



**CITY OF WEST KELOWNA**  
**DEVELOPMENT VARIANCE PERMIT**  
**DVP 21-12**

To: Brandon Russell & Miranda Russell  
932 Lloyd Jones Drive  
West Kelowna, BC V1Z 2X9

1. This Development Variance Permit is issued subject to compliance with all of the Bylaws of the City of West Kelowna applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Permit applies to and only to those lands within the City of West Kelowna described below, and any and all buildings, structures and other developments thereon:

**Lot 26 DL 3866 ODYD Plan 28354 (932 Lloyd Jones Drive)**

3. This Permit allows for the construction of an accessory building. This Permit allows for the height of the accessory building to be a maximum of 6.5 m, in accordance with Schedule A. This Permit also reduces the minimum siting distance of 3.16 m from the front parcel boundary and the minimum rear parcel boundary setback from 3.0 m to 1.5 m, in accordance with Schedule A. Specifically this permit varies the following sections of Zoning Bylaw No. 0154:
  - **S.10.4.5(g).1** to reduce the minimum front parcel boundary from 4.5 m to 3.16 m for the proposed accessory building;
  - **S.10.4.5(g).3** to reduce the minimum rear parcel boundary setback from 3.0m to 1.5 m;
  - **S.10.4.5(f).2** to increase building height from the maximum height allowed 5.0 m to 6.5 m for the proposed accessory building.
4. This Permit is specific to the accessory building and future conversion to a carriage house would not be supported as a number of identified deficiencies and requirements to meet carriage house regulations has not been met.
5. The land described herein shall be developed strictly in accordance with the terms and conditions of this Permit.
6. **This Permit is not a Building Permit.**

AUTHORIZING RESOLUTION NO. CXXX/XX PASSED BY THE MUNICIPAL COUNCIL ON .

ISSUED ON

Signed on

Schedules:

- A. Site Plans, prepared by Greener Designs, May 26, 2021

DRAFT





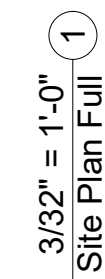
***Request to Build a Garage / Accessory Building on the Lot with Existing Single Detached House***

**Garage Floor Level = 925 sf (86.0m<sup>2</sup>)**  
**Studio Floor Level = 650sf (60.0m<sup>2</sup>)**  
**Total Building Area = 1575sf (146.0m<sup>2</sup>)**  
**Studio Area = 70% Floor Area to Garage Area**  
**Parking = 3 Stalls in Garage**

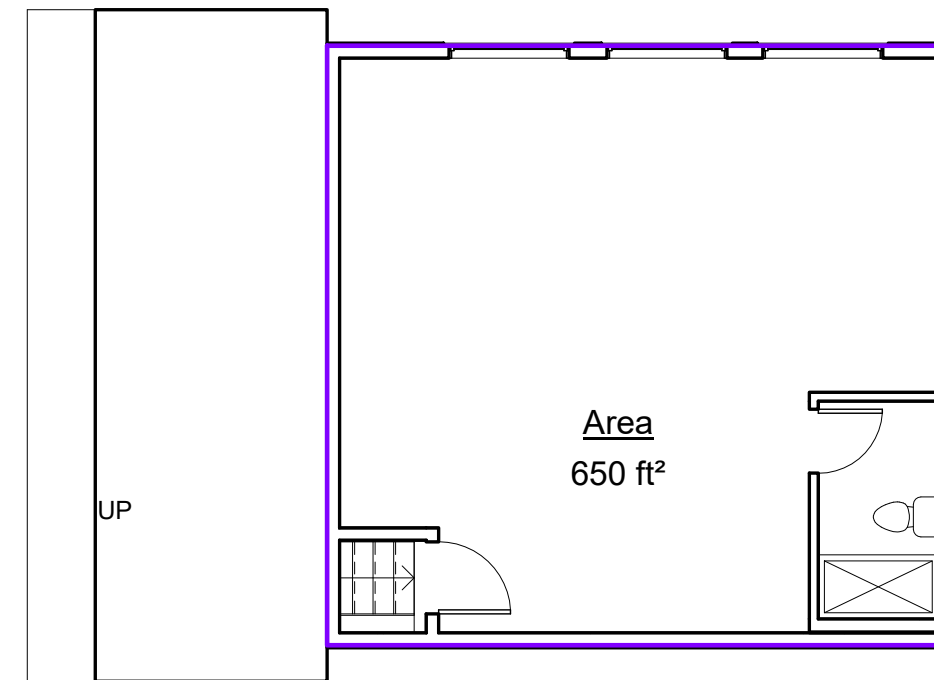
**4.5m Required, 3.16m Provided,  
Variance Required**

