SUITE PARTY WALL) FIRE TEST: ULC W313 SOUND TEST: TABLE 9.10.3.1-A, W8a 15.9 mm TYPE 'X' GYPSUM BOARD 15.9 mm PLYWOOD SHEATHING BUILDING WRAP (TAPE SEAMS & ALL PENETRATION W/ HIGH PERFORMANCE TAPE) STAGGERED 38 x 140 WOOD STUDS ON 38 x 184 PLATED @ 400 O.C. w/89mm SOUND-PROOF INSULATION BUILDING WRAP (TAPE SEAMS & ALL PENETRATION W/ HIGH PERFORMANCE TAPE) 15.9 mm TYPE 'X' GYPSUM BOARD 15.9 mm TYPE 'X' GYPSUM BOARD *FASTEN 1 LAYER VERTICALLY OR HORIZONTALLY TO BOTH SIDES WITH 32 mm TYPE W SCREWS SPACED 203 mm O.C. FASTEN FACE LAYER USING 60 mm LONG NAILS SPACED 203 mm O.C. VERTICAL JOINTS LOCATED OVER STUDS. ALL JOINTS IN FACE LAYER STAGGERED WITH JOINTS IN BASE LAYER. TAPE & FINISH OUT LAYER JOINTS.*</p>	

	 <p>SW8 - STAGGERED 38 x 89 WOOD STUDS INT. WALL, 1 HR FRR, 52 STC FIRE TEST: ULC W313 SOUND TEST: TABLE 9.10.3.1-A, W8a 15.9 mm TYPE 'X' GYPSUM BOARD STAGGERED 38 x 89 WOOD STUDS ON 38 x 140 PLATED @ 300 O.C. w/89mm SOUND-PROOF INSULATION 6 mil POLY (TAPE SEAMS & ALL PENETRATION W/ HIGH PERFORMANCE TAPE) 15.9 mm TYPE 'X' GYPSUM BOARD 15.9 mm TYPE 'X' GYPSUM BOARD *FASTEN 1 LAYER VERTICALLY OR HORIZONTALLY TO BOTH SIDES WITH 32 mm TYPE W SCREWS SPACED 203 mm O.C. FASTEN FACE LAYER USING 60 mm LONG NAILS SPACED 203 mm O.C. VERTICAL JOINTS LOCATED OVER STUDS. ALL JOINTS IN FACE LAYER STAGGERED WITH JOINTS IN BASE LAYER. TAPE & FINISH OUT LAYER JOINTS.*</p>	
INTERIOR NON-LOADBEARING WALL		
	 <p>P3 - 2 x 4 INTERIOR PARTITION 12.7 mm GYPSUM BOARD 38 x 89 WOOD STUDS 12.7 mm GYPSUM BOARD</p>	
	 <p>P4 - 2 x 4 INTERIOR PARTITION, 1 hr FRR FIRE TEST: ULC W301 15.9 mm TYPE 'X' GYPSUM BOARD 38 x 89 WOOD STUDS 15.9 mm TYPE 'X' GYPSUM BOARD *FASTEN BOARDS VERTICALLY USING 51 mm NAILS SPACED 175 mm O.C. JOINTS MUST BE OFFSET. TAPE AND FINISH JOINTS.*</p>	
	 <p>P3 - 38 x 89 PARTY WALL, 52 STC SOUND TEST: W4d 12.7 mm GYPSUM BOARD 38 x 89 WOOD STUDS @ 400 mm O.C. 89 mm SOUND-PROOF INSULATION 12.7 mm RESILIENT CHANNEL 12.7 mm GYPSUM BOARD</p>	
	 <p>P4 - 38 x 89 PARTY WALL, 1HR FRR, 52 STC SOUND TEST: W4d 15.9 mm TYPE 'X' GYPSUM BOARD 38 x 89 WOOD STUDS @ 400 mm O.C. 89 mm SOUND-PROOF INSULATION 12.7 mm TYPE 'X' GYPSUM BOARD 12.7 mm TYPE 'X' GYPSUM BOARD</p>	
	 <p>P5 - 38 x 89 STAGGERED PARTY WALL, 1HR FRR, 52 STC FIRE TEST: ULC W313 SOUND TEST: TABLE 9.10.3.1-A, W8a 15.9 mm TYPE 'X' GYPSUM BOARD 38 x 89 WOOD STUDS @ 400 mm O.C. 89 mm SOUND-PROOF INSULATION BUILDING WRAP 15.9 mm TYPE 'X' GYPSUM BOARD 15.9 mm TYPE 'X' GYPSUM BOARD</p>	
	 <p>P6 - 38 x 140 PLUMBING WALL 12.7mm GYPSUM BOARD 38 x 140 WOOD STUDS @ 400 mm O.C. 12.7mm GYPSUM BOARD</p>	
	 <p>P7 - 38 x 140 PLUMBING WALL 38 x 140 WOOD STUDS @ 400 mm O.C. 12.7mm GYPSUM BOARD</p>	



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CONSULTANTS

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REVISIONS

Revision	Description	Date
2	60% CD	2020 11 04
3	ISSUED FOR DP	2020 11 10

BC HOUSING
SUPPORTIVE HOUSING
WEST KELOWNA
ADDRESS

3788 & 3792 BROWN ROAD, WEST KELOWNA
BC

PROJECT #

19074

DATE

2020-11-10

SHEET

CONSTRUCTION ASSEMBLIES

REV.

