



**CITY OF WEST KELOWNA
DEVELOPMENT VARIANCE PERMIT
DVP 20-12**

TO: Lorie & Lawrence Walter
1219 Sunnybrae Road
West Kelowna, BC V1Z 2N9

CITY OF WEST KELOWNA PLANNING DEPARTMENT	
ATTACHMENT: <u>1</u>	
FILE NO.: <u>DVP 20-12</u>	

1. This Permit is issued subject to compliance with all of the Bylaws of the City of West Kelowna applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Permit applies to and only to those lands within the City of West Kelowna described below, and any and all buildings, structures and other developments thereon:
Lot 26 District Lot 581 ODYD Plan 17329 (1219 Sunnybrae Road)
3. This permit reduced the required front yard setback for a proposed addition to the existing dwelling. Specifically, this Development Variance Permit varies the following:
 - **S10.4.5(g).1** to reduce the minimum front yard setback from 4.5 m to 1.5 m for a proposed covered entryway.
4. This permit is subject to the following conditions:
 - a. Dimensions, siting and design of the proposed additions to the existing dwelling be constructed on the property in accordance with Schedule 'A'.
4. The land described herein shall be developed strictly in accordance with the terms and conditions of this Permit and any plans and specifications attached to this Permit, which shall form a part hereof.
5. **This Permit is not a Building Permit.**

AUTHORIZING RESOLUTION NO. C####/20 PASSED BY THE MUNICIPAL COUNCIL on insert date

ISSUED ON insert date

Signed on insert date

City Clerk

/hr

Schedules:

- A. Renovation & Addition Development Drawings, prepared by Blue Vision Drafting & Design, dated May 10, 2020

GENERAL NOTES

- The following notes are to be included as part of the drawings.
- The General Contractor or the Owner/builder shall verify all dimensions, details, structural materials and conditions shown on the drawings or noted in the specifications.
- The General Contractor or Owner/builder shall resolve any problems arising out of any variances from the drawings and specifications, or from conditions encountered at the job site. Such resolution must be the sole responsibility of the General Contractor or Owner/builder.
- The Designer shall not be responsible for any departure from the drawings and Specifications authorized by any inspection authority during the course of construction.
- The General Contractor or Owner/builder shall ensure that all work conform to the current Building Code adopted by the authorities having jurisdiction or local Building Codes and By-laws that may take precedence.
- The General Contractor or Owner/builder shall be responsible for correct placement of this building on the site. Any pre-existing structures must be surveyed prior to construction. The foundation must be surveyed post foundation construction.
- The Designer shall not be responsible for site conditions such as soil bearing capacity, depths of water tables or buried structures. A geotechnical engineer registered in the province of British Columbia may be required to determine such conditions per the requirements of the authorities having jurisdiction.
- All work shall be equal in all respects to good building practice.
- Written dimensions take precedence over scaled drawings.
- Construction loads on the structure caused by interim storage of materials or use of equipment will not be allowed to exceed the design loads.
- These drawings are not to be scaled.

ERRORS AND OMISSIONS

- The Designer makes every effort to provide complete and accurate home plans. This office assumes no liability for any errors or omissions that may affect construction.
- Should any discrepancies be found on this set of drawings, please advise our office at your earliest convenience.

STRUCTURAL DESIGN CRITERIA

- Assumed roof design snow load (live + dead) = 35 psf (1.68 kN/m²)
- Assumed soil bearing capacity = 2000 psf (95.76 kN/m²)
- Concrete foundation walls and slabs-on-grade shall have a minimum compressive strength of 3000 psi (20 MPa) at 28 days.
- All reinforcing bars shall be billet steel complying with CSA-G30.10.
- Any Structural Engineer's drawings provided take precedence over these drawings.
- The qualified professional engineer must be registered in the province of British Columbia and in good standing with the Engineering Association of BC.
- If there is a Structural Engineering involved, they must provide schedules for their design and are responsible for their own design and inspections.
- If there is no Structural Engineer involved, it is the responsibility of the authority having jurisdiction to confirm all structural design criteria.

FOUNDATION

- Foundations shall be a minimum of 8" thick insulated concrete (exceptions noted) or ICF on solid undisturbed bearing soil or pre-engineered soil approved by a geotechnical engineer certified in the province of British Columbia and below a frost line of 2'-0" below grade.
- Basement foundation walls shall not be backfilled until:
 - Concrete has reached its specified 28 day strength.
 - Structural floor framing, including subfloor, required to support the walls is complete and fully nailed and anchored.
- Foundation wall heights may require adjustment to suit site conditions.
- All concrete and masonry foundation walls exceeding limits specified in the current Building Code require engineering.
- All foundation walls 24" (600mm) and higher shall have a minimum of 1 1/2" (12mm) reinforcing bar centered on wall and located 3" (75mm) from the top of wall.
- Corner reinforcing to be lapped a minimum 24" (600mm).
- Provide minimum side clear concrete cover of 1 1/2" (38mm).
- Provide minimum bottom clear concrete cover of 3" (76mm) cast against soil.
- The Contractor shall examine all applicable drawings for locations of embedded items before placing concrete.
- Perimeter drainage shall be installed where required to the approval of local authorities.

