

CITY OF WEST KELOWNA DEVELOPMENT PERMIT DP 20-22

To: Provincial Rental Housing Corporation

170- 4555 Kingsway Burnaby, BC V5H 4V8

c/o: Faction Projects/ Alec Warrender

- 1. This Permit is issued subject to compliance with all of the Bylaws of the City of West Kelowna applicable thereto, except as specifically varied or supplemented by this Permit.
- 2. This Permit applies to and only to those lands within the City of West Kelowna described below, and any and all buildings, structures and other developments thereon:

LOT A, DL 486, ODYD, Plan EPP101083

(3788 Brown Road)

- This Permit allows the construction of a four storey, 42 unit congregate housing building in in the Commercial Development Permit Area (DPA 1), subject to the following conditions and related Schedules:
 - A. The siting, exterior design, and finish of buildings are to be in accordance with the Architectural submission (site plan, elevations, renderings, and materials and colour schedule) by Cover Architectural Collaborative Inc., dated November 10, 2020 and attached within Schedule "A":
 - B. The dimensions and siting of the structures to be constructed on the land be in general accordance with Civil Engineering Drawings (site servicing and grading plans, erosion and sediment control, and offsite works), by WSP Consulting, dated June 19, 2020 and attached within Schedule "B";
 - C. The landscaping and lighting works to be provided on the land be in accordance with Landscape Drawings by WSP Consulting, dated June 4, 2020 and attached within Schedule "C": and
- 4. As a condition of the issuance of this Permit, the City of West Kelowna is holding a landscape security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Permittee and be paid to the Permittee if the security is returned. The condition of the posting of the security is that should the Permittee fail to carry out the development hereby authorized, according to the terms and conditions of the Permit within the time provided, the City of West Kelowna may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Permittee, or should the Permittee carry out the development permitted by this Permit within the time set out below, the security shall be returned to the Permittee. There is filed accordingly:

3788 Brown Road File: DP 20-22

a) An Irrevocable Letter of Credit or Bank Draft in the amount of \$69,668.75.

- 5. The land described herein shall be developed strictly in accordance with the terms and conditions of this Permit and any plans and specifications attached to this Permit, which shall form a part hereof. Should any changes be required to this permit, please ensure that you obtain written approval from City of West Kelowna prior to making any changes.
- 6. If this Development Permit has not been issued within one year from approval, Development Permit DP 20-22 shall be deemed to have been refused and the file will be closed.
- 7. This Permit is not a Building Permit.
- 8. Subject to the terms of the permit, where the holder of a permit issued under the *Local Government Act* does not substantially commence any construction with respect to which the permit was issued within one year after the date it is issued, the permit lapses.

AUTHORIZING RESOLUTION NO	PASSED BY THE MUNICIPAL COUNCIL ON
	Signed on
	City Clerk
	ree with the conditions of Development Permit DP 20-22 es of the Permit will be provided to onsite personnel at Signed on
	Property Owner or Agent
ISSUED on	

Schedules:

- A. Architectural Submission by Cover Architectural Collaborative Inc., dated November 11, 2020
- B. Civil Engineering Plans by WSP Consulting, dated June 19, 2020
- C. Landscape Plan by WSP Consulting, dated June 4, 2020

H:\DEVELOPMENT SERVICES\PLANNING\3060 Development Permits\3060-20 Permits\2020\DP 20-22 3788 Brown Rd\Permit_Security\DP 20-22.docx

Schedule "A"

WEST KELOWNA SUPPORTIVE HOUSING

ISSUED FOR DP 2020-11-10

ENLARGED SUITE PLANS ENLARGED SUITE PLANS ENLARGED SUITE PLANS ENLARGED SUITE PLANS RCP PLANS



ARCHITE	ECTURAL			CIVIL	STRUCTURAL	MECHANICAL	ELECTRICAL	LANDSCAPE
96 BAKEI	I, BC V1L 4G9	IVE INC.		WSP 1631 DICKSON AVENUE, SUITE 700, KELOWNA BC, V1Y 0B5 250 469 7747	ECORA 579 LAWRENCE AVE, KELOWNA, BC V1Y 6LB 250 469 9757	ROCKY POINT ENGINEERING #2-373 BAKER ST, NELSON BC, V1L 4H6 250 352 7933	FALCON ENGINEERING 1715 DICKSON AVENUE SUITE 210, KELOWNA BC, V1Y 9G6 250 762 9993	WSP 1631 DICKSON AVENUE, SUIT 700, KELOWNA BC, V1Y 0B5 250 469 7747
A000	COVER PAGE	A220	RCP PLANS	C01 Cover Page	S100 Foundation Plan	M0.1 Site Plan	E-1 Site Plan. Symbol Legend	L000 Cover Page
A001	GENERAL NOTES & LEGENDS	A300	ELEVATIONS FLEVATIONS	C02 Site Plan	S101 Suspended Slab Plan	M1.1 Foundation Plan - Plumbing	E-2 Parkade Floor Plan, First Floor Plan - Lighting	LDP1 Site Plan
A002 A003	CONSTRUCTION ASSEMBLIES CONSTRUCTION ASSEMBLIES & BCRC CODE	A301 A400	BUILDING SECTIONS	C03 Servicing C04 Grading & SWM Plan	S110 First Floor Framing Plan S120 Second Floor Framing Plan	M1.2 Parkade Plan - Plumbing M1.3 First Floor Plan - Plumbing	E-3 First Floor Plan, Power & Auxiliaries, Second Floor Plan E-4 Third & Fourth Floor Plans	LDP2 Landscape Plan
AUU3	REVIEW	A400	BUILDING SECTIONS BUILDING SECTIONS	C05 Erosion & Sediment Control Plan	S130 Third Floor Framing Plan	M1.4 Second Floor Plan - Plumbing / HVAC	E-5 Suite Plans	
A004	KEY PLANS & FIRE SEPARATION PLAN	A402	BUILDING SECTIONS	C06 Offsite Works - Curb Plan/ Profile	S140 Fourth Floor Framing Plan	M1.5 Third Floor Plan - Plumbing / HVAC	E-6 Suite Plans	
A005	FIRE SEPARATION PLAN	A403	BUILDING SECTIONS	C07 Utility Details C08 Roadway Details		M1.6 Fourth Floor Plan - Plumbing / HVAC M2.1 Parkade Plan - HVAC	E-7 Suite Plans E-8 Suite Plans	BUILDING ENVELOPE
A006	FIRE SEPARATION PLAN	A500	WALL SECTIONS	COB ROAdway Details		M2.2 First Floor Plan - HVAC	E-8 Suite Hans	
A007	AREA & OCCUPANCY SCHEDULES	A600	TYPICAL DETAILS			M2.3 Roof Plan - Plumbing / HVAC		
A100	SITE PLAN & BYLAW REVIEW	A601	SECTION DETAILS			M3.1 Unit Plans - Plumbing / HVAC		RJC
A200	U/G PARKING FLOOR PLAN	A700	MILLWORK PLANS			M3.2 Unit Plans - Plumbing / HVAC M3.3 Unit Plans - Plumbing / HVAC		1626 RICHTER ST #214.
A201	U/G PARKING FLOOR CEILING PLAN	A701	MILLWORK PLANS			M3.3 Unit Plans - Plumbing / HVAC M3.4 Unit Plans - Plumbing / HVAC		
A202	OVERALL FIRST & SECOND FLOOR PLANS	A702	MILLWORK PLANS			M4.1 Mechanical Riser Diagrams & Schematics		KELOWNA BC, V1Y 2M3
A203	OVERALL THIRD AND FOURTH FLOOR PLANS	A800	DOOR SCHEDULE			M4.2 Mechanical Riser Diagrams & Schematics		778 738 1700
A204	ENLARGED FLOOR PLANS - FIRST FLOOR	A801	DOOR SCHEDULE			M4.3 Mechanical Riser Diagrams & Schematics M5.1 Mechanical Details		
A205	ENLARGED FLOOR PLANS - FIRST FLOOR	A802	DOOR SCHEDULE			M5.1 Mechanical Details M5.2 Mechanical Details		
A206	ENLARGED FLOOR PLANS - SECOND FLOOR	A803	DOOR SCHEDULE			M6.1 Mechanical Equipment Schedules		
A207 A208	ENLARGED FLOOR PLANS - SECOND FLOOR ENLARGED FLOOR PLANS - THIRD FLOOR	A804	WINDOW SCHEDULES			M6.2 Mechanical Equipment Schedules		
A208 A209	ENLARGED FLOOR PLANS - IHRD FLOOR ENLARGED FLOOR PLANS-THIRD FLOOR	A805	WINDOW SCHEDULES STOREFRONT SCHEDULES			M7.1 Mechanical Specifications M7.2 Mechanical Specifications		
A209 A210	ENLARGED FLOOR PLANS - FOURTH FLOOR	A806 A900	STOREFRONT SCHEDULES INT. FINISH PLANS			M7.3 Mechanical Specifications		
A210 A211	ENLARGED FLOOR PLANS - FOURTH FLOOR ENLARGED FLOOR PLANS - FOURTH FLOOR	A900 A901	INT. FINISH PLANS					
A212	CIRCULATION PLANS	A901 A902	INT. FINISH PLANS INT. FINISH PLANS					
A212	CIRCULATION PLANS	A902 A903	INT. FINISH PLANS					
A214	CIRCULATION SECTION	A903 A904	INT. FINISH PLANS					
A215	ENLARGED SUITE PLANS	7,04	141.11140.111 0-443					
A216	ENLARGED SHITE DLANS							



BC HOUSING SUPPORTIVE HOUSING WEST KELOWNA

ADDRESS

PROJECT #

DATE

2020-11-10

SHEET

A000

REV.

GENERAL CONSTRUCTION NOTES

- THESE NOTES ARE TO BE READ IN CONJUNCTION WITH THE DRAWINGS AND SPECIFICATIONS, FINISHES SCHEUDLE AND OWNERS SUPPLY SCHEDULE.
- CONFIRM ALL DIMENSIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.
- ALL LABOUR, MATERIALS, AND PRODUCTS TO COMPLY WITH THE REQUIREMENTS OF THE BRITISH COLLIMBIA BUILDING CODE 2018 EDITION (BCBC) AND ALL OTHER APPLICABLE CODES, STANDARDS AND BY-LAWS.
- BUILDING CODE, SAFETY STANDARDS, AND REGULATORY STATUSE REFERENCES ON DRAWINGS ARE FOR AUTHORITY REVIEW PLISFOSES ONLY. CONTRACTOR AND AUTHORITY REVIEW PLISFOSES ONLY. CONTRACTOR AND ALL OTHERS INVOLVED IN THE CONSTRUCTION OF THE PROJECT FROM THEIR LEGA. AND STAULIORY RESPONSIBILITY TO CONFORM. TO THE LAW OF THE LAW O
- ALL DIMENSIONS ARE TO FACE OF CONCRETE, FACE OF STUDS, OR TO GRIDLINE UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS MUST BE FIELD MEASURED ON SITE AND SHOWN ON SHOP DRAWINGS. ALL DIMENSIONS MUST BE VERIFIED PRIOR TO CARRYING OUT WORK.
- IF ADJUSTMENTS ARE REQUIRED, ADVISE THE CONSULTANT PRIOR TO CARRYING OUT WORK.
- ALL AREAS ADJACENT TO AREA OF WORK ARE TO BE CONSIDERED OCCUPIED. WORK THAT IMPAIRS CORRIDOR ACCESS IS TO BE COORDINATED IN ADVANCE WITH OWNER.
- PATCH AND MAKE GOOD ALL DAMAGED FINISHES & STRUCTURE (WALL, FLOOR, & CEILING) WHICH WERE A RESULT FROM DEMOLITION OR
- COORDINATE WITH OWNER THE REMOVAL OF ALL EQUIPMENTS, AND SUPPLIES PRIOR TO CONSTRUCTION.
- IF CONTRACTOR FINDS ASBESTOS OR OTHER HAZARDOUS MATERIALS IN THE COURSE OF THE WORK, STOP WORK AND IMMEDIATELY REPORT TO CONSULTANT.
- PROVIDE SOLID BLOCKING AS REQUIRED IN PARTITION WALLS TO SUPPORT SHELVING, HANGER RODS, MILLWORK, SINKS, ACCESSORIES AND OTHER ITEMS THAT ARE PART OF THIS CONTRACT OR PROVIDED BY OTHERS.
- REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR COMPLETE SPECIFICATIONS, INCLUDING COLOUR AND FINISHES OF EQUIPMENT AND COVER PLATES.
- MECHANICAL AND ELECTRICAL ITEMS SHOWN ON THESE ARCHITECTURAL DRAWINGS ARE FOR COORDINATION PURPOSES. REFER TO RESPECTIVE DISCIPLINES FOR COMPLETE LAYOUTS.
- REFER TO THE SPECIFICATIONS FOR DETAILS AROUND ALTERNATE PRICES AND CASH ALLOWANCES.
- FLOORS ARE TO BE MADE LEVEL PRIOR TO ANY FLOORING INSTALLATION
- ALL NEW AND EXISTING PENETRATIONS AND WALLS ARE TO BE SEALED TO PREVENT AIR LEAKAGE.

