



**CITY OF WEST KELOWNA
DEVELOPMENT VARIANCE PERMIT
DVP 21-12**

To: Brandon Russell & Miranda Russell
932 Lloyd Jones Drive
West Kelowna, BC V1Z 2X9

1. This Development Variance Permit is issued subject to compliance with all of the Bylaws of the City of West Kelowna applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Permit applies to and only to those lands within the City of West Kelowna described below, and any and all buildings, structures and other developments thereon:

Lot 26 DL 3866 ODYD Plan 28354 (932 Lloyd Jones Drive)

3. This Permit allows for the construction of an accessory building. This Permit allows for the height of the accessory building to be a maximum of 6.5 m, in accordance with Schedule A. This Permit also reduces the minimum siting distance of 3.16 m from the front parcel boundary and the minimum rear parcel boundary setback from 3.0 m to 1.5 m, in accordance with Schedule A. Specifically this permit varies the following sections of Zoning Bylaw No. 0154:
 - **S.10.4.5(g).1** to reduce the minimum front parcel boundary from 4.5 m to 3.16 m for the proposed accessory building;
 - **S.10.4.5(g).3** to reduce the minimum rear parcel boundary setback from 3.0m to 1.5 m;
 - **S.10.4.5(f).2** to increase building height from the maximum height allowed 5.0 m to 6.5 m for the proposed accessory building.
4. This Permit is specific to the accessory building and future conversion to a carriage house would not be supported as a number of identified deficiencies and requirements to meet carriage house regulations has not been met.
5. The land described herein shall be developed strictly in accordance with the terms and conditions of this Permit.
6. **This Permit is not a Building Permit.**

AUTHORIZING RESOLUTION NO. CXXX/XX PASSED BY THE MUNICIPAL COUNCIL ON .

ISSUED ON

Signed on

Schedules:

- A. Site Plans, prepared by Greener Designs, May 26, 2021

DRAFT