WOOD FRAME CONSTRUCTION:

- Dimensions are taken from outside face of exterior wall sheathing to centerline of interior wall studs. Face of exterior sheathing to be flush with outside face of foundation wall. Exceptions noted.
- All studs, plates, backing, blocking and bridging to be No. 2 SPF or better.
- All joists, rafters, beams and lintels to be No. 2 SPF or better. Exceptions noted.
- Floor joists shall be doubled under all non-loadbearing partitions parallel to the joists.
- Joists are to be placed to accommodate heating, plumbing and other services.
- All lintels to be 2-x10 (2-38x235) or pre-engineered lintels. Exceptions noted.
- Wood in contact with concrete to be dampproofed with 45 lb tar saturated felt, 6 mil polyethylene.
- All wood plates are to be anchored to foundation with 12 mm (1/2") anchor bolts with spacing not exceeding 1800 mm or (6'-0") O.C. Unless noted otherwise by the structural engineer of record. Exceptions noted.
- Exterior wood plates are to be level and sealed at contact with concrete foundation.
- Cross-bridging for floor joists and roof joists shall be 38x38 (2"x2") diagonal type wherever possible. Use solid blocking with T.J.I's.
- Cross-bridging rows shall be installed at mid-span for joist spans exceeding 2100 mm (7'-0") or at 2100 mm (7'-0") maximum, unless strapping or sheathing is applied to the underside of joists.
- Roof trusses may require an engineer's certificate. For pre-engineered trusses, a certificate must be obtained from the truss fabricator.
- Caulk under all exterior door & window frames and at both sides of exposed masonry chimneys.
- Caulk under all base plates at exterior walls.
- Junctions between the floor to rim joist & rim joist to foundation must be sealed.

STEEL CONSTRUCTION:

- All structural steel design & construction must be sealed & approved by a Structural Engineer registered in the province of British Columbia.
- Fabrication, erection, structural design and detailing of all structural steel and connectors shall be in accordance with CSA-S16-09. Steel decking and metal studs shall be designed, fabricated and installed in accordance with CSA-S16-09 (R2012) and specifications of the manufacturer. Shop drawings shall be sealed by a qualified professional engineer registered in the province of British Columbia.

DECK AND PORCH CONSTRUCTION:

- All framing to be No.2 SPF or better and #1 ACQ pressure treated lumber. Exceptions noted.
- Girders for floor joists to be a min. 2-ply 2x10 unless noted otherwise. Girders shall be either bolted to posts w/ 1/2" dia. galvanized bolts or anchored into concrete pier.
- All joists to have blocking at 8'-0" o/c.
- all ledgers attached to house to have a flashing barrier, lapping behind the siding, between the house and ledger. Ledger shall be bolted to the building with 1/2" dia. galvanized bolts.
- All footings for posts and piers to be below local frost line. Piers shall extend a minimum of 6" above grade or per plan.
- All framing material to have appropriate galvanized hangers and anchors.

INSULATION, VENTILATION, AND SEALING:

- Minimum effective insulation requirements (HRV not installed):
 - Walls above grade: RSI 3.08 (R-17.5)
 - Walls below grade: RSI 2.98 (R-16.9)
 - Roof & ceiling / [cathedral & flat]: RSI 8.67 / [RSI 4.67] (R-50 / [R-28])
 - Floors Above Unheated Space: RSI 4.67 (R-26.5)
 - Under floors above frost line: RSI 1.96 (R-11)
 - Heated floors: RSI 2.32 (R-13.2)
- Minimum effective insulation requirements (HRV installed):
 - Walls above grade: RSI 2.29 (R-16.86)
 - Walls below grade: RSI 2.98 (R-16.86)
 - Roof & ceiling / [cathedral & flat]: RSI 6.91 / [RSI 4.67] (R-39.23 / [R-28])
 - Floors Above Unheated Space: RSI 4.67 (R-26.5)
 - Under floors above frost line: RSI 1.96 (R-11)
 - Heated floors: RSI 2.32 (R-13.2)
- Sealant shall be provided where required to prevent the entry of water into the structure.
- Sealant shall be provided at vertical joints between different cladding materials unless the joint is suitably lapped or flashed to prevent the entry of rain.
- 6 mil polyethylene vapour barrier shall be installed on the warm side of insulation.
- Flexible sheet air barrier materials require all joints to be lapped minimum of 50mm (2"), sealed, structurally supported. All sealants must be non-hardening. Vapour barrier tape is recommended to be applied to all joints additionally, even if not required at joint.
- Windows, Doors, and Skylights shall be sealed to vapour & air barriers.
- Sealants shall be applied between window frames or trim and the exterior caldding or masonry per British Columbia Building Code 9.27.4. or a Envelope Engineer specifications.
- Poly hats are required on exterior walls and ceilings for electrical boxes and pot lights. Which must be sealed to the vapour/air barrier.
- Attic hatches and all electrical penetrations into the attic space along any gaps, spaces, penetrations, irregularities that could inhibit vapour/air leakage must be sealed.
- Foundation wall insulation to be 3" XPS (R15) of rigid insulation on outside face of concrete, both sides of ICF or min. 1" EPS rigid insulation between a batt filled furring wall & foundation wall.
- Ceiling insulation is blown cellulose insulation in attic/flat trusses and Sprayed polyurethane foam, medium density closed cell (CAN/ULC S705.1) in floors/cathedral ceilings.
- Provide a baffle of air space (equal to soffit venting area) between insulation and roof sheathing at exterior wall line.
- All walls and ceilings between residential spaces and garages or carports shall be insulated.
- Insulation requirements may vary with heating systems and with local conditions. Verify with local authorities.