**1.5m Required, 1.5m Provided**

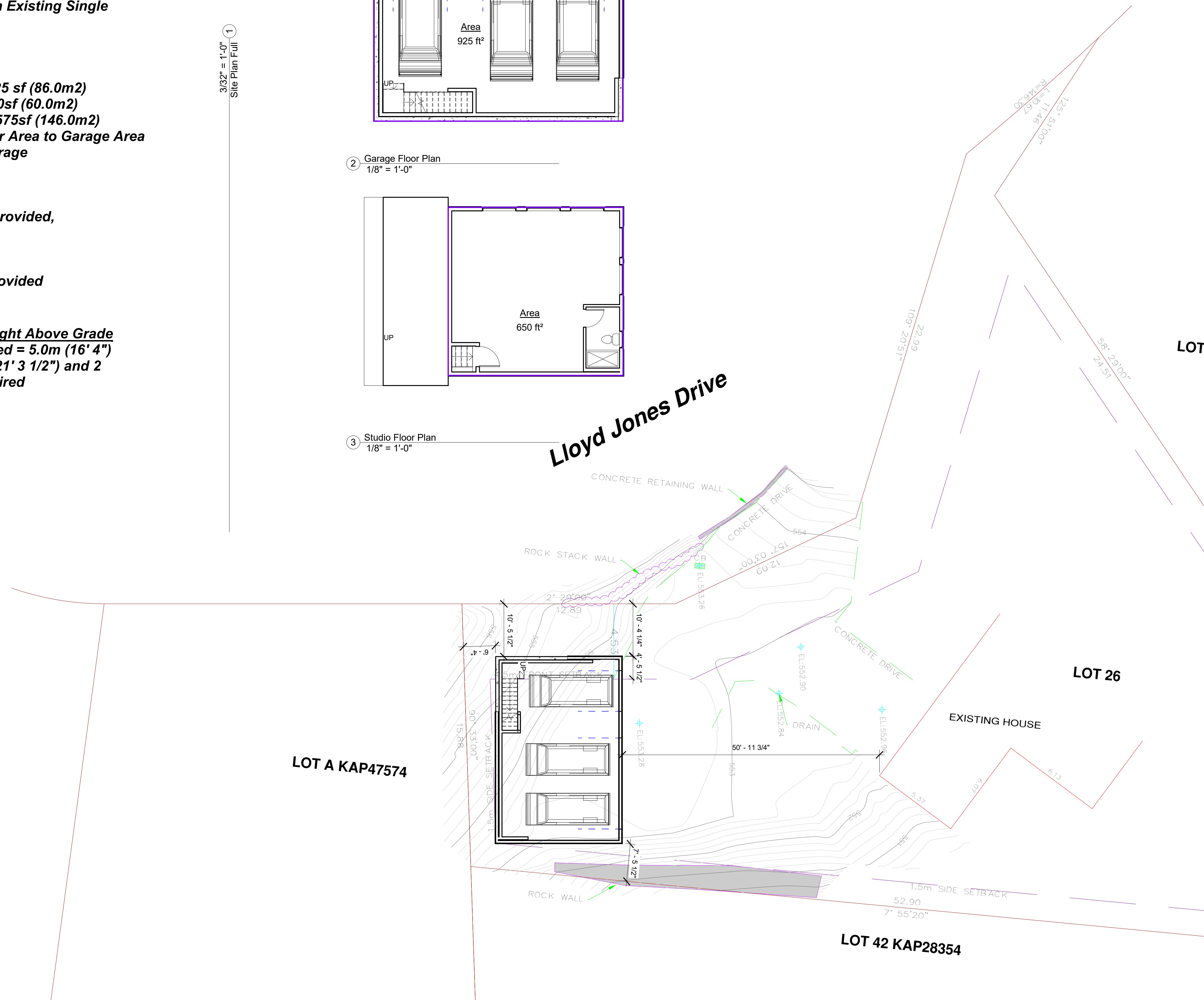
**Maximum Height Allowed = 5.0m (16' 4")**  
**Height Provided 6.5m (21' 3 1/2") and 2**  
**Storeys, Variance Required**



② Garage Floor Plan  
1/8" = 1'-0"



③ Studio Floor Plan  
1/8" = 1'-0"



***Greener By  
Design***

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All construction shall comply with the requirements of the local codes and ordinances as well as the latest adopted edition of the BC Building Code.