3

A002

RES. UNIT SCHEDULE - THIRD FLOOR			
Number	Name	Area	Level
309	UNIT A	66.8 m ²	FO THIRD FLOOR
310	UNIT A1	46.6 m ²	FO THIRD FLOOR
311	UNIT A2	20.2 m ²	FO THIRD FLOOR
306	UNIT B	75.4 m ²	FO THIRD FLOOR
305	UNIT C	74.5 m ²	FO THIRD FLOOR
304	UNIT C1	74.9 m ²	FO THIRD FLOOR
302	UNIT E	85.2 m ²	FO THIRD FLOOR
308	UNIT F	83.8 m ²	FO THIRD FLOOR
307	UNIT G	115.2 m ²	FO THIRD FLOOR
303	UNIT H	77.6 m ²	FO THIRD FLOOR

Area Schedule (Gross Building)		
Name	Area	STOREY
UNDERGROUND PARKADE	999.8 m ²	1
MAIN FLOOR	997.4 m ²	2
SECOND FLOOR	998.2 m ²	3
THIRD FLOOR	998.2 m ²	4
FOURTH FLOOR	998.2 m ²	5
5	4991.8 m ²	

Area Schedule (Gross Building)		
Name	Area	STOREY
UNDERGROUND PARKADE	999.8 m ²	1
MAIN FLOOR	997.4 m ²	2
SECOND FLOOR	998.2 m ²	3
THIRD FLOOR	998.2 m ²	4
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UNDERGROUND PARKADE	999.8 m ²	1
MAIN FLOOR	997.4 m ²	2
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5	4991.8 m ²	

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SUPPORTIVE HOUSING
WEST KELOWNA
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3788 & 3792 BROWN ROAD, WEST KELOWNA

PROJECT #

DATE REV.