INSULATION, VENTILATION, AND SEALING:

- All roof spaces shall be ventilated with soffit, roof or gable vents, or a combination of these equally distributed between the top of roof space and soffits. Unless Sprayed polyurethane foam, medium density closed cell (CAN/ULC S705.1) is used.
- Venting area for attics and roof spaces shall be a minimum of 1/300 the of attic or roof space area. Unless Sprayed polyurethane foam, medium density closed cell (CAN/ULC S705.1) is used.
- Vents for unheated crawlspaces shall be closeable, with a minimum total area 1/500 the of the crawlspace area.

MASONRY, CHIMNEYS AND FIREPLACES:

- All masonry work shall be in accordance with the current British Columbia Building Code. Chimney and fireplace construction to comply with the applicable sections of Part 9 of the British Columbia Building Code.
- All chimney and fireplace installations shall be governed, inspected and approved by municipal authorities. A separate permit may be required.
- Fireplace(s), including hearth and mantle if specified, are to be finished to Owner's specifications.
- Fireplace flue size to be minimum 1/10 of opening size.
- Dampers shall be rear hinged and min. 200mm (8") above finished opening.
- Provide min. 200mm (8") of brick, including firebrick, on all sides of firebox - min. 300mm (12") for stone.
- Interior wood-frame members to be min. 100mm (4") clear from back of and sides of firebox, and min. (2") 50mm clear from brick chimneys.
- Exterior wood-frame members to be min. 25mm (1") clear from exterior fireplace and minimum 12mm (1/2") clear from exterior chimney.
- Zero clearance type metal fireplaces and metal chimneys to be CSA approved and installed to manufacturer's specifications. Metal lining is recommended for chimney chases.

FINISHING:

- All interior and exterior finishes shown on the drawings shall be confirmed by the Owner & Contractor.
- Exterior doors shall be solid core and weather-stripped.
- All exterior doors with flush/recessed threshold to have built-in drain in sill or have grate drain and flashing below on the exterior side of the door.
- Garage doors to dwelling area to be solid core, weather-stripped and self-closing.
- All horizontal changes in exterior finishes to be flashed. Aswell as any horizontal offsets in cladding may compromise the drainage of moisture from behind the exterior finish above.
- Flashing to be installed over all unprotected exterior openings.
- Sliding glass doors shall have safety glass.
- Window sizes are shown in foot and inches.
- Door Sizes are shown in feet and inches.
- Openings in partitions shown without doors are to be full height unless shown as an arch, door opening, or noted otherwise.
- Lintels at archways are to be framed 2075mm (6'-11") high. Exceptions noted.
- Coat and clothes closets shall have one rod and shelf. Linen closets shall have 5 adjustable shelves where possible. Broom closets shall have one shelf (unless shown/noted otherwise).
- All bathrooms shall have a wall medicine cabinet or one lockable cabinet drawer.

HEATING:

- Installation of entire heating system, whether electric, forced warm air or hot water, must comply with manufacturer's directions (where applicable) and conform to requirements of local codes and regulations in all respects.
- Gas connection will require separate permit and inspection.
- All return air ducts to be installed overhead in basement unless specified otherwise.
- All return air intakes and registers to be located and installed for maximum efficiency by a qualified heating contractor.

PLUMBING:

- All materials, equipment and methods of installation shall be in accordance with requirements outlined in Part 7 of the most current British Columbia Building Code and applicable local regulations.
- When the Owner's property is not located on a municipal sewer system, wells and septic disposal systems are to be located and constructed in accordance with health authorities having jurisdiction.
- All plumbing materials in contact with soils shall be corrosive resistant.
- All water closets to be low flush (water efficient) water closets, Unless noted otherwise.
- All plumbing fixtures to be low flow (water efficient) fixtures, Unless noted otherwise.