All dimensions, including rough opening sizes, are to be verified by the General Contractor prior to construction and errors or omissions reported to the designer.

Do not scale drawings.

Exact location of mechanical, electrical and plumbing equipment subject to change due to site conditions.

[illegible]

Rusell Garage
932 Lloyd Jones Dr.
Site Plan

Project number	21-001
Date	May 26, 2021
Drawn by	JA
Checked by	JA
A1	
Scale	As indicated

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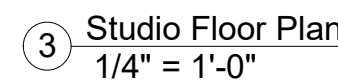
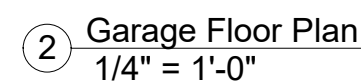
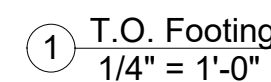
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Rusell Garage  
932 Lloyd Jones Dr.  
Floor Plans

## A2a

Scale	1/4" = 1'-0"
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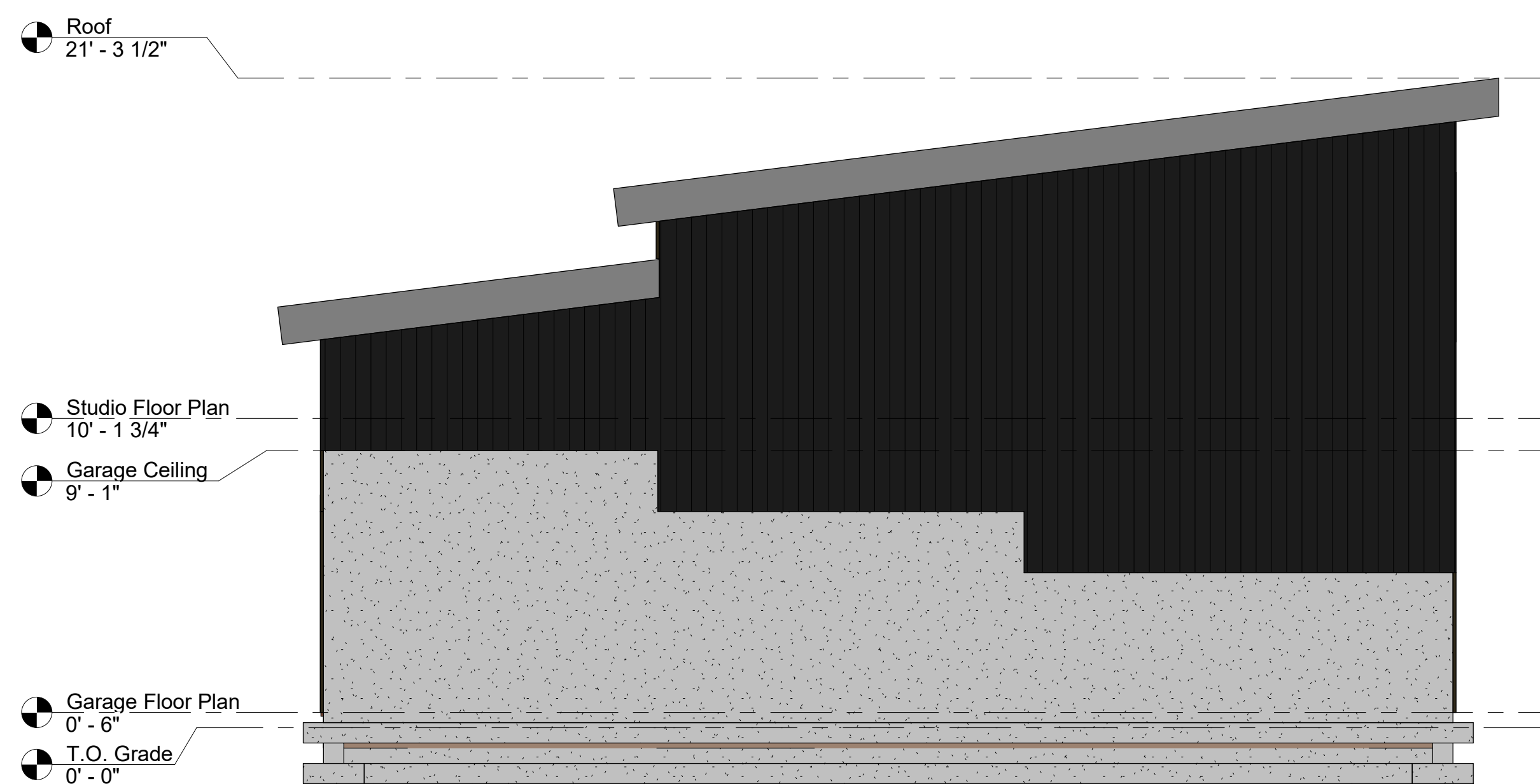
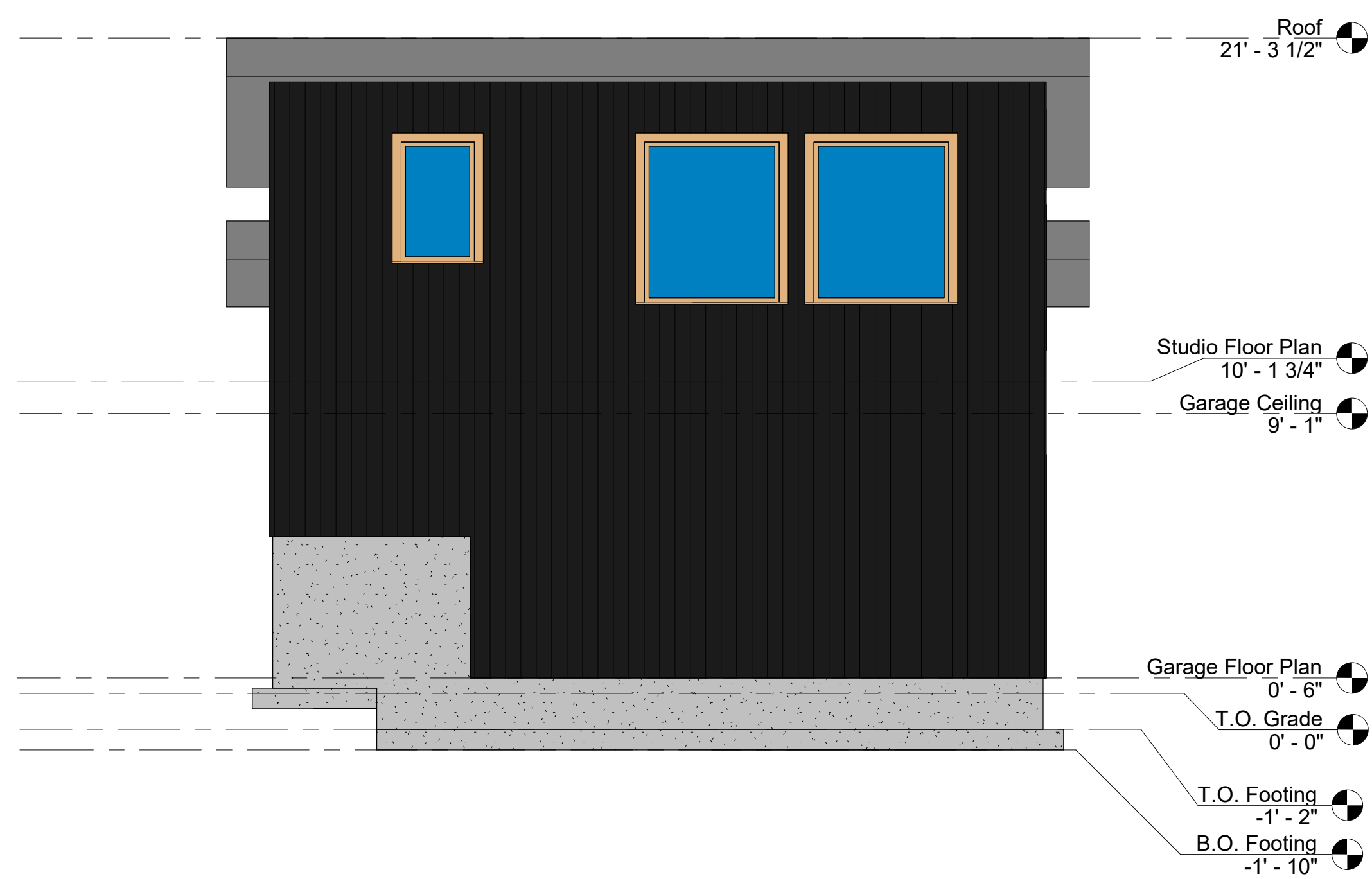


***All dimensions are to outside face of concrete foundation or exterior face of plywood sheathing, typical***

Wall Schedule			
Type	Mark	Type	Fire Rating   Comments
EFW01		Foundation Wall - 8" Concrete	
EW02		Exterior - 1/2" Plywood / 5 1/4" Stud / 1/2" GWB	
P01		Interior Partition - 1/2" Gypsum / 3 1/2" Stud / 1/2" Gypsum	
P02		Interior Partition - 1/2" Gypsum / 5 1/4" Stud / 1/2" Gypsum	
P03		Furring Wall - 1" Air Space / 5 1/2" Stud / 1/2" Gypsum	