LIFE SAFETY LEGEND



GREEN RUNNING MAN EXIT SIGN

EXITING PATH

TO JUDY EIDE DESISTANCE DATING

2 HR FIRE RESISTANCE RATING

ABBREVIATIONS

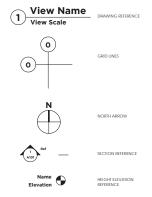
AC.	ACOUSTIC	GA	GAUGE
ADJ.	ADJUSTABLE	GB	GRAB BAR
ALT. ALLIM	ALTERNATE ALUMINUM	GL.	GLASS
ANOD.	ANODIZED	GLULAM	GLUE-LAMINATED
APPROX.	APPROXIMATE	GR. GWB	GRADE GYPSUM WALL BOARD
AVM	AIR/VAPOUR/MOISTURE	GWB.WR.	GYPSUM WALL BOARD - WATER RESISTAN
BD.	BOARD	HCW	HOLLOW CORE WOOD
BLDG. BLK	BUILDING BLOCK	HDR.	HEADER
BLK.	BLOCK BLOCKING	HD.WD.	HARD WOOD HAND HYGIENE SINK
BM.	BEAM	HHS	HOLLOW METAL
BOT.	BOTTOM	HOR7	HORIZONTAL HORIZONTAL
		HSS	HOLLOW STRUCTURAL SECTION
CB CG	CATCH BASIN CORNER GUARD	HTR.	HEATER
CIP	CAST IN PLACE	HWT	HOT WATER TANK
CJ	CONTROL JOINT	ID	INSIDE DIAMETER
CL	CENTER LINE	IF.	INSIDE FACE
CLG.	CELING	INSUL.	INSULATION
CMU COL.	CONCRETE MASONRY UNIT COLUMN	INT.	INTERIOR
COMP	COMPACTED	IT	JOINT
CONC.	CONCRETE	JI.	JOINI
CONT.	CONTINUOUS	LAV.	LAVATORY
CORR.	CORRIDOR	LG.	LONG
COV.	COVER COMPLETE WITH		
CS/CI	CONTRACTOR SUPPLY-CONTRACTOR	M.STD.	METAL STUD METER
	INSTALL	MATL.	MATERIAL
		MAX.	MAXIMUM
DEG.	DEGREE	MDF	MEDIUM DENSITY FIBREBOARD
DF DIA.	DRINKING FOUNTAIN DIAMETER	MECH.	MECHANICAL
DIAG.	DIAGONAL	MEZZ. MH	MEZZANINE MANHOLE
DN.	DOWN	MIN.	MINIMUM
DRY.	DRYER (CLOTHES)	MISC.	MISCELLANEOUS
DS DWG(S).	DOWNSPOUT DRAWINGS	mm	MILLIMETERS
DWG(5).	DRAWINGS	MO MR	MASONRY OPENING MOISTURE RESISTANT
EA.	EACH	MS	MOP SINK
EAF	EACH FACE		
ELEC. ELEV.	ELECTRICAL	NIC	NOT IN CONTRACT
FO.	ELEVATION EQUAL	NO. NTS	(#)NUMBER NOTTO SCALE
ES.	EXPOSED STRUCTURE	MIZ	NOTTO SCALE
EXIST.	EXISTING	O/C	ON CENTER
EXP.	EXPOSED	O.D.	OUTSIDE DIAMETER
EXP.JT. EXPN	EXPANSION JOINT EXPANSION	O.S.F.	OUTSIDE FACE
EXTR.	EXPANSION	OPP. OSB	OPPOSITE ORIENTED STRAND BOARD
EXT.GR.	EXTERIOR GRADE	OS/OI	OWNER SUPPLY-OWNER INSTALL
		OS/CI	OWNER SUPPLY-CONTRACOR INSTALL
FOC	FACE OF CURB	OS/VI	OWNER SUPPLY-VENDOR INSTALL
F FD	FILM FLOOR DRAIN	LZWO	OPEN WEB STELL JOIST
FDN	FOUNDATION	PAT	PATIENT
FE	FIRE EXTINGUISHER	PERIM.	PERIMETER
FEC	FIRE EXTINGUISHER CABINET	PG	PLATE GLASS
FHC FIN.GD.	FIRE HOSE CABINET FINISHED GRADE	PJ	PARALAM JOIST
FLR.	FLOOR	PLY.	PLYWOOD
FP.	FIRE PLACE	P.LAM POLY.	PLASTIC LAMINATE POLYETHYLENE
FRP	FIBER REINFORCED PLASTIC	PP PP	POWER POLE
FRS	FIRE SHUTTER	PR.	PAIR
FTG.	FOOTING	PSC	PARALAM STEEL CONNECTION
FURR. F/O	FURRING FACE OF	PSF PT	PRESSED STEEL FRAME
.,	TAUL OI	PTD	PRESSURE TREATED PAPER TOWEL DISPENSER
		PROJ.	PROJECTION
		PVC	POLYVINYL CHLORIDE
		PVCW	POLYVINYL CHLORIDE WALLCOVERING
CDVI	DHICLECEND		

RAD.	RADIUS
RB	ROLLER BLINDS
	REFLECTED CEILING PLAN
	ROOF DRAIN
	REINFORCED
	REQUIRED
	REVISION ROOF TOP UNIT
	ROOM
	ROUGH OPENING
	RAIN WATER DOWN PIPE
	RAIN WATER LEADER
SAP	SUSPENDED ACOUSTIC PANEL
SCW	SOLID CORE WOOD
SD	SOAP DISPENSER
SAN.D SEC.G.	SANITARY DISPOSAL
SEC.G.	SECURITY GRILLE SECTION
SG.	SECTION SEMI-GLOSS
SHTG.	SHEATHING
	SIMILAR
SNW.G.	SNOW GUARD
SOG	SLAB ON GRADE
STC	SOUND TRANSMISSION CLASS
	SPECIFICATION
SQ.	SQUARE
STD.	STAINLESS STEEL STANDARD
STRUCT.	STRUCTURAL
SUSP.	SUSPENDED
SYM.	SYMMETRICAL
T&G	TONGUE AND GROOVE
TBD	TO BE DETERMINED
TEMP.	TEMPERATURE
TP	TOP OF TOILET/WASHROOM PARTITIONS
TPD	TOILET PAPER DISPENSER
TRANS.	TRANSFORMER
TS	TRACK SYSTEM
TV	TELEVISION
TYP.	TYPICAL
U/C	UNDER COUNTER
U.N.O.	UNLESS NOTED OTHERWISE
U/S	UNDERSIDE
VB	VAPOUR BARRIER
VERT. VEST	VERTICAL VESTIBULE
VEST.	VESTIBULE VERNACARE
VJ	V JOINT
VOL.	VOLUME
	WITH
WC	WATER CLOSET

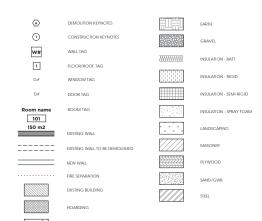
KEYNOTE LEGEND- OVERALL

3	CONC. COLUMN (REFER TO STRUCT.)
4	CONC. BEAM ABOVE (REFER TO STRUCT.)
5	FOOTING BELOW (REFER TO STRUCT.)
6	PAD FOOTING BELOW (REFER TO STRUCT.)
7	300 mm RETAINING WALL (REFER TO STRUCT.)
8	PAINTED PARKING STALL INDICATOR, 100mm
9	CONC. RAMP GOING ABOVE
10	CATCH BASIN (REFER TO MECH.)
11	TRENCH DRAIN (REFER TO MECH.)
15	SANITARY DRAIN PIPE (REFER TO MECH.)
16	MOP SINK (REFER TO MECH.)
17	SINK (REFER TO MECH.)
19	MECHANICAL SHAFT
22	STAIRWELL C/W METAL PIPE GUARDRAIL & HANDRAIL AS REQUIRED PER CURRENT EDITION OF 2018 BCBC. SEE CIRCULATION PLANS & SECTIONS.
32	INSTALL MOISTURE RESISTANT GWB IN WET AREAS ON WALLS & CEILINGS (W/C, JANITOR, LAUNDRY)
35	CONVEX MIRROR, FACE MOUNTED
36	STORAGE SHELF
37	LINEN CLOSET SHELF
38	COAT ROD
39	COAT SHELF
41	COUNTERTOP (REFER TO MILLWORK PLANS & ELEVATION)
43	PREFABRICATED TUB
44	PREFABRICATED ACCESSIBLE SHOWER STALL
45	WATER CLOSET
46	VANITY SINK
47	WASHER/DRYER
48	MIRROR
53	RANGE W/ HOOD FAN SYSTEM
54	REFRIGERATOR
55	DISHWASHER
57	KITCHEN SINK
61	RECESSED LIGHTING (REFER TO ELEC.)
65	STOP SIGN, FACE MOUNTED
C1	
M1	BASE CABINET
M2	UPPPER CABINET
P1	PAINTED GWB, WALL
P4	
T2	RESILIENT RUBBER WALL BASE
V1	VINYL PLANK

GRAPHIC LEGEND



INTERIOR/EXTERIOR ELEVATION REFERENCE



CONCRETE

CONCRETE BLOCK

ARCHITECTURE

CONSULTANTS

REVISIONS

BC HOUSING SUPPORTIVE HOUSING WEST KELOWNA

ADDRESS

3788 & 3792 BROWN ROAD, WEST KELOWNA

PROJECT #

19074

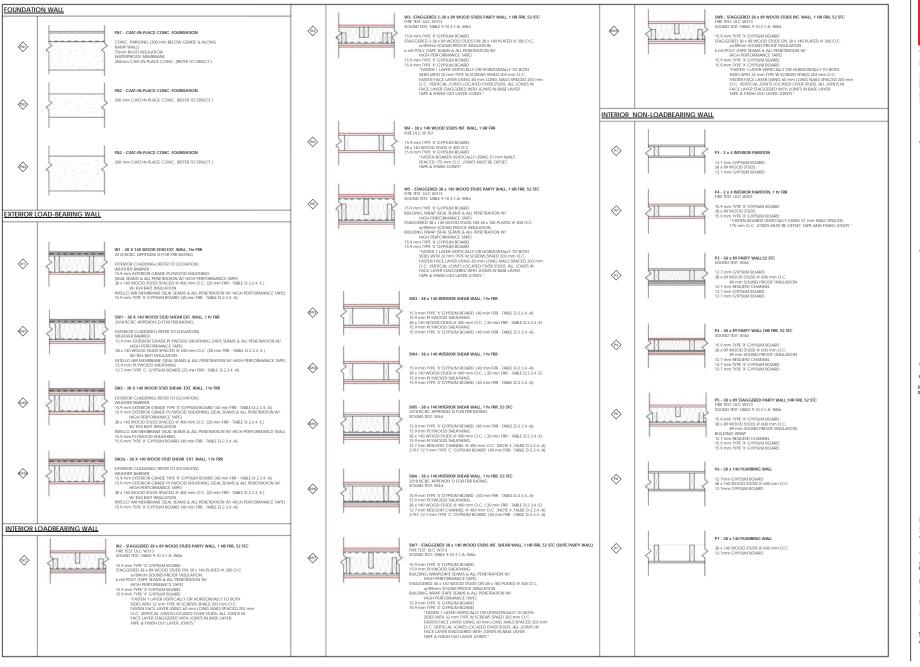
DATE 2020-11-10

> SHEET GENERAL NOTES & LEGENDS

> > A001

REV.

CONSTRUCTION ASSEMBLIES SCHEDULE





REVISIONS

60% CD 2020 11 04 ISSUED FOR 2020 11 10 DP

BC HOUSING SUPPORTIVE HOUSING WEST KELOWNA

ADDRESS

3788 & 3792 BROWN ROAD, WEST KELOWNA

PROJECT #

19074

DATE

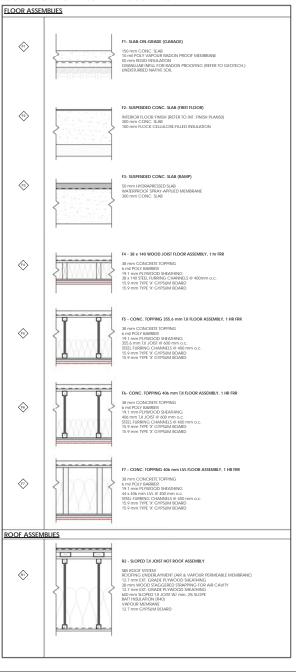
2020-11-10

SHEET CONSTRUCTION ASSEMBLIES

A002

REV.

CONSTRUCTION ASSEMBLIES SCHEDULE



RC.	RIIII	DING	CODE	REVIEW

APPLICABLE BUILDING CODE THE CURRENT EDITION OF THE BC BLILDING CODE 2018

BUILDING HEIGHT AND AREA

BUILDING CLASSIFICATION

THE BUILDING IS CLASSIFIED UNDER THE FOLLOWING ARTICLES OF BC CODE 2918

REFERENCE ITEM	CODE REQUIREMENTS	MN. REQ'T	PROVIDED
323249	GROUP C, UP TO A STOREY'S IMPRIVAÇÃISO THE BULDING MUST BE SPRENCIARIO THROUGHOUT IT IS NOT MORE THAN A STOREY'S ROLLENG HIGHEY IT HAS A SOLLENG AREA NOT MORE THAN 1000 HIGHEY THAN A SOLLENG AREA NOT MORE THAN 1000 HIGHEY STOREY'S IN BULDING HIGHEY PRIMATED TO MICE OF COMMITTEE OF MUST ACCOUNTING CONTINUENCE COMPRISATION.		SPRINKLERED # STOREYS
	-POWER TO THE BEST WITH THE STATE STATE OF THE SET AND WITH A PIRE RESIDENCE FOR THIS OF THE SET AND STATE OF THE		t to FRM

AREA OF UNPROTECTED OPENING. 32.3.2 SAPINOTECTED OPENING AT EXTERIOR STREET LAKE IS LESS THAN THE LIMITS SET BY TABLE 3.2.3.1.C.