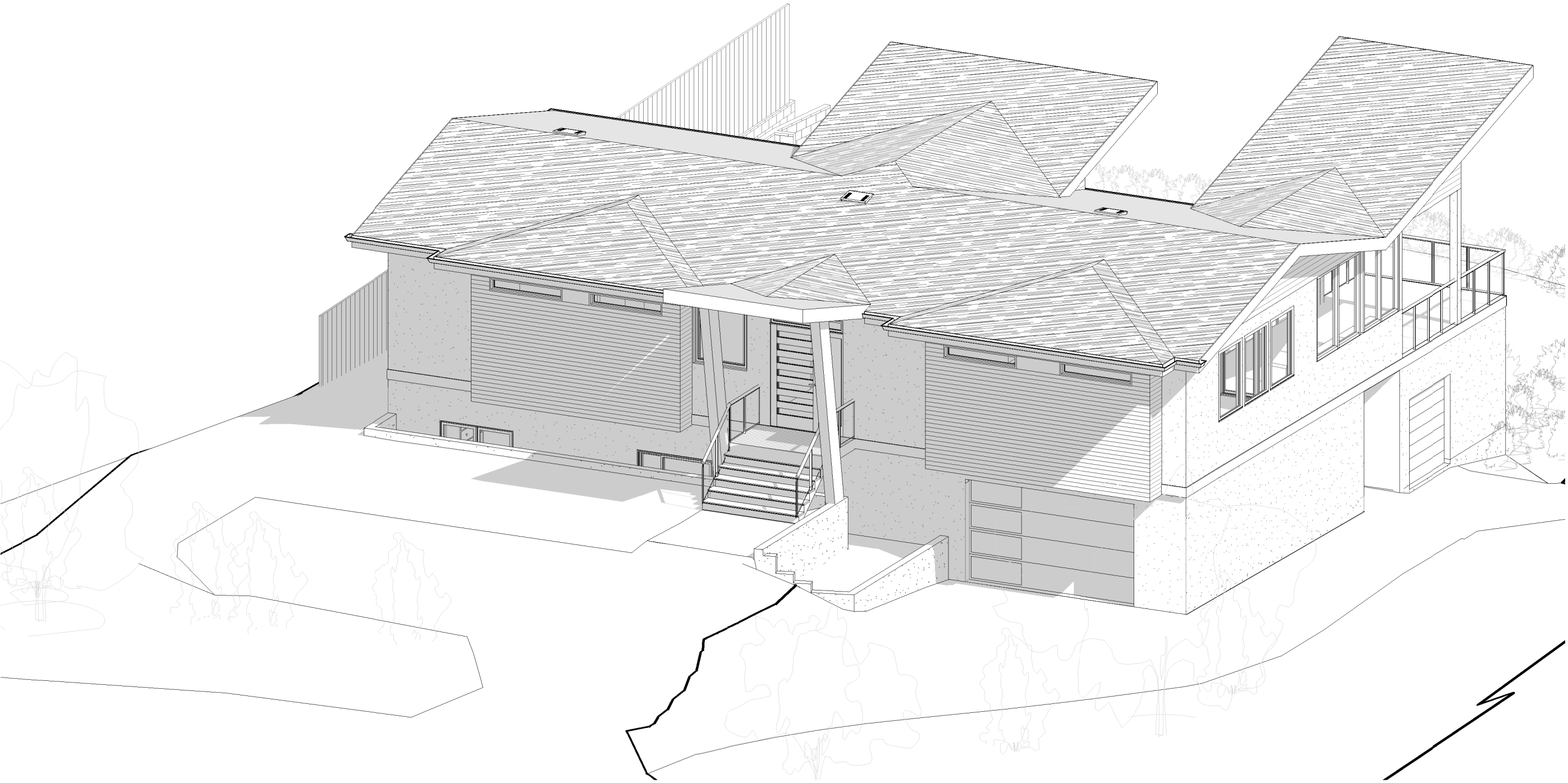
ELECTRICAL:

- Installation of electrical items must comply with the most current British Columbia Electrical Code and with the local electrical supplier in all respects.
- Outlet locations must comply with or exceed current minimum requirements outlined in the British Columbia Building Code. The minimum requirements are to be used as a guide only, and may be adjusted according the Owner's and/or local authority's specific requirements beyond the minimum.
- All lights to be light emitting diode (LED) lights, Unless Noted Otherwise.

SHEET LIST			
Sheet Number	Sheet Name	Current Revision Date	
A0.0	TITLE	05.10.20	
A1.0	SITE PLAN	05.10.20	
A2.2	ELEVATIONS	05.10.20	
A2.3	ELEVATIONS	05.10.20	

ABBREVIATIONS

AC.	Acoustic
AW.	Awning
B.C.B.C.	B.C. Building Code
BD.	Board
B.F.	Bifold door
BM.	Beam
BTWN.	Between
B.U.	Built-up
CEIL.	Ceiling
COL.	Column
CONC.	Concrete
CONC. BLK	Concrete block
CONT.	Continuous
C.S.	Crawlspace
C.W.	Complete with
DIA.	Diameter
DIM.	Dimension
DN.	Down
D.W.	Dryer
ELECT.	Dishwasher
ELEV.	Electrical
EQ.	Elevation
F.	Equal
E/W	Each Way
F.	Refrigerator
F.D.	Floor drain
FLR.	Floor
F.E.P.	From Existing Plans
FND.	Foundation
FRZR.	Freezer
FTG.	Footing
FUR.	Furnace
GA.	Guage
G.R.	Guard Rail
GW.B.	Gypsum board
H.B.	Hose bib
HORIZ.	Horizontal
HT.	Height.
H.W.	Hot Water Tank
I.H.W.	Instant Hot Water Heater
INSU.	Insulation
LDRY.	Laundry
LIN.	Linen
LINO.	Linoleum
LOUV.	Louvered
MAX.	Maximum
M.C.	Medicine cabinet
MFR. SPEC'S	Manufacturer's Specifications
MIN.	Minimum
MIR.	Mirror
MW.	Microwave
N/A	Not Applicable
N.B.C	National Building Code
N.T.S	Not to scale
OBSC.	Obscure
O/C	On centre
O/H	Overhead
O/H.	Overhang
PKT	Pocket Door
P.L.A.	Point Load Above
PLYVD	Plywood
R.	Range
REQ'D	Required
R.C.	Rubber cover
R. & S.	Rod & Shaft
RM.	Room
R.O.	Rough opening
R/W	Reinforced with
R.W.L.	Rain Water Leader
S.	Sink
S/C	Solid core
SH.	Shower
S.O.G.	Slab on grade
SUSP.	Suspended
T/O	Top of
TYP.	Typical
T.B.C	To be confirmed
U/S	Underside
V.B.	Vapour Barrier
VERT.	Vertical
V.H.	Vent Hood
W.	(Clothes) Washer
w/	With
W.C.	Water Closet
WD.	Wood
W.P.	Weatherproof
W.W.M.	Welded wire mesh
U.N.O.	Unless Noted Otherwise