SHEET

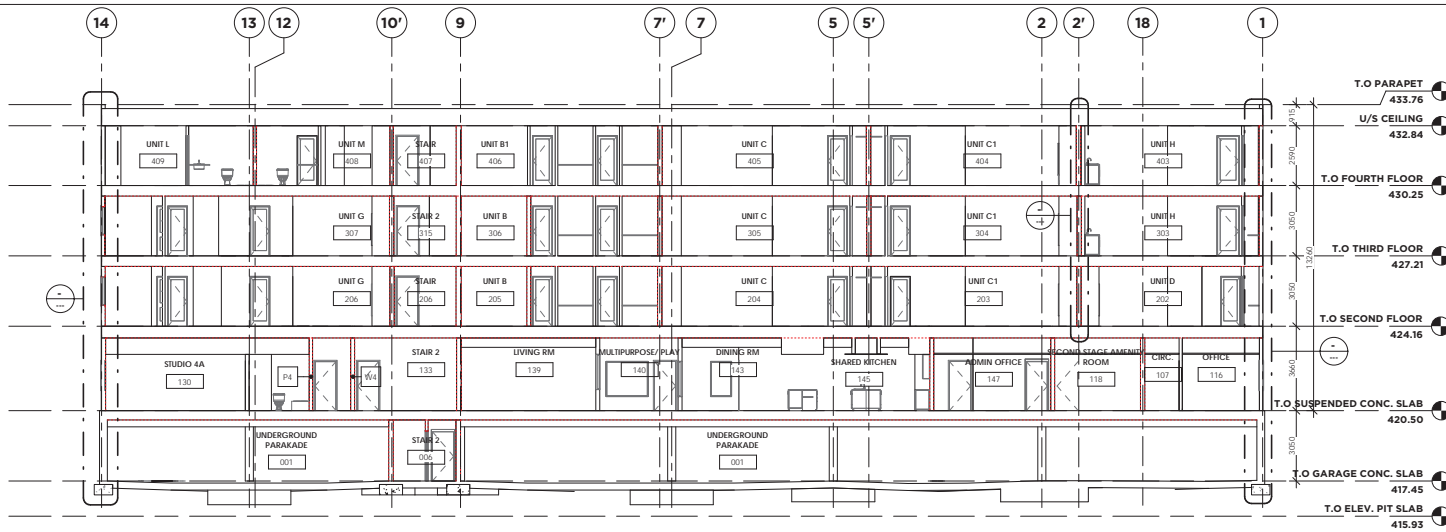
SCHEDULES A 227

A007



FOURTH FLOOR PLAN
1:100

A203



1 BUILDING SECTION 1
1:100

SHEET NOTES - SECTION

- A. ALL ELEVATIONS ARE FROM DATUM ELEVATION. MAIN FLOOR = 0.00m. WHERE GEODETIC ELEVATION IS INDICATED REFER TO CIVIL AND LANDSCAPE DRAWINGS.
- B. FRAMINGS SHOWN ON ARCHITECTURAL DRAWINGS IS FOR GRAPHIC REFERENCE ONLY.
- C. STRUCTURAL DRAWINGS SHALL TAKE PRECEDENCE IN MATTERS OF FRAMING, MEMBER SIZES, CONFIGURATION & CONNECTIONS AS WELL AS CONCRETE SLABS, WALLS AND FOUNDATIONS.
- D. ANY DISCREPANCIES FOUND BETWEEN THIS SHEET AND OTHER SHEETS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT FOR RESOLUTION. NO EXTRA COST WILL BE PAID FOR THE CONTRACTOR'S FAILURE TO THOROUGHLY REVIEW THE PLANS PRIOR TO CONSTRUCTION.
- E. REFER TO MECHANICAL PLANS FOR RETURN AND SUPPLY REGISTER LOCATIONS. PROVIDE WOOD FRAMING C/W CWB BULKHEADS AT MECHANICAL DUCT WORK. WHEN DUCTS CROSS FIRE RATED PARTITIONS PROVIDE FIRE DAMPERS AND FIRE RATED BULKHEAD TO CREATE HORIZONTAL FIRE SEPARATIONS AS REQUIRED BY BCBC.
- F. REFER TO LANDSCAPE ARCHITECT'S AND CIVIL ENGINEER'S DRAWINGS FOR ALL FINISH GRADE ELEVATIONS, SITE DRAINAGE, AND HARD LANDSCAPE ELEMENT DESIGN.
- G. REFER TO DRAWINGS A001, A002 & A003 FOR ALL GENERAL PROJECT NOTES, WALLS, FLOORS AND ROOF ASSEMBLIES.
- H. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ARCHITECT'S APPROVAL FOR ALL PREFABRICATED ITEMS PRIOR TO FABRICATION.



ARCHITECTURE

#1 St. James Street
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CONSULTANTS

CLIENT

REVISIONS

Revision	Description	Date
2	60% CD	2020 11 04
3	ISSUED FOR DP	2020 11 10

BC HOUSING SUPPORTIVE HOUSING WEST KELOWNA ADDRESS

3788 & 3792 BROWN ROAD, WEST KELOWNA
BC

PROJECT

19074

DATE

2020-11-10

REV.

3

SHEET BUILDING SECTIONS

A400



WEST

NORTH



Development Permit Submission

West Kelowna Supportive Housing

2020.11.10



SOUTH

EAST



Development Permit Submission

West Kelowna Supportive Housing

2020.11.10



North East

Development Permit Submission West Kelowna Supportive Housing

2020.11.10



Brown Rd. and Ingram



Architectural
Collaborative
Inc

Development Permit Submission

West Kelowna Supportive Housing

2020.11.10



Entrance

Development Permit Submission

West Kelowna Supportive Housing

2020.11.10

Schedule "B"

WEST KELOWNA BC HOUSING PROJECT

WEST KELOWNA, BC



LIST OF DRAWINGS

LIST OF DRAWINGS

ISSUED	DWG. NO	DESCRIPTION
Y	C01	COVER PAGE
Y	C02	SITE PLAN
Y	C03	SERVICING PLAN
Y	C04	GRADING PLAN
Y	C05	EROSION & SEDIMENT CONTROL PLAN
Y	C06	OFFSITE WORKS - CURB PLAN/PROFILE
Y	C07	UTILITY DETAILS
Y	C08	ROADWAY DETAILS



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6. THE CONTRACTOR SHALL COMPLETE ALL TI-ENS AND DISCONNECTS FOR CITY WATER, SEWER AND DRAINAGE SYSTEMS IN THE PRESENCE OF CITY PERSONNEL. IF A CONNECTION IS REQUIRED TO BE MADE WITH THE UTILITY CONSTRUCTION SERVICEMAN AT LEAST TWO (2) WORKING DAYS PRIOR TO SCHEDULING.
7. SURVEY COMPLETED BY FERROUSON LAND SURVEYING & GEOMATICS LTD., ON NOV. 8, 2019 AND FEB. 20, 2020. ELEVATIONS ARE BASED ON AN ASSUMED DATUM. ALL MEASUREMENTS AND DIMENSIONS ARE IN METRIC UNLESS NOTED OTHERWISE.
8. ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH MMCO STANDARDS AND SPECIFICATIONS PROVIDED IN VOLUME 2 OF THE MASTER MANUAL (CONSTRUCTION DOCUMENTS) (PLANITIAN EDITION).
9. HYDRO, TELEPHONE, CABLE AND GAS UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE MOST RECENT SPECIFICATIONS FOR EACH UTILITY.
10. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF WEST KENOWIA, REGIONAL DISTRICT OF THE CENTRAL OKANAGAN (RCOO), AND THE BC UTILITIES COMMISSION (BCUC).
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD LOCATING ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
12. THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE PARTIES AND THE CITY OF WEST KENOWIA, RDCO, FORTIS/BC HYDRO, TELUS, SHAW CABLE AND FORTIS GAS PRIOR TO CONSTRUCTION.
13. THE CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS, IF REQUIRED, FOR THE DIVERSION OF ALL THE REQUIRED UTILITY CONNECTIONS.
14. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AT LEAST 2 WEEKS BEFORE ANY COMMENCEMENT OF BEGINNING OF CONSTRUCTION.
15. THE CONTRACTOR SHALL PROVIDE WRITTEN NOTICE TO ALL RESIDENTS AFFECTED BY CONSTRUCTION AT LEAST 2 WEEK WORKING DAYS PRIOR TO CONSTRUCTION. COPIES OF THE NOTICE SHALL BE PROVIDED TO THE ENGINEER.
16. THE CONTRACTOR TO REMOVE ALL EXISTING SITE FEATURES SUCH AS EXISTING STRUCTURES, SURFACE TREATMENTS, ETC. AND STRIP TOPSOIL AS PER GEOTECHNICAL REPORT.
17. REFER TO GEOTECHNICAL REPORT COMPLETED BY INTERIOR TESTING ON JAN. 30, 2019 FOR RECOMMENDATIONS.