WESTWALL

3432(6)	MINIMUM EXIT WOTH OF STARIS MINIMUM EXIT WOTH OF CORRIDOR & PASSAGEWAYS	900 mm 1100 mm
34332	MINMUM PASSAGE WITH EINGING DOORS IN STAIRLANDING	750 mm
3.4.3.4	EXIT HEADROOM EXIT CLEARANCE T DOOMINAY	2100 evil 2000 evil
342311008	TRAVEL DISTANCE TO AT LEAST ONE EXIT DOES NOT EXCEED 45m	45m MAX

3,3,5,7(4)	A PRESIDENCED AND VENTILATED VESTIBILE: AT ELEVATOR AND STAIR TOMERS AT THE STORAGE GARAGE LEVEL TO PREVENT EXCESSIVE ACCURAGE ATOM OF CA
	AT THE STORAGE GARAGE LEVEL TO PREVENT EXCESSIVE ACCUMINATION OF CA MONOXIDE, EXHAUST FLINES OR FLAMMASE E AND TOXIC VAPOURS.
	VESTINALE SHOULD COMPLY WITH 3:35.7(3)
33371000	VESTIGATE SHALL BE NOT LESS THAN 1 BO LONG

3357(6)66	VESTRULE SHALL SE NOT LESS THAN 1 BIN LONG
3357(4)(0)	MECHANICAL VENTEATION AT A HATE OF 1445N FOR EACH SQUARE METER OF VESTI FLOOR SURFACE AREA
3,337(4)(0)	OPENINGS BETWEEN VESTBLLE AND GARAGE TO BE PROVIDED WITH SELF CLOSING WITH NO HOLD OPEN DEVICES

3.4.3.2 (190)	ENT WOTH OF CORRIDORS PER PERSON	6.1 mm
3.4.3.2 (190)	ENT WOTH OF STARS PER PERSON	9 mm
	TOTAL WIGHLEF EXITS CAN BE ACCOMMISSATES ONE AT EACH EXIT STANGASE	WITH TING \$15mm DOCRMAY WICH

1131

FIRE SEPARATION ASSEMBLIES ARE BASED UPON THE UNDERWRITTERS LABORATORIES OF
CANADA LIST OF EQUIPMENT AND MATERIALS, VOLLAGE 111, FIRE RESISTANCE RATINGS (U.C.)
UALESS OTHERWISE NOTED ALL FIRE RESISTANT RATINGS STATED HEREIN ARE MINISAN
RECURRENTLY AND MAY BE CONSTRUCTED WITH DRIVATED FIRE RESULTANCE THAN RECURR

SEE DRAWING ASSEPOR CONSTRUCTION ASSEMBLIES.
FIRE BEPARATIONS SHALL BE CONSTRUCTED AS A CONTRUCUS ELEMENT AND HAVE A FIRE RESISTANCE HATING AS SPECIFIED. THE CONSTRUCTION OF THE FIRE SEPARATIONS SHALL CONFORM TO BC 3 1.8 AND BC 3 1.8 ALL PENETRATIONS IN FIRE SEPARATIONS MUST BE TIGHT, HTTED AND SEALED BY AN APPROVED FIRE STOP SYSTIM.

ALL LED WAY BEN'TED BY WY WANTED	Outh Last Stor Salaries	
OUCT SHAFTS SHALL BE CONSTR	SUCTED WITH A FIRE RESID	TANCE RATING PER TABLE-

	THE RESIDENCE STATE OF THE STAT	
	OUCT SHAFTS SHALL BE CONSTRUCTED WITH A FIRE RESISTANCE RATING PER TABLE	
2121	FIRE SEPRRATION BETWEEN MAJOR OCCUPANCY C AND FS FIRE SEPRRATION BETWEEN MAJOR OCCUPANCY C AND D	1 to FRIR 1 to FRIR
3314	PUBLIC CORROORS SHALL BE CONSTRUCTED WITH A FIRE RESISTANCE RATING OF NOT LESS THAN 45 HIM	1 No FREE
3,3.4.2(1)	BUTTES OF RESIDENTIAL OCCUPANCY SHALL BE SEPARATED FROM EACH OTHER AND FROM THE REMAINDER OF THE BUILDING WITH A FIRE RESISTANCE RATING OF NOT LESS THAN 1 HOUR.	to from
34.43(1)	EXTS SHALL BE CONSTRUCTED WITH A PIRE SEPARATION WITH A PIRE RESISTANCE RATING. NOT LESS THAN 1 HOUR INCT LESS THAN THAT REQUIRED BY SUR SECTION 3.2.2 BUT NOT LESS THAN 45 HIN.)	114 750
3343(3)	STORAGE ROOMS SHALL BE SEPARATED FROM THE REMANDER OF THE BUILDING WITH A FIRE RESISTANT RATING OF NOT LESS THAN 1 HOUR	the PRIN
3343(1)	BRIGHE SHALL BE INSTALLED IN A STORAGE ROOM PROVIDED FOR THE USE OF TEMANTS IN A RESIDENTIAL OCCUPANCY INTHIN A FLOOR AREA BUT NOT CONTRAMED WITHIN A SUITE.	
5621(1) 3626(1)	FIRE SERVICATION FOR NEICHWICAL ROOM GOORE SHALL SWING OUT EXCEPT FOR DOORS DREWING IN CORRECOR.	The FRIS
842136	FRE SEPARATION FOR ELECTRICAL FOOM	1 by FRIR
331210)	JANTOR ROOM, THE FIRE SEPARATION IS NOT REQUIRED TO HAVE A FIRE RESISTANCE RATING IF THE FLOOR AREA. IN WHICH THE ROOM OR SPACE IS LOCATED IS SPRINKLERED THROUGHOUT	the FRM
3.3 1 22 (3)	COMMON LAUNDRY FOOM: THE FIRE SEPARATION IS NOT REQUIRED TO HAVE A FIRE RESISTANCE RATING IF THE FLOOR AREA IN HINCH THE ROOM OR SPACE IS LOCATED IS SPRINKLERED THROUGHOUT	S to FRIS
3441	EXIT STARS AT PARKADE EXIT STARS AT MAIN TO 4TH FLOOR	1 by FRISE 5 by FRISE

The FRISK The FRISK

3831	ELEVATOR SHAFT (MAIN TO 41H PLOOR) SHALL BE CONSTRUCTED WITH A FIRE RELEVATOR SHAFT (SARAGE) SHALL BE CONSTRUCTED WITH A FIRE RESISTANCE		1 14
TABLESTEA	FIRE PROTECTION NATING OF CLOSURES SHALL BE	Mari Sa	

	214 (PARKADE VESTBLUE)	90 m
3.18.12(f) (e) 3.18.7	SETMEN PUBLIC CORRIDOR & SUITE FIRE DAMPIRE IN DUCTS SETMEST FIRE SEPARATION REQUIRED	20 m
3188(0)	THE DAMPERS NOT RECEED IN HONCOMBUSTIBLE CONSTRUCTION IF DUCT HALLA MELTING POINT OF	790 e

EVERY BUILDING SHALL FACE A STREET FOR ACCESS ROUTES, MUST CONFORM

3.2.5 PROVISIONS FOR FIRE FIGHTING

	TO REQUIREMENTS OF 325.4 AND 325.5 FOR ACCIOSS HOUTES	
3.2.13(4)	A BUILDING IS CONSIDERED TO FACE 2 STREETS PROVIDED NOT LESS THAN 50% OF THE BUILDING PERMITTER IS LOCATED WITHIN 15th OF THE STREET.	1544
3234(1)	BUILDINGS MORE THAN 5 STOREYS OR MORE THAN 605HG SHALL SE PROVIDED WITH ACCESS ROUTES FOR FIRE DEPARTMENT VEHICLES.	
1.255(0)	PRINCIPAL ENTRANCE AND EVERY ACCESS OPENING ARE LOCATED BETWEEN 5-15HI FROM CLOSEST PORTION OF ACCESS ROUTE FOR FIRE DEPARTMENT LISE	3-15m
2.56(1)(4)	GLEAR WITH OF ACCESS ROUTE FOR FIRE DEPARTMENT	See 440
1256(1)(0)	CENTRE LINE PACIUS	Clin M
234(1)(0)	OVERHEAD CLEARANCE	\$100 MIN
1258(1)00	CHANGE OF GRADIENT 1 IN 12.5 MAX AT MIN. DISTANCE OF 15m	

3.2.5.7 WATER SUPPLY		
3237(1)	PROVIDE ADEQUATE WATER SUPPLY FOR PREFIGHTING (SEE A-12.5.7.(1))	
3287(0)	SPREWLER SYSTEM TO CONFORM TO 3.2.5 G OR HAVE A STANDARY SYSTEM	
3210	STANDANE SYSTEM MEDINED-BUILDING MOVE JAWA 3 STOREYS, MOVE JAWA HAVE HIGH	
32.515 (2)	DISTANCE RETWEEN FIRE HYDRANT AND FIRE DEPARTMENT CONNECTION	With MAX.
3274.0m	MINALIA EMERGENCY POWER SUPPLY	46 mm

3.2.7 LIGHTING & EMERGENCY POWER SYSTEMS

34,7,8(1)	PROVINCE EMPRIESENCY LISTENIA WCT_LESS THAN 16 M.ET. FLOOR OF THEAD LEVEL P. EXTES, PRINCEPIE, SCHOLESS REVOLUTES RECORDED ACCESS FO ESSET A OPERS LUCIOS REALESS AND IN SERVICE GOOMS, PUBLIC CORRODORS, EXPOSE PREPARATION AREAS IN COMMITTICAL RETO-EMPLE, PUBLIC CHARROOMS, CAPANALE.	
32.7 A (1)6 32.7 B	PROVIDE EMERICACY POWER SUPPLY FROM BATTERIES OR GENERATORS EMERICACY POWER FOR FRIE ALARM SYSTEM	1 he

3.3 SAFETY WITHIN FLOOR AREAS

3319(1)	EXIT COMMENT WIDTH	T100rew MR4
3359(5)	DEAD END CORRIDOR	6 De MAKE
3354(1)	ACCESS FROM BASEMENT GARAGE TO	
	MAIN FLOOR THROUGH VESTIBLES	
3354(9)	CLEAR HEIGHT OF ENTRAGE GARAGE	7 Oct 4664
22139.00	WINDOWS IN PUBLIC AREA LOCATED LOWER THAN 1- ABOVE SECOND FLOOR	MOT with Theme
	TO HAVE BAN BOOK INCO CHENNAL AND DESIGNED TO WITHSTAND THE LATERAL	
	DESIGN LOADS FOR SAL COMY QUARTS	

3.5 VERTICAL TRANSPORTATION

3321	FIRE SEPARATION FOR ELEVATOR HOISTWAY AT PARKADE	114
	FIRE SEPARATION FOR ELEVATOR HOSTWAY AT ABOVE GRADE FLOORS.	1 tw
5341	SUBJUSTOR CAR DIMENSIONS - AT LEAST 1 CAR DIMENSION	2000

3.8 BARRIER FREE CONSTRUCTION

THE PROPOSED BUILDING IS REQUIRED TO SE BARRIOR-FREE AS REQUIRED SY SC SECTION 3.8 SANNIGH FREE DESIGN

3345	OCCUPANTS OF DIRELLING UNITS SHALL SE PROTECTED FROM ARBORNE NOISE IN CONFORMANCE WITH SECTION 5.5
55.110	OWELLING LINT SHALL BE SEPARATED FROM EVERY OTHE SPACE IN A BUILDING BY A

OWELLING UNIT FROM AN ELEVATOR SHAFT OR REPUSE CHUTE WITH MIN SESTC BATING



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Revision	Description	Date		
2	60% CD	2020 11 04		
3	ISSUED FOR	2020 11 10		

BC HOUSING SUPPORTIVE HOUSING WEST KELOWNA

ADDRESS

3788 & 3792 BROWN ROAD, WEST KELOWNA

PROJECT

19074

DATE 2020-11-10

SHEET

A003

REV.