1 FRONT VIEW



2 REAR VIEW

CITY OF WEST KELOWNA
PLANNING DEPARTMENT

SCHEDULE: A

FILE NO.: DVP 20-12



Blue Vision
Design Inc.
3448 Cougar Rd
West Kelowna, BC
V4T 2G9
250.864.6666
blue.vision@hotmail.com

Issue Schedule		
Issue Number	Description	Date (dd.mm.yy)
1	PRELIM SITE	23.07.20
2	REVIEW	04.08.20
7	VARIANCE	05.10.20

Lorie & Lawrence Walter
40 Sratton Hill Rise SW,
Calgary, AB, T3H1X7
P:403.613.3903
landlwalter@outlook.com

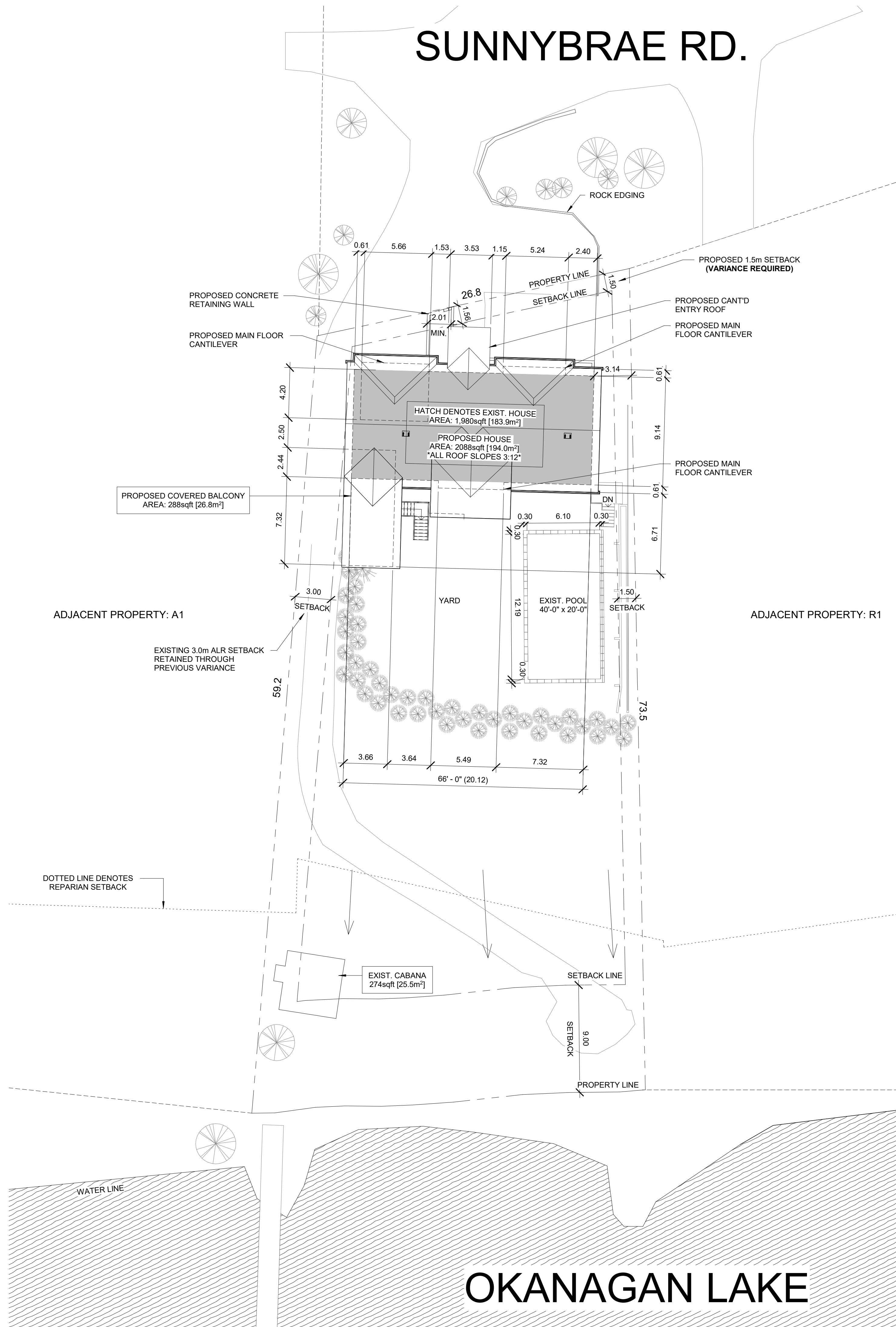
RENOVATION & ADDITION

1219 SUNNYBRAE RD,
WEST KELOWNA

TITLE

SCALE: AS NOTED	
DRAWN BY: DS	CHECKED BY: BV
DATE: 05.10.20	PROJECT: 2020-021

A0.0



1 SITE PLAN
1/16" = 1'-0"

BASEMENT SLAB ELEV. = 100'-0" (GEO. T.B.C.)
REFER TO SITE SURVEY FROM RUNNALLS DENBY BRITISH COLUMBIA LAND SURVEYORS (FILE # 14128) DATED MARCH 15, 2017 FOR ALL GEODETIC ELEVATIONS & SITE TOPOGRAPHY.

