



DEVELOPMENT VARIANCE PERMIT DVP 21-12

- To: Brandon Russell & Miranda Russell 932 Lloyd Jones Drive West Kelowna, BC V1Z 2X9
- 1. This Development Variance Permit is issued subject to compliance with all of the Bylaws of the City of West Kelowna applicable thereto, except as specifically varied or supplemented by this Permit.
- 2. This Permit applies to and only to those lands within the City of West Kelowna described below, and any and all buildings, structures and other developments thereon:

Lot 26 DL 3866 ODYD Plan 28354 (932 Lloyd Jones Drive)

- 3. This Permit allows for the construction of an accessory building. This Permit allows for the height of the accessory building to be a maximum of 6.5 m, in accordance with Schedule A. This Permit also reduces the minimum siting distance of 3.16 m from the front parcel boundary and the minimum rear parcel boundary setback from 3.0 m to 1.5 m, in accordance with Schedule A. Specifically this permit varies the following sections of Zoning Bylaw No. 0154:
 - **S.10.4.5(g).1** to reduce the minimum front parcel boundary from 4.5 m to 3.16 m for the proposed accessory building;
 - **S.10.4.5(g).3** to reduce the minimum rear parcel boundary setback from 3.0m to 1.5 m;
 - **S.10.4.5(f).2** to increase building height from the maximum height allowed 5.0 m to 6.5 m for the proposed accessory building.
- 4. This Permit is specific to the accessory building and future conversion to a carriage house would not be supported as a number of identified deficiencies and requirements to meet carriage house regulations has not been met.
- 5. The land described herein shall be developed strictly in accordance with the terms and conditions of this Permit.
- 6. This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO. CXXX/XX PASSED BY THE MUNICIPAL COUNCIL ON .

ISSUED ON

Signed on

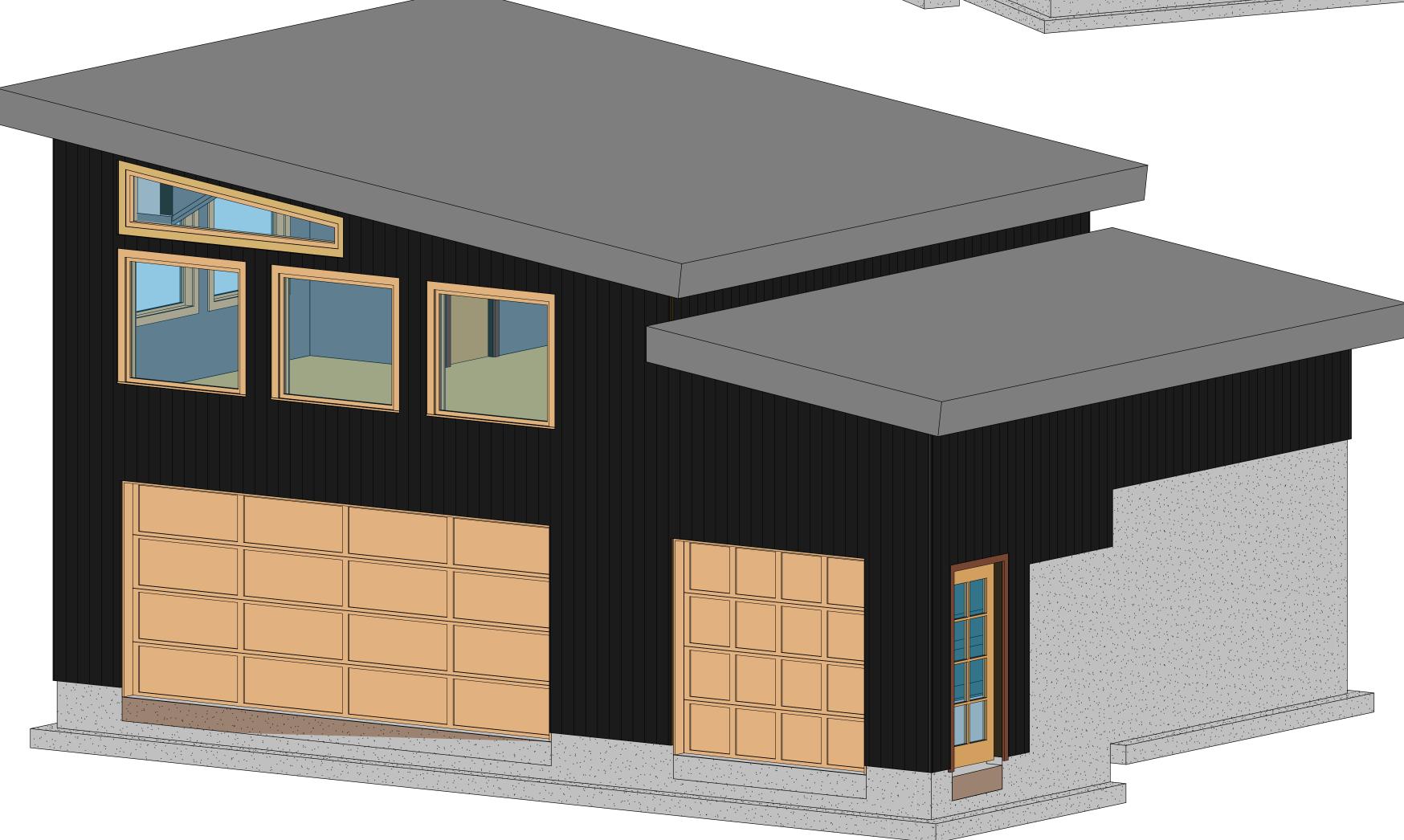
Schedules: A. Site Plans, prepared by Greener Designs, May 26, 2021