Number	Name	Area	Level
121	STUDIO 1A	16.6 m²	T.O SUSPENDED CONC. SLAB
123	STUDIO 1B	23.5 m ²	T.O SUSPENDED CONC. SLAB
122	STUDIO 2A	20.5 m ²	T.O SUSPENDED CONC. SLAB
124	STUDIO 2B	20.7 m ²	T.O SUSPENDED CONC. SLAB
125	STUDIO 2C	20.7 m ²	T.O SUSPENDED CONC. SLAB
127	STUDIO 2D	23.6 m²	T.O SUSPENDED CONC. SLAB
128	STUDIO 2E	21.8 m ²	T.O SUSPENDED CONC. SLAB
126	STUDIO 3	23.3 m²	T.O SUSPENDED CONC. SLAB
130	STUDIO 4A	31.4 m ²	T.O SUSPENDED CONC. SLAB
129	STUDIO 4B	41.6 m ²	T.O SUSPENDED CONC. SLAB

Number	Name	Area	Level
208	UNIT A	66.6 m²	T.O SECOND FLOOR
209	UNIT A1	66.6 m²	T.O SECOND FLOOR
210	UNIT A2	67.5 m ²	T.O SECOND FLOOR
205	UNIT B	74.6 m ²	T.O SECOND FLOOR
204	UNIT C	74.5 m ²	T.O SECOND FLOOR
203	UNIT C1	74.9 m ²	T.O SECOND FLOOR
202	UNIT D	79.1 m²	T.O SECOND FLOOR
201	UNIT E	84.6 m ²	T.O SECOND FLOOR
207	UNIT F	83.9 m²	T.O SECOND FLOOR
206	UNIT G	119.0 m ²	T.O SECOND FLOOR

Number	Name	Area	Level
309	UNIT A	66.8 m ²	T.O THIRD FLOOR
310	UNIT A1	66.6 m ²	T.O THIRD FLOOR
311	UNIT A2	67.5 m ²	T.O THIRD FLOOR
306	UNIT B	75.4 m ²	T.O THIRD FLOOR
305	UNIT C	74.5 m ²	T.O THIRD FLOOR
304	UNIT C1	74.9 m ²	T.O THIRD FLOOR
302	UNIT E	85.2 m ²	T.O THIRD FLOOR
308	UNIT F	83.8 m ²	T.O THIRD FLOOR
307	UNIT G	115.2 m ²	T.O THIRD FLOOR
303	UNIT H	77.6 m ²	T.O THIRD FLOOR

RES. UNIT SCHEDULE - FOURTH FLOOR							
Number	Name	Area	Level				
413	UNIT A1	66.7 m ²	T.O FOURTH FLOOR				
414	UNIT A2	67.6 m ²	T.O FOURTH FLOOR				
406	UNIT B1	74.0 m ²	T.O FOURTH FLOOR				
405	UNIT C	74.5 m²	T.O FOURTH FLOOR				
404	UNIT C1	75.1 m²	T.O FOURTH FLOOR				
401	UNIT E	85.3 m²	T.O FOURTH FLOOR				
403	UNIT H	77.8 m²	T.O FOURTH FLOOR				
412	UNIT J	48.4 m²	T.O FOURTH FLOOR				
411	UNIT J1	45.6 m²	T.O FOURTH FLOOR				
410	UNIT K	63.3 m²	T.O FOURTH FLOOR				
409	UNIT L	59.7 m²	T.O FOURTH FLOOR				
408	UNIT M	49.0 m ²	T.O FOURTH FLOOR				

Area Schedule (Gross Building)					
Name	Area	STOREY			
UNDERGROUND PARKADE	999.8 m ²	1			
MAIN FLOOR	997.4 m ²	2			
SECOND FLOOR	998.2 m ²	3			
THIRD FLOOR	998.2 m ²	4			
FOURTH FLOOR	998.2 m ²	5			

		OCCUPA	NT LOAD - TOTAL		
Number	Name	Area	Load Factor	Occupant Load	Comments
	UNDERGROUND PARAKAD	•	46.0 m ²	19.3	
001 002 003	FOYER STORAGE	6.6 m ² 2.1 m ²	3.7 m ² 0.0 m ²	1.8	
003	STORAGE DECISE & DECYCLING	2.1 m²	0.0 m ²		
004 005	REFUSE & RECYCLING STAIR 1	16.2 m ² 15.9 m ²	0.0 m ²		
006 100	STAIR 2 VESTIBULE	15.9 m ² 4.7 m ²	0.0 m ²		
101 101-A	LOBBY RECEPTION AREA	15.6 m ²	3.7 m ²	4.2 1.3	
101-A 102	RECEPTION AREA CIRC.	12.1 m ²	9.6 m ²	1.3	
103	STAIR 1	23.8 m²	0.0 m ²		
104 105 106	JAN. ELEC.	3.4 m ² 5.6 m ²	0.0 m ²		
106	ELEC. LONG TERM 2ND STAGE STORAGE	13.6 m ²	46.0 m ²	0.3	
107	CIRC.	24.6 m ²	3.7 m ²	6.6	
107 107A	CIRC. BROOM	15.5 m ² Not Placed	0.0 m ²		
108	STORAGE	5.6 m ²	46.0 m ²	0.1	
109 110	WC STAFF LUNCH RM	4.0 m ² 15.7 m ²	0.0 m ² 9.3 m ²	1.7	
111	PRIVATE OFFICE	8.8 m²	9.3 m ²	0.9	
112 113	ADMIN CHILDREN AREA	9.7 m ² 8.5 m ²	9.3 m ² 9.3 m ²	0.9	
114	OFFICE	7.7 m ²	9.3 m ²	0.8	
115 116	OFFICE OFFICE	8.7 m ² 9.9 m ²	9.3 m ² 9.3 m ²	1.1	
117	OFFICE SECOND STAGE AMENITY	15.3 m ² 31.9 m ²	9.3 m ² 0.0 m ²	1.6	
118	SECOND STAGE AMENITY ROOM	31.9 m ²	0.0 m ²		
119	BF WC	3.6 m²	0.0 m ²		
120 121	SPRINKLER RM STUDIO 1A	5.3 m ² 16.6 m ²	0.0 m ² 16.6 m ²	1.0	1 person per bed
122	STUDIO 2A	20.5 m ² 23.5 m ²	10.1 m ²	2.0	1 person per bed
123 124	STUDIO 1B STUDIO 2B	23.5 m ² 20.7 m ²	23.5 m ² 10.2 m ²	1.0	1 person per bed 1 person per bed
125	STUDIO 2C	20.7 m ²	10.2 m ² 10.2 m ² 7.7 m ²	2.0	1 person per bed
126 127	STUDIO 3 STUDIO 2D	23.3 m ² 23.6 m ²	7.7 m ²	3.0 2.0	1 person per bed 1 person per bed
128	STUDIO 2F	21.8 m ²	11.8 m ² 10.9 m ²	2.0	1 person per bed
129 130	STUDIO 4B STUDIO 4A	41.6 m ² 31.4 m ²	10.3 m ² 7.8 m ²	4.1	1 person per bed 1 person per bed
131	LOUNGE/ QUIET RM SACRED SPACE	20.0 m ²	0.0 m ²	4.0	i peison per bed
132	SACRED SPACE STAIR 2	18.3 m ²	0.0 m ²		
133 134	RE WC	20.6 m ² 4.3 m ²	0.0 m ²		
135	PROGRAM STORE. STORAGE	7.6 m ²	46.0 m ²	0.2	
136 137	MECHANICAL MECHANICAL	12.0 m ²	46.0 m ²	0.3	
138	CIRC.	15.4 m ² 31.7 m ²	0.0 m ² 3.7 m ²	4.2	
139 140	LIVING RM MULTIPURPOSE/ PLAY	18.2 m ²	0.0 m ²		
141	LAUNDRY COMP.	14.3 m ² 9.9 m ²	0.0 m ²		
142	DINING RM	9.9 m² 32.6 m²	0.0 m ²		
144	DINING RM KITCHEN STORAGE	32.6 m ² 9.3 m ²	46.0 m ²	0.2	
145 146	SHARED KITCHEN BE STAFF WC	42.9 m ² 5.3 m ²	9.3 m ² 0.0 m ²	4.6	
147	ADMIN OFFICE PRIVATE	29.4 m ²	9.3 m ²	3.2	
148	JANITOR	5.4 m ² 6.4 m ²	0.0 m ²		
151	CIRC.	69.2 m ²	3.7 m ²	18.7	
200	SUPPORT OFFICE UNIT E	10.4 m ² 84.6 m ²	9.3 m ² 14.1 m ²	1.1	2 per Sleeping room
202	UNIT D	79.1 m ²	19.8 m ²	4.0	2 per Sleeping room 2 per Sleeping room
203	UNIT C1 UNIT C	74.9 m ² 74.5 m ²	18.7 m ² 18.6 m ²	4.0	2 per Sleeping room 2 per Sleeping room
204 205	UNIT B	74.6 m ²	18.6 m ²	4.0	2 per Sleeping room
206 206	STAIR UNIT G	14.7 m ² 119.0 m ²	0.0 m ²	8.0	2 per Sleeping room
207	UNIT F	83.9 m ²	14.9 m ² 14.0 m ² 16.7 m ²	6.0	2 per Sleeping room 2 per Sleeping room
208 209	UNIT A UNIT A1	66.6 m ² 66.6 m ²	16.7 m ²	4.0	2 per Sleeping room
210	UNIT A2	67.5 m ²	16.9 m ² 0.0 m ²	4.0	2 per Sleeping room
211	JANITOR JANITOR	1.7 m ² 3.2 m ²	0.0 m ²		
213	STAIRS	14.9 m ²	0.0 m ²	40.0	
214 300	CIRC. SUPPORT OFFICE	71.2 m ² 10.4 m ²	3.7 m ² 9.3 m ²	19.2	
301	STAIR 1	12.8 m ²	0.0 m ²		
802	UNIT E UNIT H	85.2 m ²	14.2 m ²	6.0 4.0	2 per Sleeping room 2 per Sleeping room
303 304	UNIT C1	77.6 m ² 74.9 m ²	18.7 m ²	4.0	2 per Sleeping room
305 306	UNIT C UNIT B	74.5 m ² 75.4 m ²	18.6 m ² 18.9 m ²	4.0	2 per Sleeping room 2 per Sleeping room
307	UNIT G	115.2 m ²	14.3 m ²	8.1	2 per Sleeping room
308 309	UNIT F UNIT A	83.8 m ² 66.8 m ²	14.0 m ² 16.7 m ²	4.0	2 per Sleeping room 2 per Sleeping room
310	UNIT A1	66.6 m ²	16.7 m ²	4.0	2 per Sleeping room
311 312	UNIT A2	67.5 m ²	16.8 m ² 0.0 m ²	4.0	2 per Sleeping room
313	JANITOR	3.2 m²	0.0 m ² 3.7 m ²		
314 315	CIRC. STAIR 2	72.5 m ²	3.7 m ² 0.0 m ²	19.6	
400	SUPPORT OFFICE	10.5 m ²	9.3 m ²	1.1	
401 402	UNIT E	85.3 m ² 78.8 m ²	14.2 m ² 3.7 m ²	6.0 21.3	2 per Sleeping room
403	UNIT H	77.8 m ²	19.5 m ²	4.0	2 per Sleeping room
404	UNIT C1	75.1 m ²	18.8 m²	4.0	2 per Sleeping room
404 405	STAIR UNIT C	12.9 m ² 74.5 m ²	0.0 m ² 18.6 m ²	4.0	2 per Sleeping room
106	UNIT B1 STAIR		18.5 m ²	4.0	2 per Sleeping room
407 408	STAIR UNIT M	14.3 m ² 49.0 m ² 59.7 m ²	0.0 m ² 24.5 m ²	2.0	2 per Sleeping room
108 109	UNIT L	59.7 m ²	24.5 m ² 29.9 m ²	2.0	2 per Sleeping room 2 per Sleeping room
410 411	UNIT K UNIT J1		22.8 m ²	2.0	2 per Sleeping room 2 per Sleeping room
\$11 \$12	UNIT J	45.6 m ² 48.4 m ² 66.7 m ² 67.6 m ²	24.2 m ²	2.0	2 per Sleeping room
413 414	UNIT A1 UNIT A2	66.7 m ²	33.4 m² 33.8 m²	2.0	2 per Sleeping room 2 per Sleeping room
415	ELEC.	1.7 m ² 3.2 m ² 4554.7 m ²	0.0 m ²		pe pool attocpaning (UUIII)
416	JANITOR		0.0 m ²		



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BC HOUSING SUPPORTIVE HOUSING WEST KELOWNA

ADDRESS

3788 & 3792 BROWN ROAD, WEST KELOWNA BC

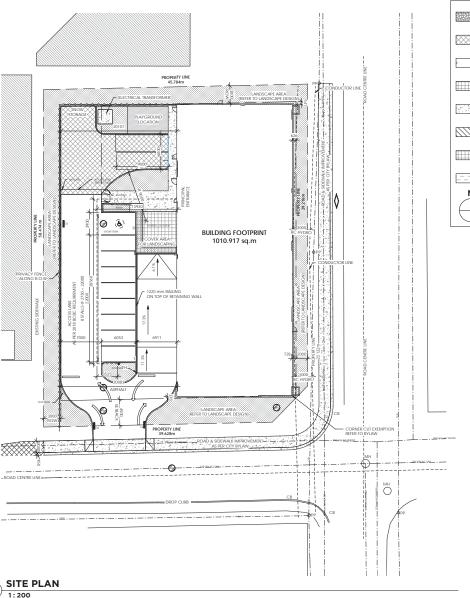
PROJECT #

DATE 2020-11-10

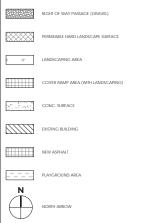
SHEET AREA & OCCUPANCY SCHEDULES

A007

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SITE PLAN LEGEND



WEST KELOWNA ZONING BYLAW LEGEND

Zoning: C1 - Urban Centre Commercial Zone	Building Height: 13.260m
Setbacks:	Number storeys above grade: 4
Front parcel: 2m	Number storeys below grade: 1
Rear parcel: 0m	Number of Units:
Interior side: 0m	32 Second-stage Housing (4 Acessible Units
Exterior side: 4.5m	10 Tranisition Housing (2 Accessible Units)