BUILDING NOTES

ALL DIMENSIONS TO BE CONFIRMED PRIOR TO CONSTRUCTION

GENERAL ZONING AND SITE INFORMATION

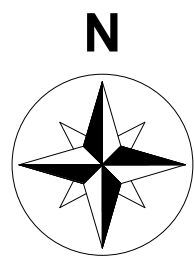
- CIVIC ADDRESS: 1219 SUNNYBRAE RD
- LEGAL: PLAN KAP17329, LOT 26
- ZONE: R1 - RESIDENTIAL 1
- AUTHORITY: CITY OF WEST KELOWNA
- TOTAL LOT AREA: 20,732sqft [1,926.1m²]
- MAXIMUM PARCEL COVERAGE: 40%

EXISTING SITE COVERAGE
- EXISTING CABANA FOOTPRINT: 274sqft [25.5m²]
+EXISTING HOUSE FOOTPRINT: 1,980sqft [183.9m²]
=EXISTING HOUSE FOOTPRINT: 2,254sqft [209.4m²] (10.1%)

PROPOSED SITE COVERAGE
-EXISTING CABANA FOOTPRINT: 274sqft [25.5m²]
+PROPOSED HOUSE FOOTPRINT: 2088sqft [194.0m²]
+PROPOSED COVERED DECK FOOTPRINT: 288sqft [26.8m²]
= TOTAL PROPOSED SITE COVERAGE: 2,650sqft [246.2m²] (12.8%)

SITE CONSTRAINTS

- FRONT YARD SETBACK: 4.5m & 6.0m FOR CARPORT/GARAGE
- REAR YARD SETBACK: 3.0m
- SIDE YARD SETBACK: 1.5m
- MAXIMUM HEIGHT OF MAIN HOUSE: 9.0m (3 STOREY)



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Lorie & Lawrence Walter
40 Sratton Hill Rise SW,
Calgary, AB, T3H1X7
P:403.613.3903
landlwalter@outlook.com

RENOVATION & ADDITION

1219 SUNNYBRAE RD,
WEST KELOWNA

SITE PLAN

SCALE:
AS NOTED

DRAWN BY: DS	CHECKED BY: BV
DATE: 05.10.20	PROJECT: 2020-021

A1.0



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RENOVATION &
ADDITION

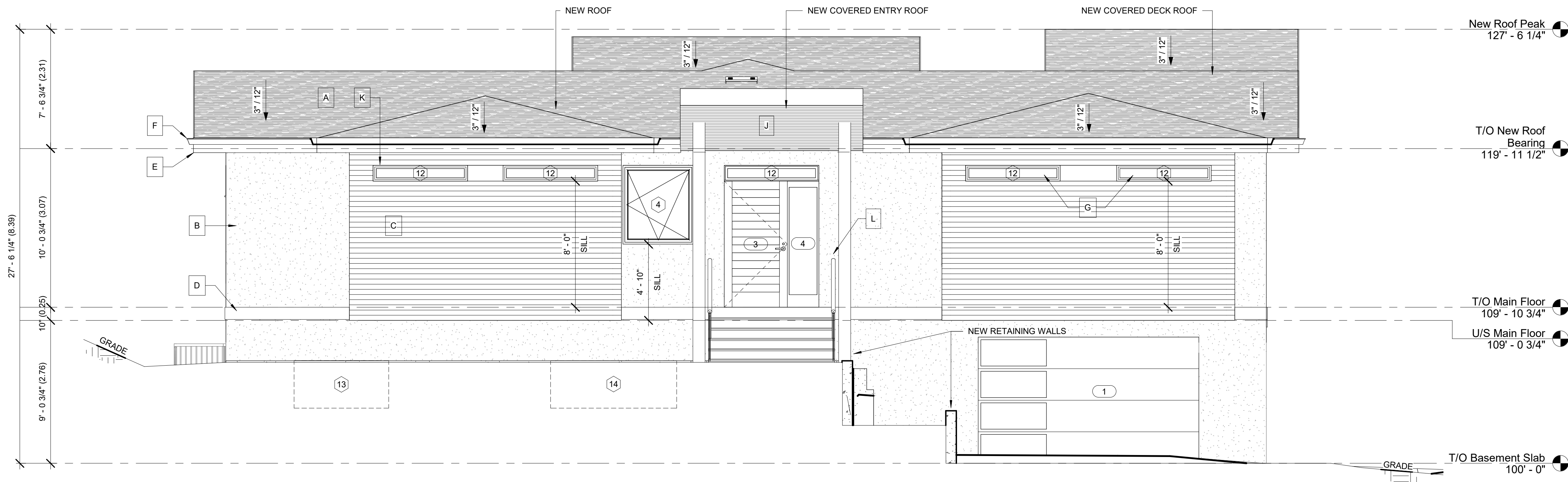
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ELEVATIONS

SCALE:
AS NOTED

DRAWN BY: DS	CHECKED BY: BV
DATE: 05.10.20	PROJECT: 2020-021

A2.2



① North Elevation
1/4" = 1'-0"