1. CONTRACTOR TO DISPOSE OF WASTE ASPHALT/CONCRETE MATERIAL AND UNSUITABLE FILL OFFSITE TO AN APPROVED DISPOSAL SITE.
2. ALL PROPOSED CURB IS BARRIER CURB . REFER TO DETAIL "D" ON COB.
3. ASPHALT STRUCTURE TO BE PER GEOTECHNICAL RECOMMENDATION:
 ASPHALT = 50mm
 BASE GRAVEL = 100mm
 SUBBASE GRAVEL = 500mm
5. ALL PAVEMENT MARKING TO BE AS SHOWN ON SITE PLAN. ALL WHITE PAINT EXCEPT FOR DESIGNATED ACCESSIBLE PARKING SYMBOLS.



DATE OF: 2020-08-28

1. REFER TO INTERIOR TESTING SERVICES LTD. REPORT DATED JAN. 30, 2019.
2. SURVEY DATA PROVIDED BY FERGUSON LAND SURVEYING LTD., 2020-02-20. ALL MEASUREMENTS AND DIMENSIONS ARE IN METRIC UNLESS NOTED OTHERWISE.
3. CONTOUR INTERVAL FOR EXISTING GROUND SURFACE IS 0.50m.



	WATER MAIN		C/S CURE STOP
	SANITARY SEWER		HYDRANT
	STORM SEWER		REBAR
	NATURAL GAS		REBAR COUPLING
	ELECTRICAL POWER		LINE VALVE
	TELECOMMUNICATIONS		SEWER MANHOLE
	FIBERGLASS CABLE		EX. STORM MANHOLE
	PAVEMENT CATCH BASIN		PR. SPOWELL
	GRAVEL EDGE		PR. CB MANHOLE
	FENCE		CATCH BASIN
	CONTOUR		TWIN CATCH BASIN
	LINE OF WORKS		PR. STREET LIGHT
	TOP OF SLOPE		EX. STREET LIGHT
	BOTTOM OF SLOPE		POWER POLE WITH COBRA ARM
	RETAINING WALL		UTILITY POLE
	SWALE		POLE ANCHOR
			UTILITY BOX
			SIGN

LANDSCAPE ELEVATION

 CONCRETE SURFACE

ASPHALT SURFACE

NOTES:

- OBJECTS WITH HEAVIER LINE WEIGHTS ARE DEMONSTRATED IN THE BACKGROUND

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ISSUED FOR - REVISION:

S	2020-06-20	ISSUED FOR DESIGN DEVELOPMENT
A	2020-06-19	ISSUED FOR DESIGN DEVELOPMENT

PROJECT NO:	20M-00614-00	D.
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1250

CHECKED BY:	ASSIGNED BY:
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DISCIPLINE:

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PROJECT:

WEST KELOWNA

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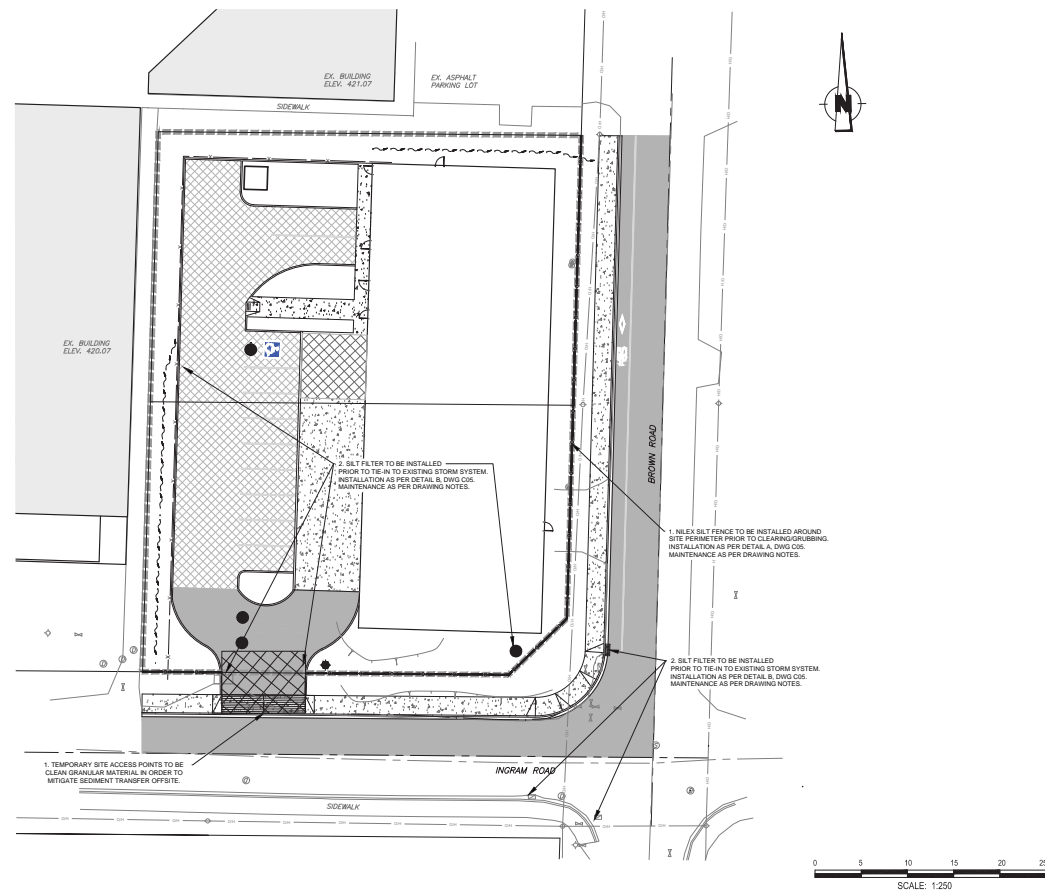
581

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1. SUPPLY AND INSTALL SILT FENCE AS REQUIRED.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING ALL TEMPORARY BERMS, SETTLING AREAS, INTERCEPT DITCHES AND CHECK DAMS TO PREVENT SILTATION AND DOWNSTREAM EROSION.
3. THE CONTRACTOR MUST MONITOR THE STATUS OF THE SITE AND THE SILT AND EROSION CONTROL MEASURES. ANY MAINTENANCE REQUIRED TO ANY OF THE SILT AND EROSION CONTROL FEATURES MUST BE CONDUCTED IMMEDIATELY.
4. ALL SILT AND EROSION CONTROL PROCEDURES TO BE DONE IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENTATION CONTROL.
5. UNDER THIS PLAN, ALL PERSONS INCLUDING BUT NOT LIMITED TO THE DEVELOPER, OWNER OF THE LAND, THE ENGINEER OF RECORD, CIVIL CONTRACTOR, CIVIL SUB-CONTRACTOR, BUILDER, A BUILDING SUB-TRADE ENGGAGED ON SITE SHALL COMPLY WITH ALL REGULATORY REQUIREMENTS SPECIFIED BY FEDERAL, STATE, AND LOCAL AGENCIES AND ALL CITY ORDINANCES REGARDING EROSION MANAGEMENT AND DISCHARGE ASSOCIATED WITH EROSION AND SEDIMENT CONTROL REGULATIONS.
6. THE DEVELOPER/PARTY PERSONS RESPONSIBLE SHALL COMPLETE ALL CONSTRUCTION ACTIVITIES IN A MANNER THAT ACHIEVES BEST MANAGEMENT PRACTICES TO PREVENT AND CONTAIN ON-SITE, SILT AND SLURF THAT EXISTED PRIOR TO ENTERING DOWNSTREAM DRAINAGE INFRASTRUCTURE AND AQUATIC SYSTEMS.
7. THE SITE SUPERVISOR IS RESPONSIBLE TO MONITOR, INSPECT, AND REPORT TO THE DEVELOPER, CONTRACTOR, AND CITY ON THE STATUS OF THE EROSION AND SEDIMENT CONTROL DISCHARGE PERFORMANCE IN ACCORDANCE TO THE CITY'S SEDIMENT CONTROL PROCESS.
8. THE DEVELOPER/OWNER/PARTY PERSONS RESPONSIBLE MUST COMPLY WITH THE ESC PLAN WITHIN THE SPECIFIED TIMEFRAME, AND COMPLY WITH ALL INSTRUCTION ISSUED BY THE SITE SUPERVISOR TO ADDRESS ANY CONCERNS THAT MAY ARISE DURING CONSTRUCTION WITHIN THE PERMIT.
9. ALL SITE ACCESS FROM DISTURBED AREAS TO PAVED SURFACES IS TO BE RESTRICTED AND SHALL LIMIT THE TRANSPORT OF SEDIMENT ON ROADWAYS.