ZONING PART 11 - COMMERCIAL LEGAL DESCRIPTION: LOT 1 & LOT 2 DISTRICT LOT 486 ODYD PLAN 28243 ADDRESS: 3788 & 3792 BROWN ROAD, WEST KELOWNA BC, V4T 2JC l Purpose o accomodate a mix of uses with active commercial Frontage

2 Principal Uses, Buildings and Structures b) Apartment: w)Personal service establishment: i)Congregate Housing 5 Regulation Tables

2656 sq.m

Maximum density: with surface parking 4017,44 sq.m GFA/ 2656 sq.m Parcel Area = 1.512 with non-surface parking 2.5 FAR

13.260m. 4 Storey

Parcel boundaries

CONFORM CONFORM CONFORM CONFORM Front parcel boundary nterior side xterior side

& Other Regulations
(A Againment and Constructive Industry
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ZONING PART 4 - OFF-STREET PARKING AND LOADING

Parking Proposed: (Part 4 - Off-Street Parking and Loading)

Congregate Housing 10 Units 0.5 stalls x 10 Units = 5 stalls

Second Floor: 7 two bedroom + bath 2 three bedroom + bath 1 four bedroom + bath 0.5 stalls x 7 two bedroom + bath = 3.5 stalls 0.5 stalls x 2 three bedroom + bath = 1 stalls 0.5 stalls x 1 four bedroom + bath = .5 stalls

hird Floor 7 two bedroom 2 three bedroom 1 four bedroom

ourth Floor:

0.5 stalls x 5 one bedroom + bath = 2.5 Stalls 0.5 stalls x 6 two bedroom + bath = 3 stalls 0.5 stalls x 1 three bedroom + bath = .5 stalls

otal Congregate & apartment units 20.5 - 21 Stalls

Visitor Parking 2 Stalls otal amount of stalls Required: 23 Parking Stalls

2 stalls to be accessible as required by Section 4.5 Accessible Parking Spaces

Bicycle Parking Requirement (Section 4.9 Bicycle Parking Requirement)

Class II requirement 2 Stalls

4.10 Loading Spaces Required Truck or Van Space 2 truck or van loading space

Truck Loading Space Size: 3.0m x 9.0m Car Loading Space Size: 2.5m x 7.0m Overhead Clearance 4.0m

4.11 Landscaping of Surface Parking and Loading Areas
q)A perimeter landscape stip or berm having a minimum width of 1.5m
b) Landscape islands, shall be provided calculated on the basis of 1.0 sq.m per required parking
and loading area. and loading area. :). Landscape Islands shall be located such that no more than 15 parking spaces occur in a continuous row without incorporating a landscaped Island.

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BC HOUSING SUPPORTIVE HOUSING WEST KELOWNA

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3788 & 3792 BROWN ROAD, WEST KELOWNA

PROJECT # 19074

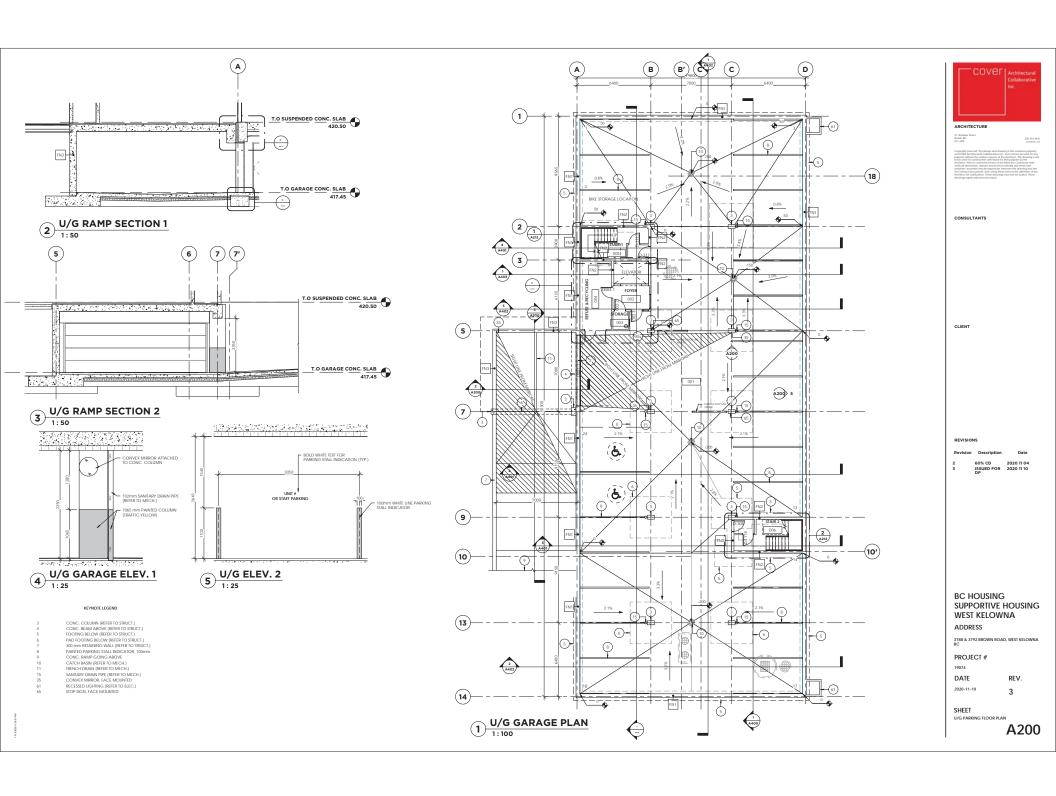
DATE 2020-11-10

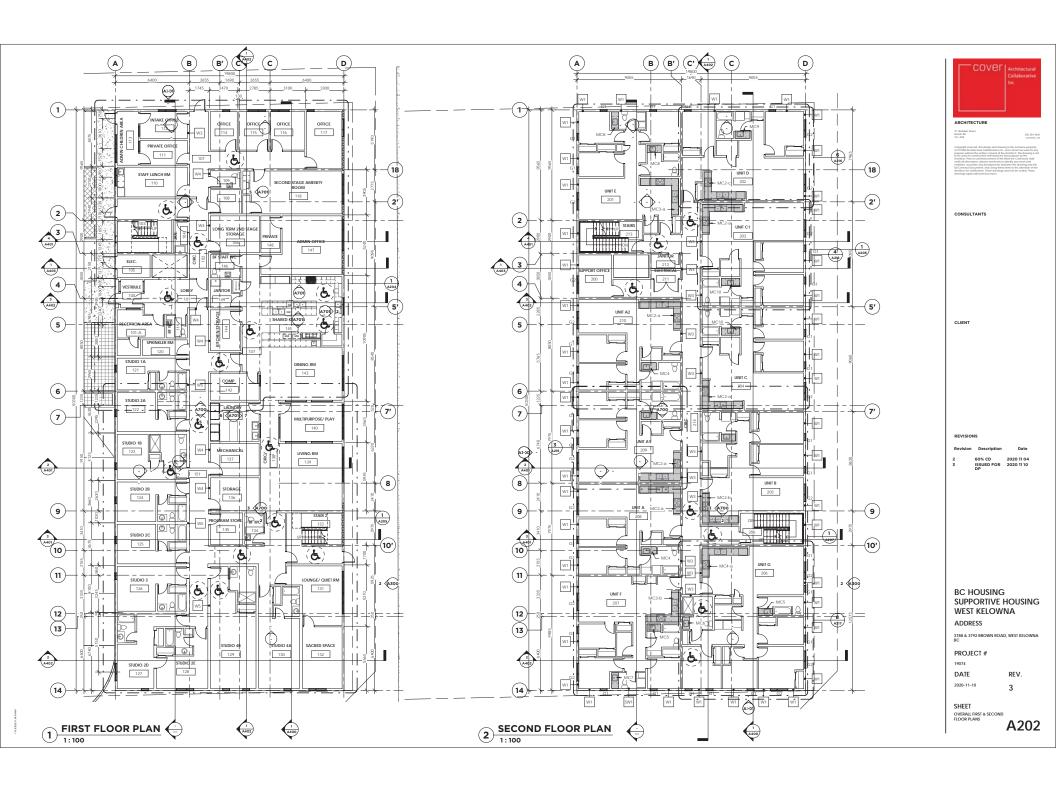
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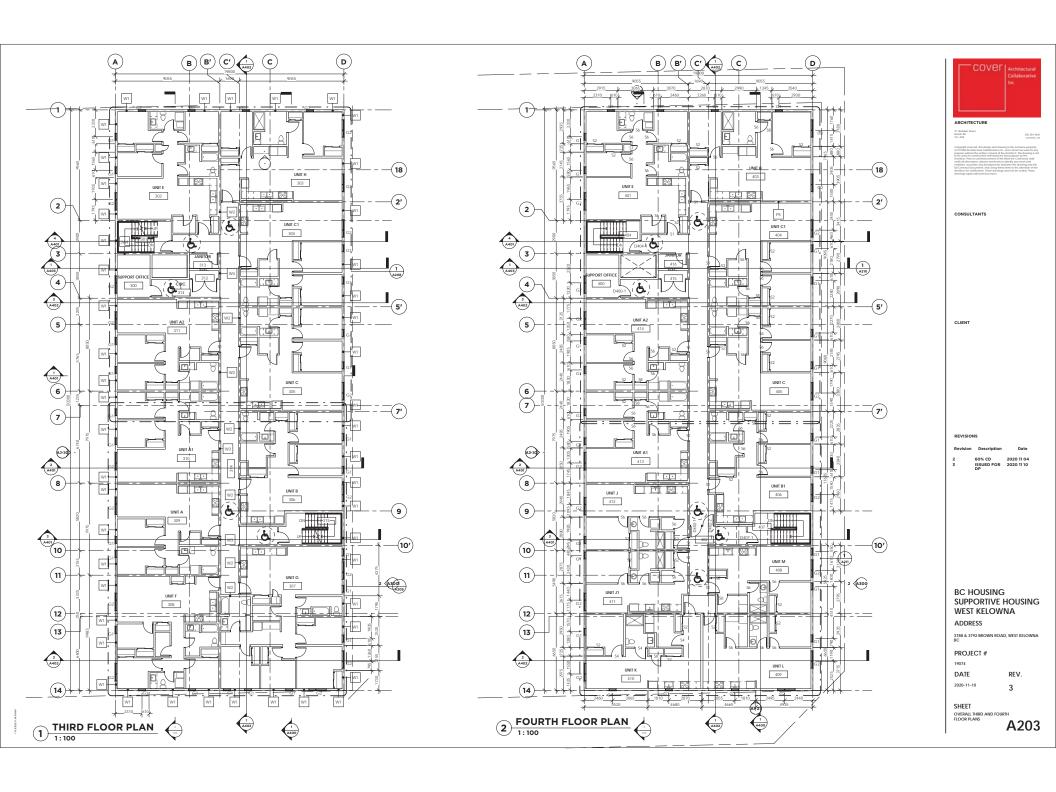
SHEET SITE PLAN & BYLAW REVIEW

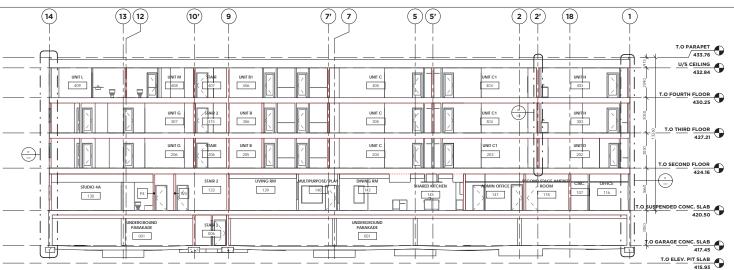
A100

REV.









SHEET NOTES -SECTION

A. ALL ELEVATIONS ARE FROM DATUM ELEVATION. MAIN FLOOR - 0.00m. WHERE GEODETIC ELEVATION IS INDICATED REFER TO CIVIL AND LANDSCAPE DRAWINGS.

B. FRAMING SHOWN ON ARCHITECTURAL DRAWINGS IS FOR GRAPHIC REFERENCE ONLY.

C. STRUCTURAL DRAWINGS SHALL TAKE PRECEDENCE IN MATTERS OF FRAMING, MEMBER SIZES, CONFIGURATION & CONNECTIONS AS WELL AS CONCRETE SLABS, WALLS AND FOUNDATIONS.

D. ANY DISCREPANCIES FOUND BETWEEN THIS SHEET AND OTHER SHEETS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT FOR RESOLUTION, NO EXTRA COST WILL BE PAID FOR THE CONTRACTOR'S AILURE TO THOROUGHLY REVIEW THE PLANS PRIOR TO CONSTRUCTION.

E REFER TO MECHANICAL PLANS FOR BETURN AND SUPPLY BEGISTER LOCATIONS. PROVIDE WOOD FRAMING CAW GWB BULKHEADS AT MECHANICAL DUCT WORK, WHEN DUCTS CROSS FIRE RATED PARTITIONS PROVIDE FIRE DAMPERS AND FIRE BATED BULKHEAD TO CREATE HORIZONTAL FIRE SEPARATIONS AS REQUIRED BY BCBC.