WINDOW SCHEDULE					
Window Type	Count	Type	Width	Height	Comments
1	1	24" x 60" Tilt & Turn	2' - 0"	5' - 0"	
2	1	24" x 84" Tilt & Turn	2' - 0"	7' - 6"	
3	1	36" x 84" Tilt & Turn	3' - 0"	7' - 6"	
4	1	52" x 60" Tilt & Turn	4' - 6"	5' - 0"	
5	3	48" x 66" Fixed	4' - 0"	5' - 6"	
6	3	60" x 84" Fixed	5' - 0"	7' - 6"	
7	1	72" x 60" Fixed	6' - 0"	5' - 0"	
8	2	120" x 78" Fixed	10' - 0"	7' - 6"	
9	1	48" x 24" Operable Transom	4' - 0"	2' - 0"	
10	1	48" x 24" Fixed Transom	4' - 0"	2' - 0"	
11	3	60" x 48" Fixed Transom	5' - 0"	4' - 0"	
12	5	72" x 12" Fixed Transom	6' - 0"	1' - 0"	
13	1	72" x 36" Slider	6' - 0"	3' - 0"	
14	1	96" x 36" Triple Slider	8' - 0"	3' - 0"	
15	2	16" x 90" Double Hung	1' - 4"	7' - 6"	

DOOR SCHEDULE					
Door Type	Count	Type	Width	Height	Comments
1	1	192" x 96" Overhead	16' - 0"	8' - 0"	
2	1	84" x 84" Overhead	7' - 0"	7' - 0"	
3	1	48" x 96" Exterior- Front Entry- Swing	4' - 0"	8' - 0"	
4	1	24" x 96" Front Entry Sidelite	2' - 0"	8' - 0"	
5	2	36" x 80" Exterior Swing	3' - 0"	6' - 8"	
6	1	108" x 96" Tripple Sliding Glass	9' - 0"	8' - 0"	
7	1	192" x 96" Four Panel Sliding Glass	16' - 0"	8' - 0"	
Grand total: 8					

EXTERIOR FINISH SCHEDULE	
A	ASPHALT SHINGLES (CHARCOAL)
B	WHITE STUCCO SIDING
C	LAP BOARD SIDING (DARK)
D	BLACK BELLY BAND
E	1x12 WOOD FASCIA (BLACK)
F	ALUMINUM EAVESTROUGH (ALUMINUM)
G	PRE-FINISHED ALUMINUM CLADDING (BLACK)
H	8" x 8" WHITE STUCCO CLAD COLUMN
J	SAGGIPER SLOTT (VENTED)
K	ALUMINUM FLASHING ABOVE WINDOWS & DOORS
L	GLASS GUARDRAIL
M	ROOF VENT AS REQ'D

NOTES:
 - ALL FINISHINGS TO BE NEW MATERIALS.
 - EXTERIOR NOTES TYPICAL



② South Elevation
1/4" = 1'-0"