- 2. EROSION CONTROL MEASURES MUST BE IMPLEMENTED IN TWO PHASES, DESIGNATED BY (1) AND (2).
 - 1. MUST BE IMPLEMENTED PRIOR TO CLEARING AND GRUBBING
 - 2. MUST BE IMPLEMENTED PRIOR TO TYING INTO THE EXISTING STORM SYSTEM.
- 3. INSTALL SPECIFIED ESC ACCESS FACILITIES MEASURES AT ENTRY/EXIT POINTS. ALL VEHICLE MOVEMENT TO AND FROM THE SITE IS TO BE RESTRICTED TO CONTROLLED ENTRY/EXIT POINTS AS SHOWN.
- 4. CONTRACTOR TO MAINTAIN COPY OF ESC PLAN ON SITE, DISTRIBUTE TO SUB-TRADES AS NECESSARY, AND ENSURE ESC SIGNAGE IS IN PLACE.
- 5. THE SITE SUPERVISOR WILL BE RESPONSIBLE FOR REVIEWING THE EXISTING ROADS DAILY AND THAT THE GENERAL CONTRACTOR SWEEPS THEM REGULARLY. FLUSHING OF ROADWAYS IS PROHIBITED.
- 6. INSTALLATION OF SILT FENCE SHALL BE AS PER MANUFACTURER'S SPECIFICATIONS, AND AS IN DETAIL A. THIS DRAWING.
- 7. CONTRACTOR TO IDENTIFY LOCATION OF TEMPORARY STOCKPILES FOR REVIEW BY THE ENGINEER OF RECORD PRIOR TO STOCKPILING.
- 8. DURING EXCAVATION, DEWATERING SUMPS ARE TO BE INSTALLED AS NECESSARY. DEWATERING SUMPS WILL CONSIST OF A VERTICAL, PERFORATED PIPE SURROUNDED BY DRAIN ROCK WITH A NON-WOVEN GEOTEXTILE TO SEPARATE THE NATIVE SOIL FROM THE DRAIN ROCK.
- 9. DEWATERING WHERE REQUIRED SHOULD BE PUMPED TO FILTER BERM. ADDITIONAL BERMS TO BE INSTALLED IF REQUIRED.
- 10. DEWATERING TO BE PUMPED TO FACILITY SITE OPERATIONS IF CAPACITY OF FILTER BERM IS EXCEEDED OR IS DEMONSTRATED TO BE INEFFECTIVE.
- 11. CATCH/LAIN BASINS COMPLETE WITH PROTECTIVE MEASURES ARE TO BE INSTALLED BY THE CONTRACTOR AT THE FIRST OPPORTUNITY.
- 12. CONTRACTOR TO CO-ORDINATE THE ELIMINATION OF TEMPORARY ESC FACILITIES IF THEY ARE NO LONGER REQUIRED OR TO FACILITATE SITE OPERATIONS WITH THE ENGINEER OF RECORD. ADDITIONAL ESC FACILITIES MAY NEED TO BE INSTALLED AS PER THE DIRECTION OF THE ENGINEER OF RECORD.

- UPON INSTRUCTION/NOTIFICATION, THE CONTRACTOR IS REQUIRED TO UNDERTAKE MAINTENANCE ACTIVITIES AS DEEMED SPECIFIED TO MODIFY OR MAINTAIN ESC FACILITIES.
- INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT (1-2 YEAR STORM AND/OR +40mm RAINFALL OVER 24 HOUR DURATION), AND REMOVE SEDIMENT WHEN ACCUMULATED SILT REACHES ½ FENCE HEIGHT OR 225mm MAXIMUM SUGGESTED STORAGE HEIGHT.
- GRAVEL ACCESS PAD SHALL BE INSPECTED DAILY TO ENSURE FUNCTIONALITY. ADD ADDITIONAL ROCK AS REQUIRED.
- THE DEVELOPER OR BUILDER MUST REGULARLY CLEAN ON AND OFF SITE PAVED ROAD SURFACES OF ACCUMULATED SEDIMENTS AT THE END OF EACH DAY OR AS REQUIRED, NO SOL, SAND OR OTHER MATERIAL WITH A HIGH SEDIMENT CONTENT SHALL BE DEPOSITED OR PILED OUTSIDE OF THE PROPERTY BOUNDARIES, PARTICULARLY ON PAVED ROAD SURFACES.
- ALL SEDIMENT REMOVED FROM ESC CONTROL FACILITIES TO BE DISPOSED OF IN A MANNER AS TO NOT COMPOUND OR COMPROMISE THE SEDIMENT LOADING OF OTHER CONTROL MEASURES.




—	WATER MAIN	—CB	CURB STOP
—	SANITARY SEWER	—H	HYDRANT
—	STORM SEWER	—R	REINFORCING
—	NATURAL GAS	—RC	ROBOM COUPLING
—	ELECTRICAL POWER	—L	LINE VALVE
—	TELECOMMUNICATIONS	—S	SEWER MANHOLE
—	FIBERGLASS CABLE	—EX	EX STORM MANHOLE
—	PAVEMENT EDGE	—PR	PR
—	GRAVEL EDGE	—PR	PR CB MANHOLE
—	FENCE	—C	CATCH BASIN
—	CONTOUR	—CB	TWIN CATCH BASIN
—	LINE OF WORKS	—C	CAMP
—	TOP OF SLOPE	—P	PR STREET LIGHT
—	BOTTOM OF SLOPE	—EX	EX STREET LIGHT
—	RETAINING WALL	—P	POWER POLE WITH COBRA ARM
—	SIDWALK	—U	UTILITY POLE
		—A	POLE ANCHOR
		—B	UTILITY BOX
		—S	SIGN

 CONCRETE SURFACE
 ASPHALT SURFACE
 PERMEABLE LANDSCAPE SURFACE

- OBJECTS WITH HEAVIER LINE WEIGHTS ARE DENOTING PROPOSED WORKS.