F. REFER TO LANDSCAPE ARCHITEC'S AND CIVIL ENGINEER'S DRAWINGS FOR ALL FINISH GRADE ELEVATIONS, SITE DRAINAGE, AND HARD LANDSCAPE ELEMENT DESIGN.

G. REFER TO DRAWINGS A001, A002 & A003 FOR ALL GENERAL PROJECT NOTES. WALLS. FLOORS AND ROOF ASSEMBLIES.

H. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ARCHITECT'S APPROVAL FOR ALL PREFABRICATED ITEMS PRIOR TO FABRICATION

COVET Architectural Collaborative Inc

ARCHITECTURE

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Revision Description Date

60% CD 2020 11 04 ISSUED FOR 2020 11 10 DP

BC HOUSING SUPPORTIVE HOUSING WEST KELOWNA

ADDRESS

3788 & 3792 BROWN ROAD, WEST KELOWNA BC

PROJECT #

19074 DATE

2020-11-10

SHEET BUILDING SECTIONS

A400

REV.

3

1) BUILDING SECTION 1

92020 11.34.10AM



WEST NORTH

Architectural Collaborative Inc

Development Permit Submission West Kelowna Supportive Housing



SOUTH EAST



Development Permit Submission West Kelowna Supportive Housing



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North East

Development Permit Submission West Kelowna Supportive Housing



COVET | Architectural | Collaborative

Brown Rd. and Ingram

Development Permit Submission

West Kelowna Supportive Housing



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Development Permit Submission West Kelowna Supportive Housing

2020.11.10

Schedule "B"

WEST KELOWNA BC HOUSING PROJECT

WEST KELOWNA, BC



LIST OF DRAWINGS

LIST OF DRAWINGS

C05 EROSION & SEDIMENT CONTROL PLAN
C06 OFFSITE WORKS - CURB PLAN/PROFILE

C07 UTILITY DETAILS
C08 ROADWAY DETAILS



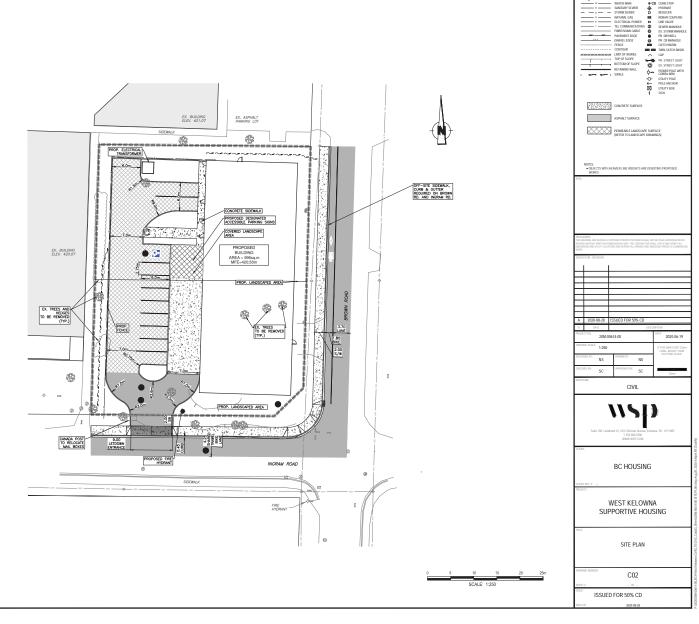
GENERAL NOTES

- THE CONTRACTOR SHALL COMPLETE ALL TIE-INS AND DISCONNECTS FOR CITY WATER, SEWER AND DRAINAGE SYSTEMS IN THE PRESENCE OF CITY PERSONNEL THE CONTRACTOR IS TO COORDINATE THIS WITH THE UTILITY CONSTRUCTION SERVICEMAN AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO SCHEDULING.
- SURVEY COMPLETED BY FERGUSON LAND SURVEYING & GEOMATICS LTD., ON NOV. 8, 2019 AND FEB. 20, 2020. ELEVATIONS ARE BASED ON AN ASSUMED DATUM. ALL MEASUREMENTS AND DIMENSIONS ARE IN METRIC UNLESS NOTED OTHERWISE.
- ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH MMCD STANDARDS AND SPECIFICATIONS PROVIDED IN VOLUME 2 OF THE MASTER MUNICIPAL CONSTRUCTION DOCUMENTS (PLATINUM EDITION).
- HYDRO, TELEPHONE, CABLE AND GAS UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE MOST RECENT SPECIFICATIONS FOR EACH UTILITY.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF WEST KELOWNA, REGIONAL DISTRICT OF THE CENTRAL OKANAGAN (RDCO), AND ALL OTHER JURISDICTIONS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD LOCATING ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE PARTIES AND THE CITY OF WEST KELOWNA, RDCO, FORTIS/ BC HYDRO, TELUS, SHAW CABLE AND FORTIS GAS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS, IF REQUIRED, FOR THE INSPECTION OF ALL THE REQUIRED UTILITY CONNECTIONS.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER AT LEAST 2 FULL WORKING DAYS IN ADVANCE OF BEGINNING CONSTRUCTION.
- 10. THE CONTRACTOR SHALL PROVIDE WRITTEN NOTICE TO ALL RESIDENTS AFFECTED BY CONSTRUCTION AT LEAST 2 FULL WORKING DAYS PRIOR TO CONSTRUCTION. COPIES OF THE NOTICE SHALL BE PROVIDED TO THE ENGINEER.
- CONTRACTOR TO REMOVE ALL EXISTING SITE FEATURES SUCH AS EXISTING STRUCTURES, SURFACE TREATMENTS, ETC. AND STRIP TOPSOIL AS PER GEOTECHNICAL REPORT.
- REFER TO GEOTECHNICAL REPORT COMPLETED BY INTERIOR TESTING ON JAN. 30, 2019 FOR RECOMMENDATIONS.

PARKING LOT NOTES:

- CONTRACTOR TO DISPOSE OF WASTE ASPHALT/CONCRETE MATERIAL AND UNSUITABLE FILL OFFSITE TO AN APPROVED DISPOSAL SITE.
- 2. ALL PROPOSED CURB IS BARRIER CURB . REFER TO DETAIL "D" ON COB.
- ASPHALT STRUCTURE TO BE PER GEOTECHNICAL RECOMMENDATION:
 ASPHALT = 50mm
 BASE GRAVEL = 100mm
 SUBBASE GRAVEL = 500mm

5. ALL PAVEMENT MARKING TO BE AS SHOWN ON SITE PLAN. ALL WHITE PAINT EXCEPT FOR DESIGNATED ACCESSIBLE PARKING SYMBOLS.





- 1. ALL MATERIALS AND CONSTRUCTION TO BE IN ACCORDANCE WITH MMCD PLATINUM EDITION.
- 2. UTILITY TRENCHING AS PER MMCD STANDARD DETAIL.
- 3. STORM MANHOLE AS PER MMCD STANDARD DETAIL.
- 4. STORM PIPE (200mm 600mm) TO BE PVC ULTRA RIB.
- MECHANICAL ENGINEER TO PROVIDE PUMPING OR BACKFLOW PREVENTION FOR BUILDING FOUNDATION WITH CONNECTED TO STORM SERVICE.
- 6. SANITARY PIPE TO BE PVC DR35.
- 7. ONSITE STORM CB TO BE SUPPLIED WITH B26-A GRATE.
- THE CONTRACTOR IS RESPONSIBLE TO FIELD LOCATE ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR IS TO INFORM ENGINEER OF ANY INCONSISTENCIES 24 HOURS PRIOR TO CONSTRUCTION.
- 9. REFER TO ELECTRICAL DRAWINGS FOR PROPOSED HYDRO, TEL AND CABLE DESIGN.
- 10. REFER TO MECHANICAL DRAWINGS FOR BUILDING SERVICES TO 1m OUTSIDE BUILDINGS

11. WATER PIPE TO BE PVC C900 CLASS 235 DR18.

12. ALL ONSITE WATERMAINS MUST BE PRESSURE TESTED AT 200 PSI OR 50 PSI IN EXCESS OF THE SYSTEM WORKING PRESSURE, WHICHEVER IS GREATER, AND SHALL MAINTAIN THAT PRESSURE 45 PSI FOR 2 HOURS, WATERWAINS TO BE DISINFECTED ACCORDING TO AWMA AND MMCD STANDARDS PRIOR TO TIE-IN.

 CONTRACTOR TO GIVE ADEQUATE NOTICE TO ENGINEER FOR INSPECTION PRIOR TO BACKFILL OF UTILITY WORKS, WATERMAIN TESTING, AND TIE-INS.

14. ALL CB LEADS TO BE 200mm# PVC AT 2.0% GRADE.

15. CONTRACTOR TO CONFIRM ALL RIM ELEVATIONS WITH LANDSCAPE DRAWINGS.

PRE-DEVELOPMENT RATIONAL METHOD

I = A_c × (T)⁰ where Ac = 12.2 and B = -0.723 T = time (in hours)

I = Intensity A = Runoff Area (4a)

 $T = 3.26 \frac{(1.1 \cdot C^{i})t^{0.5}}{S^{0.33}} \text{ where } T = Time (mins)$ $C^{i} = Conc coefficient$ L = Travel Distance

\$ = \$lope of Travil (%)

MINOR STORM Q : CIA/360 where C = Runoff Coe. 0.47 Effective 'c' Coefficient

S YEAR RETURN
MINIMUM T_C = 10 MIN.

DESIGN	POINT	INCREMENT	JUNOFF	EQUIV.	CUMMUL	TIME OF	INTENSITY	FLOW	CONC.	LENGTH	SLOPE	TRAVEL
FROM	то	AREA A (Ha)	COEF.	A*C	EQUIV. AREA	CONCEN. T _c (min)	(imm/hr)	Q (L/s)	COEF.	(m)	(%)	TIME T _t (min)
1	2	0.2664	0.47	0.1263	0.1263	11.48	40.34	14.16	0.47	50	2	11.48

POST-DEVELOPMENT RATIONAL METHOD

Infiltration / Detention System

C=	0.90	
A =	0.2664 ha	

release *	14.16	J's		1.00	n.			1-8	
		122	1029	Inflow	Rain	Outflow	2000	Inflow - C	utilow
2100	1:100 Year	Q	Q	Incremental	Cumulative	Incremental	Cumulaive		
Time	Intensity	Inflow	Outflow	Volume	Volume	Volume	Volume		
(min)	(mm/hr)	(t/s)	(1./4)	(L)	(L)	(r.)	0.0	0.1	(m
0	0.00	0	0.00	0	0	0	0	0	0.0
5	143.26	119.3	14.16	17889	17889	2124	2124	15765	15
10	84.18	70.1	14.16	28401	46290	4247	6371	39919	39
11	78.25	65.1	14.16	4057	50347	849	7220	43127	43
12	73.20	60.9	14.16	3782	54129	849	8070	46060	46
13	68.84	57.3	14.16	3547	57677	849	8919	48757	48
14	65.03	54.1	14.16	3343	61020	849	9769	51251	51
15	61.68	51.4	14.16	3165	64185	849	10618	53567	53
16	58.70	48.9	14.16	3007	67192	849	11468	55724	55.
17	56.04	46.6	14.16	2866	70057	849	12317	57740	57
18	53.63	44.6	14.16	2739	72796	849	13167	59630	59
19	51.45	42.8	14.16	2625	75421	849	14016	61405	61
20	49.47	41.2	14.16	2521	77941	849	14865	63076	63
21	47.65	39.7	14.16	2426	80367	849	15715	64652	64
22	45.98	38.3	14.16	2338	82705	849	16564	66141	66
23	44,44	37.0	14.16	2258	84964	849	17414	67550	67
24	43.01	35.8	14.16	2184	87148	849	18263	68884	68
25	41.69	34.7	14.16	2115	89263	849	19113	70:50	70
26	40.45	33.7	14.16	2051	91314	849	19962	71352	71
27	39.30	32.7	14.16	1992	93306	849	20812	72495	72
28	38.22	31.8	14.16	1936	95242	849	21661	73681	73
29	37.20	31.0	14.16	1884	97126	849	22511	74615	74
30	36.25	30.2	14.16	1834	98960	849	23360	75400	75
35	32.20	26.8	14.16	8548	107508	4247	27607	79901	79
40	29.07	24.2	14.16	7652	115160	4247	31855	83305	83.
45	26.56	22.1	14.16	6947	122106	4247	36107	86004	86
50	24.50	20.4	14.16	6376	128482	4247	40341	88133	88.
55	22.77	19:0	14.16	5902	134384	4247	44594	89788	89.
60	21,30	17.7	14.16	5503	139688	4247	4884	91044	91
70	18.92	15.8	14.16	10046	149934	8495	57331	92595	92
80	17.08	14.2	14.16	8993	158927	8495	6583	93094	93
90	15.61	13.0	14.16	8164	167091	8495	7432	92763	92
100	14.40	12.0	14.16	7493	174584	8495	8282;	91762	91.
110	13.38	11.1	14.16	6937	181521	8495	9131	90204	90
120	12.52	10.4	14.16	6468	187989	8495	9981	88178	88.
130	11.77	9.8	14.16	6066	194055	8495	10830	85749	85
140	11.12	9.3	14.16	5717	199772	8495	11680	82972	83.
150	10.55	8.8	14.16	5412	205184	8495	125295	79889	79.
160	10.04	8.4	14.16	5141	210325	8495	133789	76536	76.
170	9.58	8.0	14.16	4900	216225	8495	1422(4	72941	72
180	9.17	7.6	14.16	4684	219909	8495	15077%	69130	69
240	7.36	6.1	14.16	24765	244674	50967	201744	42928	42.
300	6.20	5.2	14.16	20310	264984	50967	252713	12271	12