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RENOVATION &
ADDITION

1219 SUNNYBRAE RD,
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ELEVATIONS

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AS NOTED

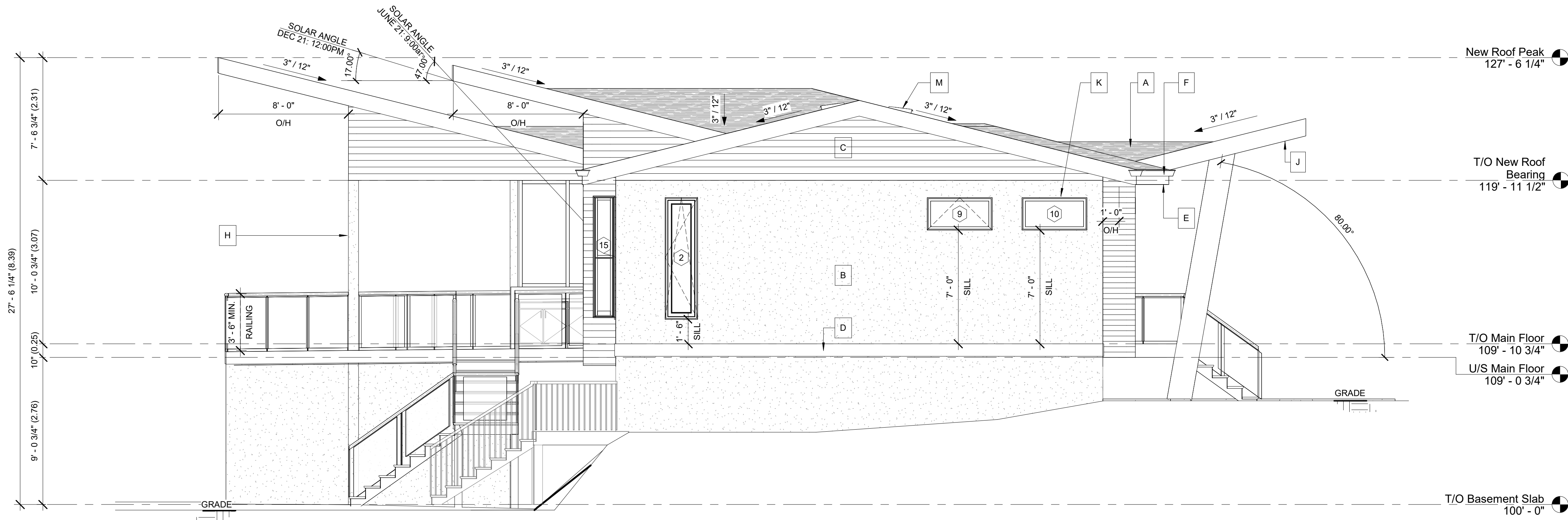
DRAWN BY:
DS

CHECKED BY:
BV

DATE:
05.10.20

PROJECT:
2020-021

A2.3

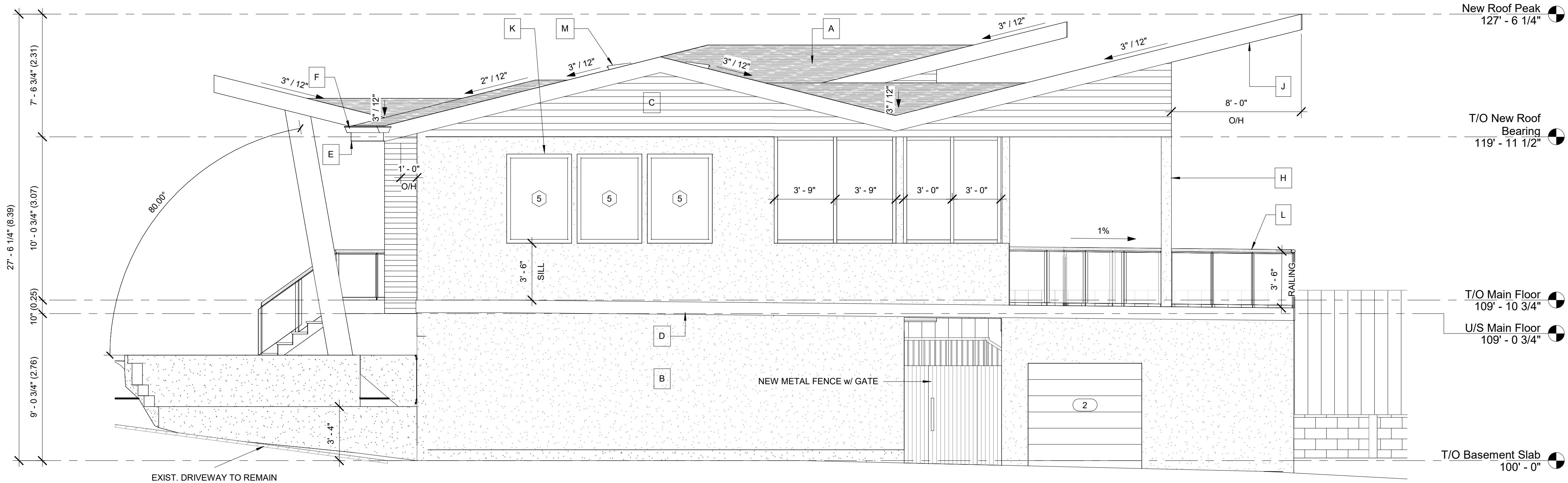


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9	1	48" x 24" Operable Transom	4' - 0"	2' - 0"	
10	1	48" x 24" Fixed Transom	4' - 0"	2' - 0"	
11	3	60" x 48" Fixed Transom	5' - 0"	4' - 0"	
12	5	72" x 12" Fixed Transom	6' - 0"	1' - 0"	
13	1	72" x 36" Slider	6' - 0"	3' - 0"	
14	1	96" x 36" Triple Slider	8' - 0"	3' - 0"	
15	2	16" x 90" Double Hung	1' - 4"	7' - 6"	
Grand total: 27					

DOOR SCHEDULE					
Door Type	Count	Type	Width	Height	Comments
1	1	192" x 96" Overhead	16' - 0"	8' - 0"	
2	1	84" x 84" Overhead	7' - 0"	7' - 0"	
3	1	48" x 96" Exterior- Front Entry- Swing	4' - 0"	8' - 0"	
4	1	24" x 96" Front Entry Sidelite	2' - 0"	8' - 0"	
5	2	36" x 80" Exterior Swing	3' - 0"	6' - 8"	
6	1	108" x 96" Tripple Sliding Glass	9' - 0"	8' - 0"	
7	1	192" x 96" Four Panel Sliding Glass	16' - 0"	8' - 0"	
Grand total: 8					

EXTERIOR FINISH SCHEDULE	
A	ASPHALT SHINGLES (CHARCOAL)
B	WHITE STUCCO SIDING
C	LAP BOARD SIDING (DARK)
D	BLACK BELLY BAND
E	1x12 WOOD FASCIA (BLACK)
F	ALUMINUM EAVESTROUGH (ALUMINUM)
G	PRE-FINISHED ALUMINUM CLADDING (BLACK)
H	8" x 8" WHITE STUCCO CLAD COLUMN
J	SAGGIPER SOFFIT (VENTED)
K	ALUMINUM FLASHING ABOVE WINDOWS & DOORS
L	GLASS GUARDRAIL
M	ROOF VENT AS REQ'D
NOTES: - ALL FINISHINGS TO BE NEW MATERIALS. - EXTERIOR NOTES TYPICAL	



② West Elevation
1/4" = 1'-0"