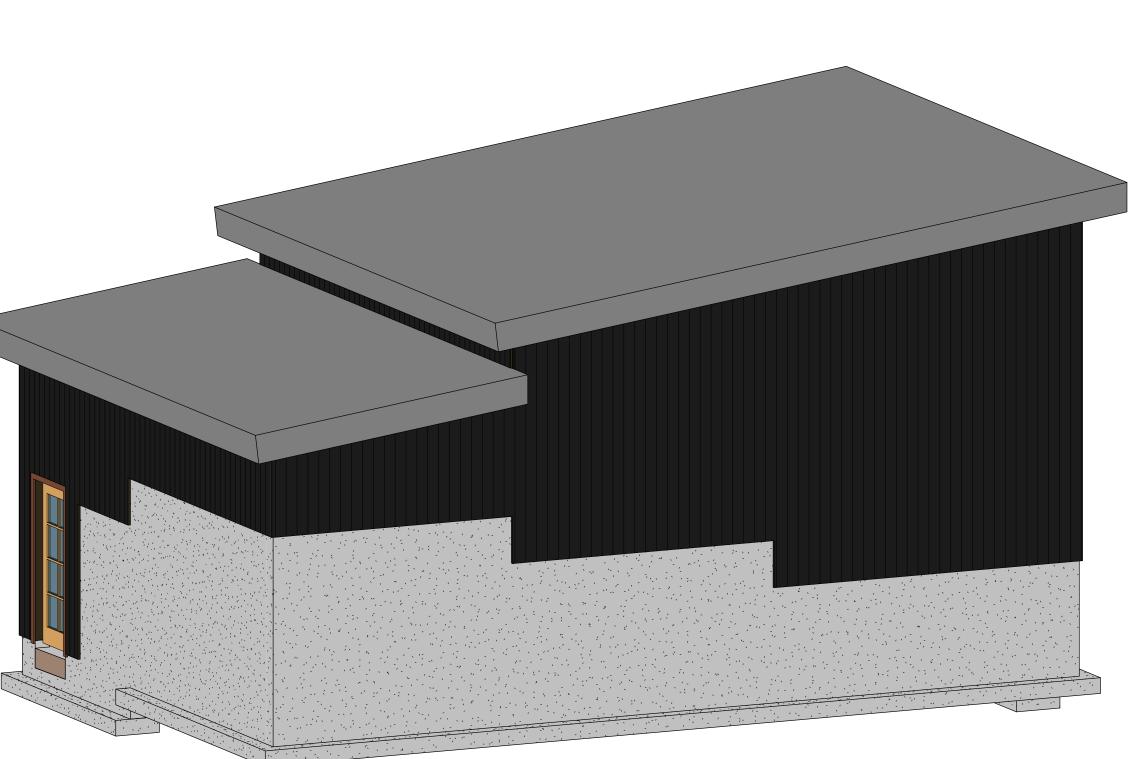
CITY OF WEST KELOWNA PLANNING DEPARTMENT

SCHEDULE: <u>A – Development Drawings</u>

FILE NO.: DVP 21-12 LIST OF DRAWINGS

Drawing List		
Sheet Number Sheet Name		
A0	List of Drawings	
A1	Site Plan	
A2a	Floor Plans	
A2b	Roof Plan	
A3a	Elevations	
A4a	Building Sections	







Parcel Identifer :

<u>932 Lloyd Jones Drive, West Kelowna, BC</u>



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Consultant Address Address Phone Fax e-mail

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Building Code.

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Do not scale drawings.

Exact location of mechanical, electrical and plumbing equipment subject to change due to site conditions.