Req'd Volume (Factor of Safety 10%) =

102 cubic meters 110.4 cubic meters

INCOMES TO STATE STATE OF THE S		Salar 700, Leathard M. ACT Stakes Areas, Echanica, EC VYY 2005 To the Section Control Control BC HOUSING						
SOURCE SERVICE Continue Cont		H	,	_	CIVIL			
SOURCE STATE SAMPLE AND ADDRESS OF THE STATE		DISCIP	ED IV: SC	_	SC		25mm	
SOURCE STATE AND SOURCE			NS		NS	╛	PLOTTING SCALE.	
SOURCE STATE AND CONCERN AND C			20M-0	106	14-00	+	2020-06-19	
SOURCE STATE AND A CONCESS OF THE STATE OF T		15	DATE			DESCRIP	TION	
SOURCE SERVICE SOURCE SERVICE			2020-08-20	15	SSUED FOR DESIGN	DEVEL	OPMENT	
SOURCE SERVICE SOURCE SERVICE		E						
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SOURCE SHEET COME TO SHEET COM								
- WALTE MAR - OC CARS TOP - OCAS		L	 OBJECTS WITH 	I HE	AVIER LINE WEIGHTS ARI	E DENOT	ING PROPOSED	
WILTER MAN SOURCES VIEWS CONCRETE SOURCES CONCRE	Ц			2	PERMEABLE LANDSCAP	E SURFA	CE	
WALTE MAN 0.0 CARS TOP 100 CAR	1			3				
			T	7	SANITARY SEWER STORM SEWER STORM SEWER NATURAL CAS ELECTRICAL POWER FEL COMMUNICATIONS FIBRESHAM CABLE PAYEMENT EDGE GRAVEL EDGE FENCE CONTOUR LIMIT OF WORKS TOP OF SLOPE BOTTOM OF SLOPE RETAINING WALL	1 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	HYDRANT REDUCER REQUEER REGUEER REGUEER ROBER COUPLING LINE VALVE EX STORM MARRICLE EX STORM MARRICLE PR. CRI MARRICLE PR. CRI MARRICLE ACTION HAS IN TIME CATCH BASIN CAP PR. STREET LICHT EX STREET LICHT COBBA. ARI UTILITY POLE POLE ANCHOR UTILITY POLE POLE ARCHOR UTILITY POLE	

BC HOUSING

WEST KELOWNA SUPPORTIVE HOUSING

SERVICING PLAN

CO3

ISSUED FOR 50% CD 2020-08-28

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EROSION AND SEDIMENT CONTROL PLAN GENERAL NOTES

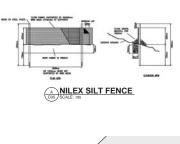
- SUPPLY AND INSTALL SILT FENCE AS REQUIRED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING ALL TEMPORARY BERMS, SETTLING AREAS, INTERCEPTOR DITCHES AND CHECK DAMS TO PREVENT SILTATION AND DOWNSTREAM
- THE CONTRACTOR MUST MONITOR THE STATUS OF THE SITE AND THE SILT AND EROSION CONTROL MEASURES. ANY MAINTENANCE REQUIRED TO ANY OF THE SILT AND EROSION CONTROL FEATURES MUST BE CONDUCTED IMMEDIATELY.
- ALL SILT AND EROSION CONTROL PROCEDURES TO BE DONE IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENTATION CONTROL.
- UNDER THIS PLAN, ALL PERSONS INCLUDING BUT NOT LIMITED TO THE DEVILLOPER, OWNER OF THE LINID, THE BINGINGER OF RECORD, CIVIL CONTRACTOR, CIVIL SUB-CONTRACTOR, BUILDER, & BUILDER, SUB-TRADES ENGAGED ON SITE SHALL COMPLY WITH ALL REGULATORY REQUIREMENTS SPECIFIED BY FEDERAL, PROVINCIAL AND MINIDIPAL AUTHORITIES PERTAINING TO ON SITE MANAGEMENT AND DISCHARGE ASSOCIATED WITH REGISION AND SEDIMENT CONTROL REGULATIONS.
- THE DEVELOPER/PERSONS RESPONSIBLE SHALL COMPLETE ALL CONSTRUCTION ACTIVITIES IN A
 MANNER THAT ACHIEVES BEST MANAGEMENT FRACTICES TO PREVENT AND CONTAIN ON-SITE, SILT
 LADEN RUNOFF THAT EXCEEDS 75MGL TSS FROM ENTERING DOWNSTREAM DRAINAGE
 INFRASTRUCTURE AND AQUATIC SYSTEMS.
- THE SITE SUPERVISOR IS RESPONSIBLE TO MONITOR, INSPECT, AND REPORT TO THE DEVELOPER, CONTRACTOR, AND CITY ON BEOSION AND SEDIMENT CONTROL FACILITIES & SITE DISCHARGE PERFORMANCE IN ACCORDANCE TO THE CITY'S SEDIMENT CONTROL PROCESS.
- 8. THE DEVELOPER/OWNER/PERSONS RESPONSIBLE MUST COMPLY WITH THE ESC PLAN WITHIN THE SPECIFIED TIMEFRAME, AND COMPLY WITH ALL INSTRUCTION ISSUED BY THE SITE SUPERVISOR TO RECTIFY DEFICIENCIES THAT RESULT IN NON-CONFORMANCE WITH THE PERMIT.
- ALL SITE ACCESS FROM DISTURBED AREAS TO PAVED SURFACES IS TO BE RESTRICTED AND SHALL LIMIT THE TRANSPORT OF SEDIMENT ONTO ROADWAYS.

CONSTRUCTION STAGE

- EROSION CONTROL MEASURES MUST BE IMPLEMENTED IN TWO PHASES, DESIGNATED BY (1) AND (2).
 MUST BE IMPLEMENTED PRIOR TO CLEARING AND GRUBBING
- 2. MUST BE IMPLEMENTED PRIOR TO TYING INTO THE EXISTING STORM SYSTEM.
- INSTALL SPECIFIED ESC ACCESS FACILITIES/MEASURES AT ENTRY/EXIT POINTS. ALL VEHICLE MOVEMENT TO AND FROM THE SITE IS TO BE RESTRICTED TO CONTROLLED ENTRY/EXIT POINTS AS SHOWN.
- CONTRACTOR TO MAINTAIN COPY OF ESC PLAN ONSITE, DISTRIBUTE TO SUB-TRADES AS NECESSARY AND ENSURE ESC SIGNAGE IS IN PLACE.
- THE SITE SUPERVISOR WILL BE RESPONSIBLE FOR REVIEWING THE EXISTING ROADS DAILY AND THAT
 THE GENERAL CONTRACTOR SWEEPS THEM REGULARLY. FLUSHING OF ROADWAYS IS PROHIBITED.
- INSTALLATION OF SILT FENCE SHALL BE AS PER MANUFACTURER'S SPECIFICATIONS, AND AS IN DETAIL A,
- CONTRACTOR TO IDENTIFY LOCATION OF TEMPORARY STOCKPILES FOR REVIEW BY THE ENGINEER OF RECORD PRIOR TO STOCKPILING.
- DURING EXCAVATION, DEWATERING SUMPS ARE TO BE INSTALLED AS NECESSARY. DEWATERING SUMPS WILL CONSIST OF A VERTICAL PERFORATED PIPE SURFOCUNDED BY DARAIN ROCK WITH A NON-WOVEN GEOTEXTLE TO SEPARATE THE NATURE SOIL FROM THE DRAIN ROCK.
- DEWATERING WHERE REQUIRED SHOULD BE PUMPED TO FILTER BERM. ADDITIONAL BERMS TO BE INSTALLED IF REQUIRED.
- DEWATERING TO BE PUMPED TO TEMPORARY TANKS ON-SITE IF CAPACITY OF FILTER BERM IS EXCEEDED OR IS DEMONSTRATED TO BE INEFFECTIVE.
- CATCH/LAWN BASINS COMPLETE WITH PROTECTIVE MEASURES ARE TO BE INSTALLED BY THE CONTRACTOR AT THE FIRST OPPORTUNITY.
- CONTRACTOR TO CO-ORDINATE THE ELIMINATION OF TEMPORARY ESC FACILITIES IF THEY ARE NO LONGER REQUIRED OR TO FACILITATE SITE OPERATIONS WITH THE ENGINEER OR RECORD. ADDITIONAL ESC FACILITIES MAY NEED TO BE INSTALLED AS PER THE DIRECTION OF THE ENGINEER OF RECORD.

MAINTENANCE ALL STAGES (AS APPLICABLE)

- UPON INSTRUCTION/NOTIFICATION, THE CONTRACTOR IS REQUIRED TO UNDERTAKE MAINTENANCE ACTIVITIES AS DEEMED SPECIFIED TO MODIFY OR MAINTAIN ESC FACILITIES.
- INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT (1:2 YEAR STORM AND/OR +40mm RAINFALL OVER 24 HOUR DURATION) AND REMOVE SEDIMENT WHEN ACCUMULATED SILT REACHES % FENCE HEIGHT OR ZSmm MAXIMUM SUGGESTED STORAGE HEIGHT.
- GRAVEL ACCESS PAD SHALL BE INSPECTED DAILY TO ENSURE FUNCTIONALITY, ADD ADDITIONAL ROCK AS REQUIRED.
- THE DEVELOPER OR BUILDER MUST REGULARLY CLEAN ON AND OFF SITE PAVED ROAD SURFACES OF ACCUMULATED SEDIMENTS AT THE END OF EACH DAY OR AS REQUIRED. NO SOIL, SAND OR OTHER MATERIAL WITH A HIGH SEDIMENT CONTENT SHALL BE DEPOSITED OR PILED OUTSIDE OF THE PROPERTY BOUNDARIES, PARTICULARLY ON PAVED ROAD SURFACES.
- ALL SEDIMENT REMOVED FROM ESC CONTROL FACILITIES TO BE DISPOSED OF IN A MANNER AS TO NOT COMPOUND OR COMPROMISE THE SEDIMENT LOADING OF OTHER CONTROL MEASURES.