[illegible]

A		2020-08-28		ISSUED FOR 50% CD	
NO.		DATE		DESCRIPTION	
PROJECT NO.				DATE	
20M-00614-00				2020-06-19	
ORIGINAL SCALE:				IF THIS BAR IS NOT 25mm LONG, ADJUST YOUR PLOTTING SCALE.	
1:250					
DESIGNED BY:		DRAWN BY:			
NS		NS			
CHECKED BY:		APPROVED BY:			
SC		SC			

WSP

CLIENT: BC HOUSING

BC HOUSING

WEST KELOWNA
SUPPORTIVE HOUSING

EROSION & SEDIMENT
CONTROL PLAN


C05

ISSUED FOR 50% CD

2020.08.28

[illegible]

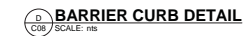
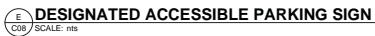


 **DESIGNATED ACCESSIBLE PARKING SIGN**
SCALE: nts



SIGN POST DETAIL

SIGN BASE DETAIL
SCALE: nts



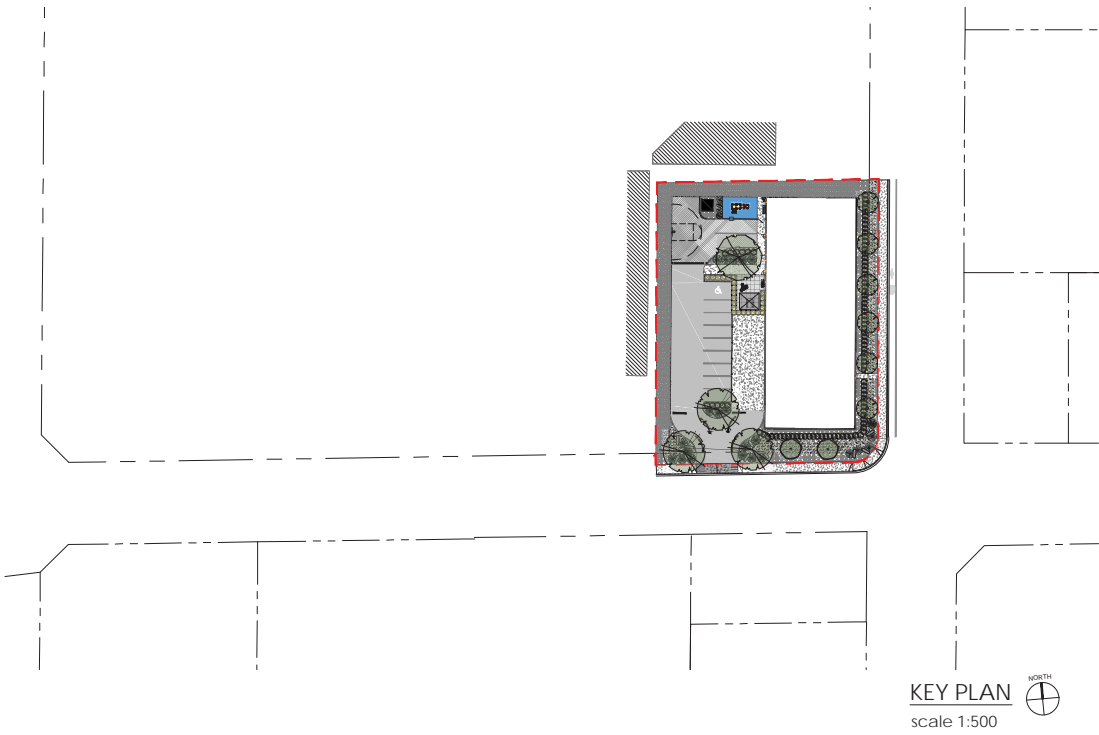
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BCH - BROWN ROAD, WEST KELOWNA, BC

ISSUED FOR DEVELOPMENT PERMIT
2020-06-04

Schedule "C"



CONSULTANT WSP GROUP LIMITED
SUITE 700-1631 DICKSON AVENUE
KELOWNA, BC V1Y 0B5

DRAWING LIST L000 COVER PAGE
LDP1 SITE PLAN
LDP2 LANDSCAPE DETAILS

LANDSCAPE DEVELOPMENT NOTES

1. PLANT MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MINIMUM STANDARDS ESTABLISHED IN THE CANADIAN LANDSCAPE STANDARD (CURRENT EDITION). PLANT MATERIAL SELECTIONS ARE CONCEPTUAL ONLY. FINAL PLANTING SELECTIONS MAY VARY DEPENDING UPON AVAILABILITY.
2. THE LANDSCAPE DESIGN DESIGNATED HEREIN IS CONCEPTUAL BUT REFLECTS THE MINIMUM ACCEPTABLE QUALITY AND SIZE.
3. THIS DRAWING DEPICTS FORM AND CHARACTER AND IS TO BE USED FOR DEVELOPMENT PERMIT SUBMISSION ONLY. IT IS NOT INTENDED FOR USE AS A CONSTRUCTION DOCUMENT.