***All dimensions are to outside face of concrete foundation or exterior face of plywood sheathing, typical***

## ***Greener By Design***

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[illegible]

## Rusell Garage 932 Lloyd Jones Dr. Elevations

Project number	21-001
Date	May 26, 2021
Drawn by	Jim Anderson
Checked by	JA

A3a

Scale	1/4" = 1'-0"
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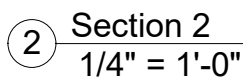
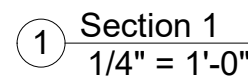
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Exact location of mechanical, electrical and plumbing equipment subject to change due to site conditions.

Rusell Garage  
932 Lloyd Jones Dr.  
Building Sections

A4a

Scale  $1/4" = 1'-0"$



Door Schedule				
Door Number	Level	Door Type	Door Size	Comments
112	Garage Floor Plan	Exterior Door	36" x 84"	
113	Garage Floor Plan	Garage Door	18' x 7' 6"	
114	Garage Floor Plan	Garage Door	8' Wide x 7' 6" Tall	
116	Studio Floor Plan	Exterior Door	36" x 80"	Fire rated with Closer
118	Studio Floor Plan	Interior	32" x 80"	

Window Schedule									
Mark	Type	Level	Head Height	Rough Opening	Rough Opening	Model	Material	Finish	Glazing
				Width	Height				Type
W114	Casement with Trim	Studio Floor Plan	7' - 10"	4' - 6"	5' - 4"				
W116	Casement with Trim	Studio Floor Plan	7' - 10"	2' - 6"	4' - 0"				
W118	Casement with Trim	Studio Floor Plan	5' - 6"	5' - 0"	4' - 6"				
W119	Casement with Trim	Studio Floor Plan	5' - 6"	5' - 0"	4' - 6"				
W120	Casement with Trim	Studio Floor Plan	5' - 6"	5' - 0"	4' - 6"				
W123	Trapezoid_Fixed_Windo w_11501	Studio Floor Plan	8' - 6"	9' - 0"	2' - 0"				
W124	Casement with Trim	Studio Floor Plan	7' - 10"	4' - 6"	5' - 4"				

- Standing Seam Metal Roof w/Membrane
- 1/2" Plywood Sheathing
- Trusses as per Engineered Roof Drawings
- R36 Batt or Blown Insulation
- 6 mil Poly Vapour Barrier
- 5/8" Gypsum Ceiling Board

-8" Concrete R 0.58 RSI 0.10  
-Perimeter 3" Rigid Insulation R15 as shown

- Exterior Air Film	0.17	0.03
- 8" Exposure Vertical Hardie Siding -Tyvek Building Wrap Taped and Sealed	0.15	0.03
- 1/2" Plywood Sheathing	0.62	0.11
- 2x6 Wood Studs @ 16" OC w/R24 Insulation	1.80	2.80
- 6 mil Poly Vapour Barrier	0.00	0.00
- 1/2" Gypsum Wall Board	0.45	0.08
- Interior Paint Finish	0.00	0.00
- Interior Air Film	0.68	0.12

- 1/2" Gypsum Wall Board
- 2x4 Wood Studs @ 24" OC
- 1/2" Gypsum Wall Board

	<b>R Value</b>	<b>RSI Value</b>
- Exterior Air Film	0.17	0.03
-8" Concrete R 0.58 RSI 0.10	0.58	0.10
-1" Air Space	0.90	0.00
-2x6 Wood Studs @ 24" OC w/R24 Insulation	15.00	2.80
-6 mil Poly Vapour Barrier	0.00	0.00
-1/2" Gypsum Wall Board	0.45	0.08
- Interior Paint Finish	0.00	0.00
-Interior Air Film	0.68	0.12

-4" Concrete Polished Finish  
-6 mil Poly Vapour Barrier  
-4" Compacted Radon Approved Gravel, Mechanical to provide venting as required by Code  
-3" Rigid Insulation R15, Perimeter Insulation as Shown

- Finishes TBD
- 3/4" T&G Plywood Subfloor
- 11 7/8" Joists as per Engineered Floor Drawings filled with 10" R36 Insulation
- Vapour Barrier
- 5/8" Gypsum Type X Ceiling Board including underside of stairs