POWER POLE WITH COBRA ARM

CONCRETE SURFACE

NS

SC

CIVII

BC HOUSING

WEST KELOWNA

SUPPORTIVE HOUSING

EROSION & SEDIMENT

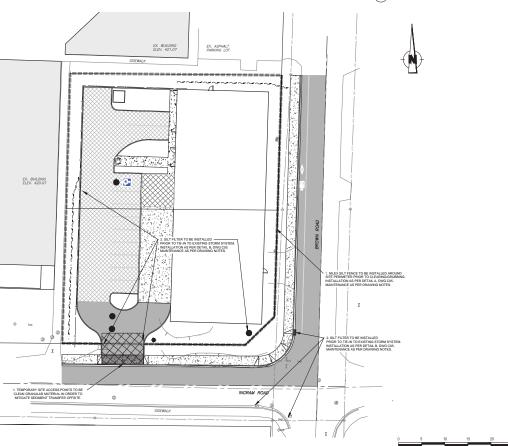
CONTROL PLAN

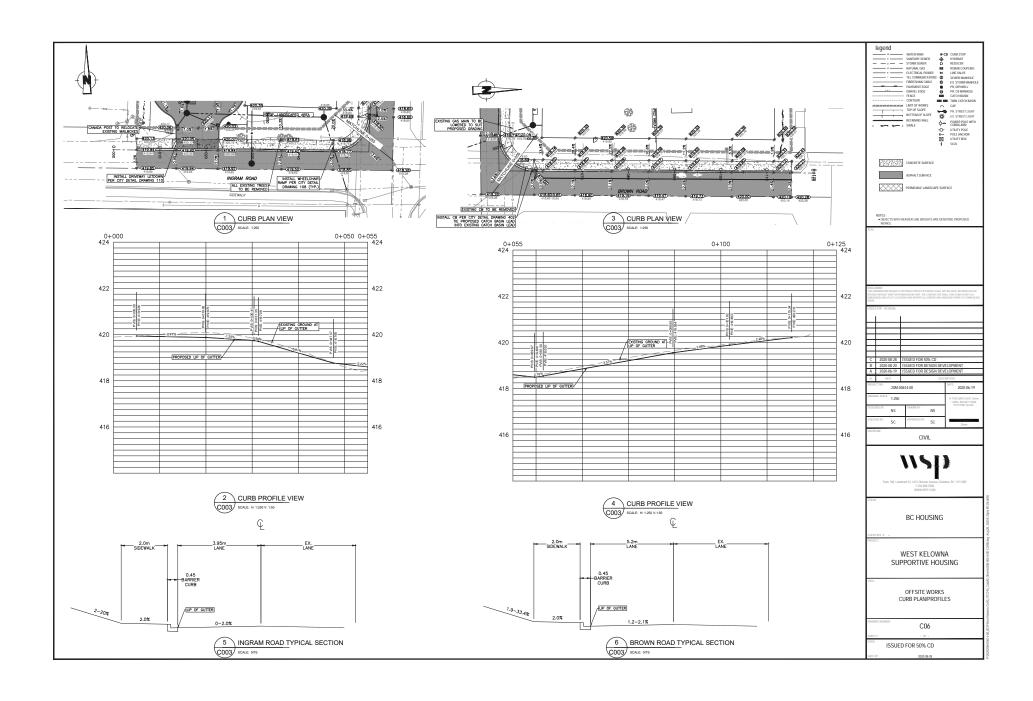
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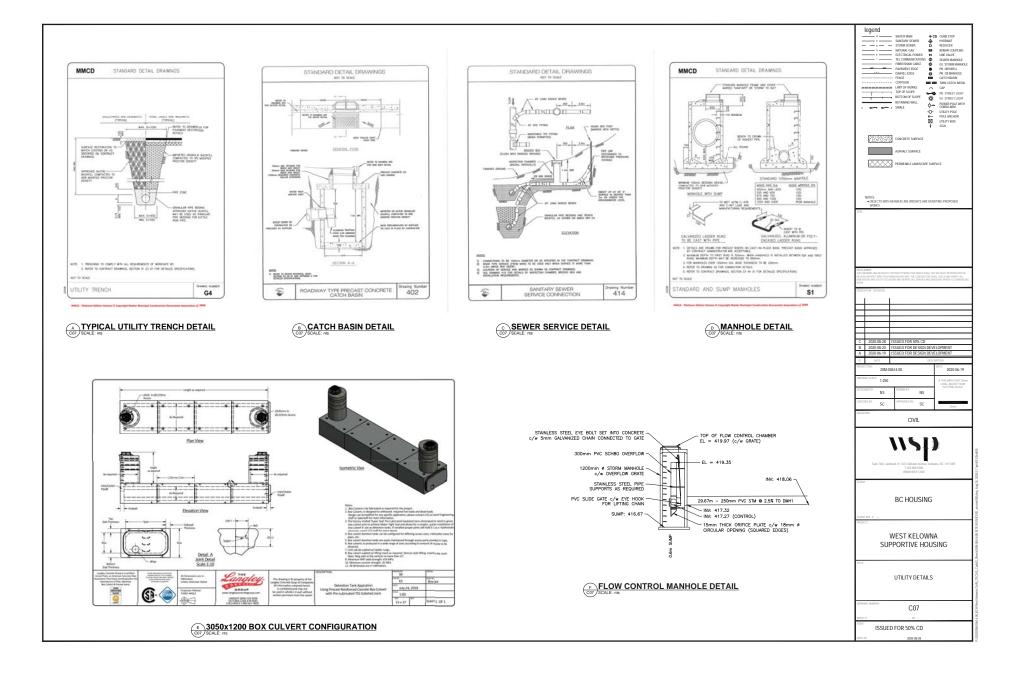
ASPHALT SURFACE

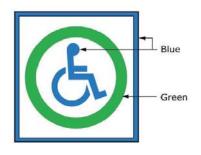
PERMEABLE LANDSCAPE SURFACE

© ACCESS ROAD SECTION









E DESIGNATED ACCESSIBLE PARKING SIGN
COB SCALE: rits

W4

STANDARD DETAIL DRAWINGS

FIRE HYDRANT INSTALLATION

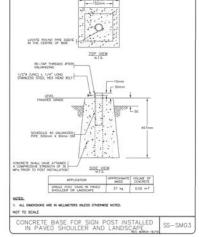
A HYDRANT DETAIL SCALE: nts

F SIGN POST DETAIL CO8 SCALE: nts

POST MOUNTED SIGN IN RURAL AREA OR HWY

SS-SM02





STANDARD DETAIL DRAWINGS

B WATER SERVICE DETAIL COB SCALE: nts STANDARD DETAIL DRAWINGS

W2a

1. NOS CENAS, PAR SERVICES 19 TO NOMA CAÇA:

2. PAS SOCIESTO (ECINOS 33 TO 20.

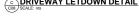
3. ANTIALL SERVICE PAPE 491% "NOSSE MICH" IN HOMEOFIA, POSTON,

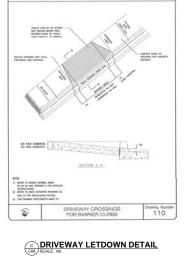
4. MENO COMP CONTINUES IN DIRECTOR PAPEAT CONTRIB. IN HOMEOFIA,

5. MENO COMPANIO, TOMANICO, ECINOS.

5. MENO TO COMPANIO, TOMANICO, ECINOS. 33 TO FOR ECHALES SPECIFICATIONS.

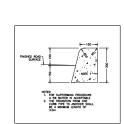
WATER SERVICE CONNECTION - SERVICE BOX





STANDARD DETAIL DRAWINGS





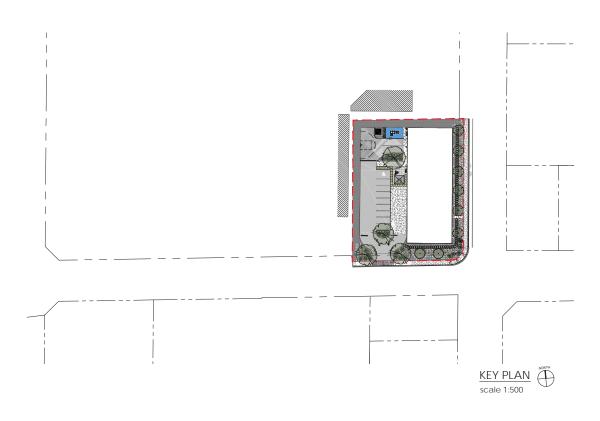
Cog cod					
CONCRETE SARRACE ASPARE SARRACE PERMEABLE MADISCANE SARRACE					
NOTES. - GLECTS WITH EAVER LIME WEIGHTS ARE ERWOTING PROPOSED WORKS. TOTAL T					
POLISSES THE STATE OF THE PROPERTY OF THE PRO					
A 2009-09-28 SSUED FOR 50% CD SOUTHWEST CD S					
STATE 1250 STAT					
5alo 700, Leohard VI, 1831 Distain Aview, Advance, BC, VYY 005 T209 865000 WWW 809-CCM					
BC HOUSING					
WEST KELOWNA SUPPORTIVE HOUSING					
TYPICAL DETAILS					
CO8					

ISSUED FOR 50% CD

Schedule "C"

BCH - BROWN ROAD, WEST KELOWNA, BC

ISSUED FOR DEVELOPMENT PERMIT 2020-06-04



CONSULTANT

WSP GROUP LIMITED SUITE 700-1631 DICKSON AVENUE

KELOWNA, BC V1Y 0B5

DRAWING LIST

L000 COVER PAGE LDP1 SITE PLAN

LDP2 LANDSCAPE DETAILS

LANDSCAPE DEVELOPMENT **NOTES**

- PLANT MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MINIMAL STANDARDS ESTABLISHED IN THE CAMADINA LANGACHE STANDARD (CHERREN EDTIONS) PAYM MATERIALS RESCENCIONS ARE CONSEPTUAL CINLY, FINAL PLANTING SELECTIONS MAY VARY DEPENDING UPON AVAILABILITY. THE LANGACHE DESIGN DESIGNATION HEREN IS CONCEPTUAL BUT REFLECTS THE MINIMAL ACCEPTABLE QUALITY THIS DRAWING DEPICTS FORM AND CHARACTER AND IS TO BE USED FOR DEVELOPMENT PERMIT SUBMISSION ONLY. ITS NOT HERENDED FOR USE AS A CONSTRUCTION DOCUMENT.

PLANTING NOTES

- 1. ALL PLANT MATERIAL SUPPLIED AND PLACED BY THE CONTRACTOR MUST BE CERTIFIED TO BE FREE OF SUDDEN OAK DEATH (PHYTOPHTHORA RAMORUM), ACCORDING TO THE CANADIAN FOODINSPECTION AGENCY (CFIA), OR CANADIAN LANDSCAPE STANDARDS. THE CONTRACTOR WILL BE HELD RESPONSIBLE TO THE OWNER FOR THE SUPPLY AND PLACEMENT OF DISEASED PLANTS RESULTING FROM HIS NEGLIGENCE. PLANT MATERIAL AND PRODUCTS SHALL BE AVAILABLE FOR OPTIONAL INSPECTION BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. THE CONTRACTOR SHALL PROVIDE A(1) YEAR REPLACEMENT GUARANTEE ON ALL PLANT MATERIAL TO THE OWNER FROM THE DATE OF SUBSTANTIAL PERFORMANCE.
- THE CONTRACT, FURNISH AND INSTALL ALL PLANTS SHOWN SCHEMATICALLY ON THE DRAWINGS.
- 3. FIBER WOOD MULCH IS TO BE PLACED AT 60mm MIN. DEPTH TO THE PLANTING AREAS AS SHOWN ON THE DRAWINGS. NO PLASTIC FILM OR WEED BARRIER FABRIC IS PERMITTED UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS. THE WOOD MULCH PRODUCT SHALL BE NON MATTING, FREE OF CHUNKS, STICKS, SOILS, STONES, CHEMICALS, ROOTS AND
- 4. GROWING MEDIUM SHALL BE PLACED AT 450mm MIN. DEPTH IN ALL PLANTING AREAS. UNLESS OTHERWISE SHOWN IN THE DRAWINGS. SOIL TO MEET PROPERTIES OF TYPE 2P FOR PLANTING AREAS, AS PER TABLE 6-3 IN THE LATEST EDITION OF THE CANADIAN LANDSCAPE STANDARDS.
- 5. ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN EFFICIENT AUTOMATIC IRRIGATION SYSTEM



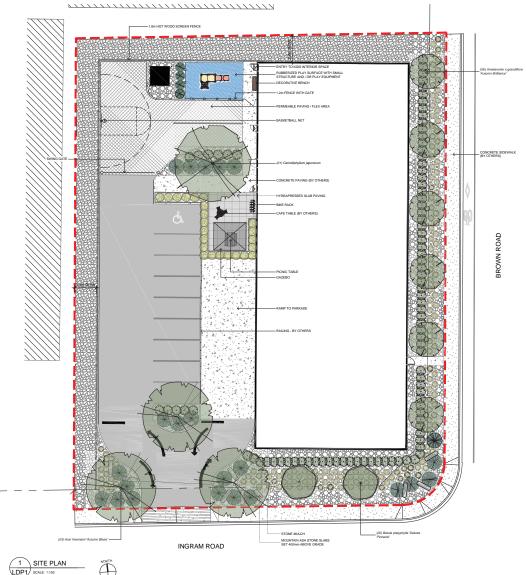


BC HOUSING SUPPORTIVE HOUSING WEST KELOWNA

ADDRESS 3788 & 3792 BROWN ROAD, WEST KELOWNA, BC DATE

SHEET L000 **COVER PAGE** CLIENT





QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	Mature Plan Size (Ht.xWd
	Trees Deciduous				
3	Acer freemanii 'Autumn Blaze'	Autumn Blaze Maple	6cm Cal	B&B	12.0m x 9.0n
2	Betula platyphylla 'Dakota Pinnacle'	Japanese White Birch	5cm Cal	B&B	9.0m x 3.6m
1	Cericidiphyllum japonicum	Katsura Tree	7cm Cal	B&B	15.0m x 15.0
	Shrubs / Perennials / Grasses				
6	Amelancher x grandiflora 'Autumn Brilliance'	Apple Serviceberry - multi-stem	#15	Potted	6.0m x 4.5r
91	Buxus microphylla 'Green Velvet'	Boxwood	#03	Potted	1.2m x 1.2r
23	Juniperus horizontalis 'Prince of Wales'	Prince of Wales Juniper	#02	Potted	0.3m x 2.0r
23	Miscanthus sinensis 'Gracillimus'	Maiden Grass	#02	Potted	1.5m x 1.2r
158	Miscanthus sinensis 'Little Kitten"	Eulalia	#02	Potted	1.2m x 0.75
4	Taxus x media 'Hicksii'	Hicks Yew	#02	Potted	3.0m x 1.2r

SHRUB / PERENNIALS LEGEND

BOTANICAL NAME

Buxus microphylla 'Green Velvet'

GENERAL LEGEND:

LIMIT OF WORK

PROPERTY LINE

1.2m FENCE WITH GATE

STONE SLABS

mm

FURNISHING LEGEND:

C.I.P. CONCRETE PLANTER

DECORATIVE BENCH

CYCLE RACK

LANDSCAPE LEGEND:

CONCRETE PAVING (BY OTHERS) HYDRAPRESSED SLAB

2°-3° RIVER COBBLE STONE MULCH

RUBBERIZED SURFACE

REPRESENTATIVE IMAGES















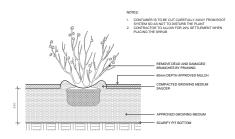
BC HOUSING SUPPORTIVE HOUSING WEST KELOWNA

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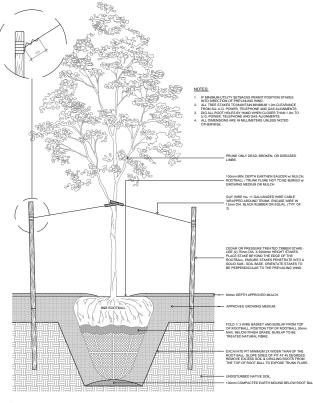
SHEET LDP1 CLIENT



SITE PLAN



1 TYPICAL SHRUB PLANTING LDP2 SCALE: 1:15









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SHEET LDP2 LANDSCAPE DETAILS