PLANTING NOTES

1. ALL PLANT MATERIAL SUPPLIED AND PLACED BY THE CONTRACTOR MUST BE CERTIFIED TO BE FREE OF SUDDEN OAK DEATH (PHYPHTHORA RANKINII), ACCORDING TO THE CANADIAN FOOD INSPECTION AGENCY (CFIA), OR CANADIAN LANDSCAPE STANDARDS. THE CONTRACTOR WILL BE HELD RESPONSIBLE TO THE OWNER FOR THE SUPPLY AND PLACEMENT OF DISEASED PLANTS RESULTING FROM HIS NEGLIGENCE. PLANT MATERIAL AND PRODUCTS SHALL BE AVAILABLE FOR OPTIONAL INSPECTION BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. THE CONTRACTOR SHALL PROVIDE A(1) YEAR REPLACEMENT GUARANTEE ON ALL PLANT MATERIAL TO THE OWNER FROM THE DATE OF SUBSTANTIAL PERFORMANCE.
2. THE QUANTITIES SHOWN ON THE LABELS ARE NOT TO BE CONSTRUED AS THE COMPLETE AND ACCURATE LIMITS OF THE CONTRACT. FURNISH AND INSTALL ALL PLANTS SHOWN SCHEMATICALLY ON THE DRAWINGS.
3. FIBER WOOD MULCH IS TO BE PLACED AT 60mm MIN. DEPTH TO THE PLANTING AREAS AS SHOWN ON THE DRAWINGS. NO PLASTIC FILM OR WEED BARRIER FABRIC IS PERMITTED UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS. THE WOOD MULCH PRODUCT SHALL BE NON MATTING, FREE OF CHUNKS, STICKS, SOILS, STONES, CHEMICALS, ROOTS AND SALT.
4. GROWING MEDIUM SHALL BE PLACED AT 450mm MIN. DEPTH IN ALL PLANTING AREAS, UNLESS OTHERWISE SHOWN IN THE DRAWINGS. SOIL TO MEET PROPERTIES OF TYPE 2P FOR PLANTING AREAS, AS PER TABLE 6-3 IN THE LATEST EDITION OF THE CANADIAN LANDSCAPE STANDARDS.
5. ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN EFFICIENT AUTOMATIC IRRIGATION SYSTEM.



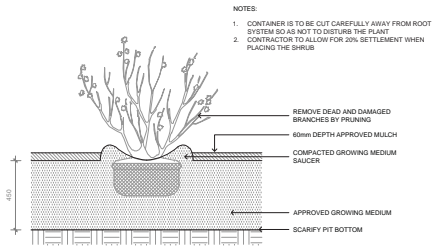
BC HOUSING
SUPPORTIVE HOUSING
WEST KELOWNA

ADDRESS
3788 & 3792 BROWN ROAD,
WEST KELOWNA, BC

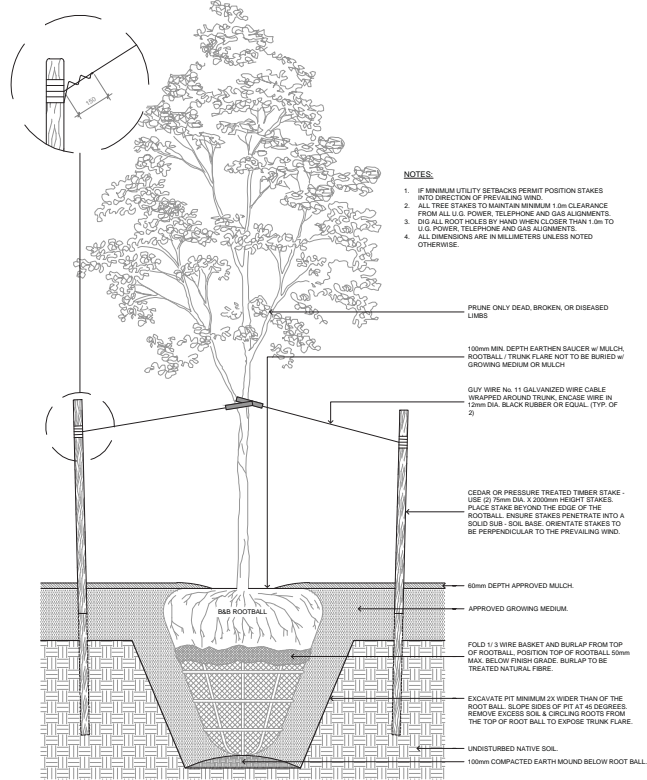
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1 TYPICAL SHRUB PLANTING
LDP2 SCALE: 1:15



2 TYPICAL TREE PLANTING
LDP2 SCALE: 1:20