	1	
No.	Description	Date
	Rusell Garage	<u>,</u>
ç	32 Lloyd Jones	Dr.
	List of Drawing	S
-	number	21-001
Date		26, 2021
Drawn		Andersor
Check	ed by	JA
	A0	

Current Zone R1

Request to Build a Garage / Accessory Building on the Lot with Existing Single Detached House

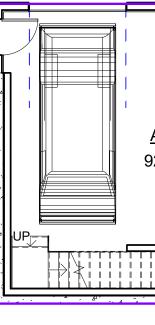
<u>Accessory Building</u> Garage Floor Level = 925 sf (86.0m2) Studio Floor Level = 650sf (60.0m2) Total Building Area = 1575sf (146.0m2) Studio Area = 70% Floor Area to Garage Area Parking = 3 Stalls in Garage

<u>Front Building Setback</u> 4.5m Required, 3.16m Provided, Variance Required

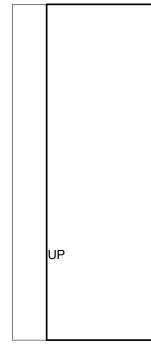
<u>Side Building Setback</u> 1.5m Required, 1.5m Provided

<u>Accessory Building Height Above Grade</u> Maximum Height Allowed = 5.0m (16' 4") Height Provided 6.5m (21' 3 1/2") and 2 Storeys, Variance Required



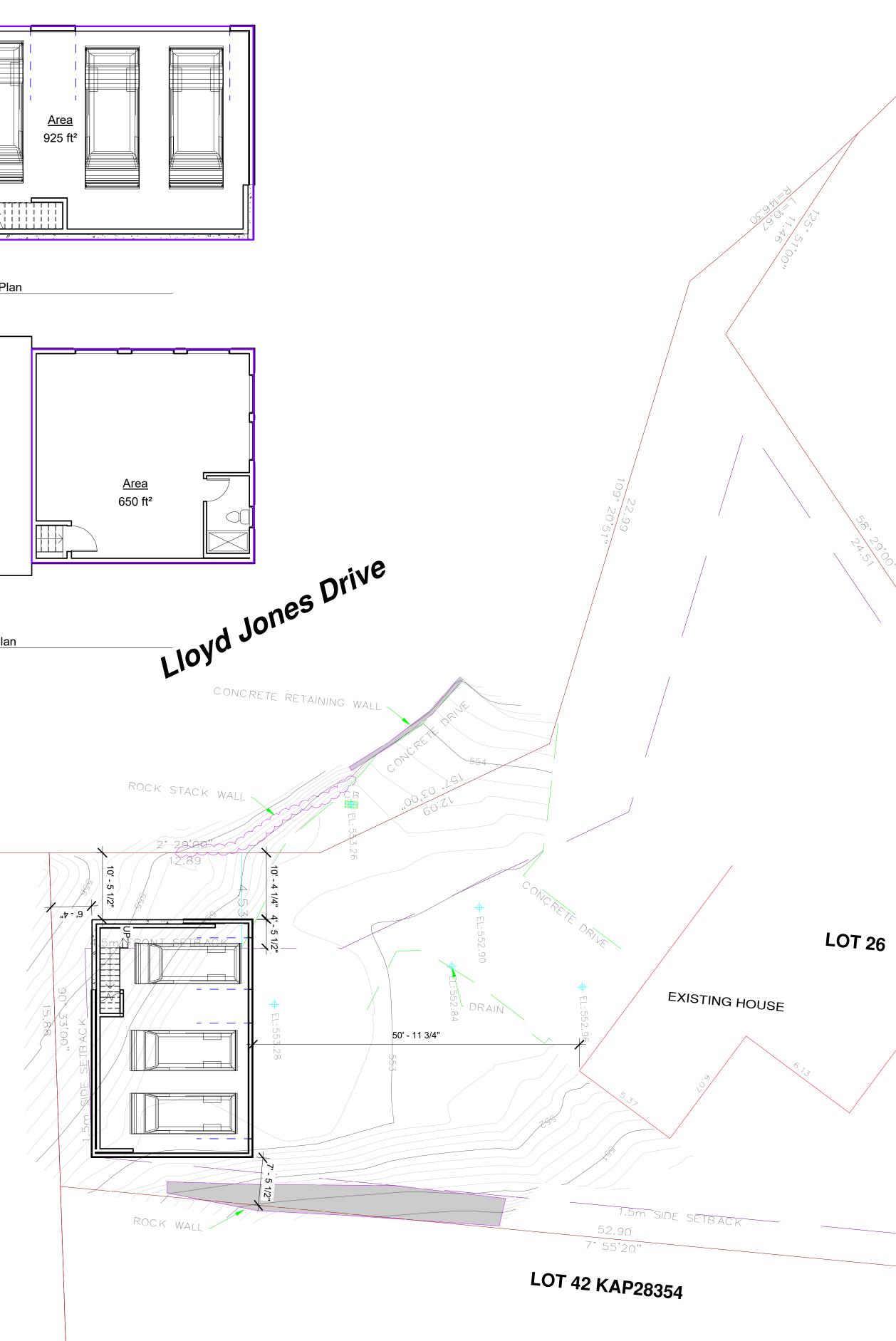


2 Garage Floor Plan 1/8" = 1'-0"

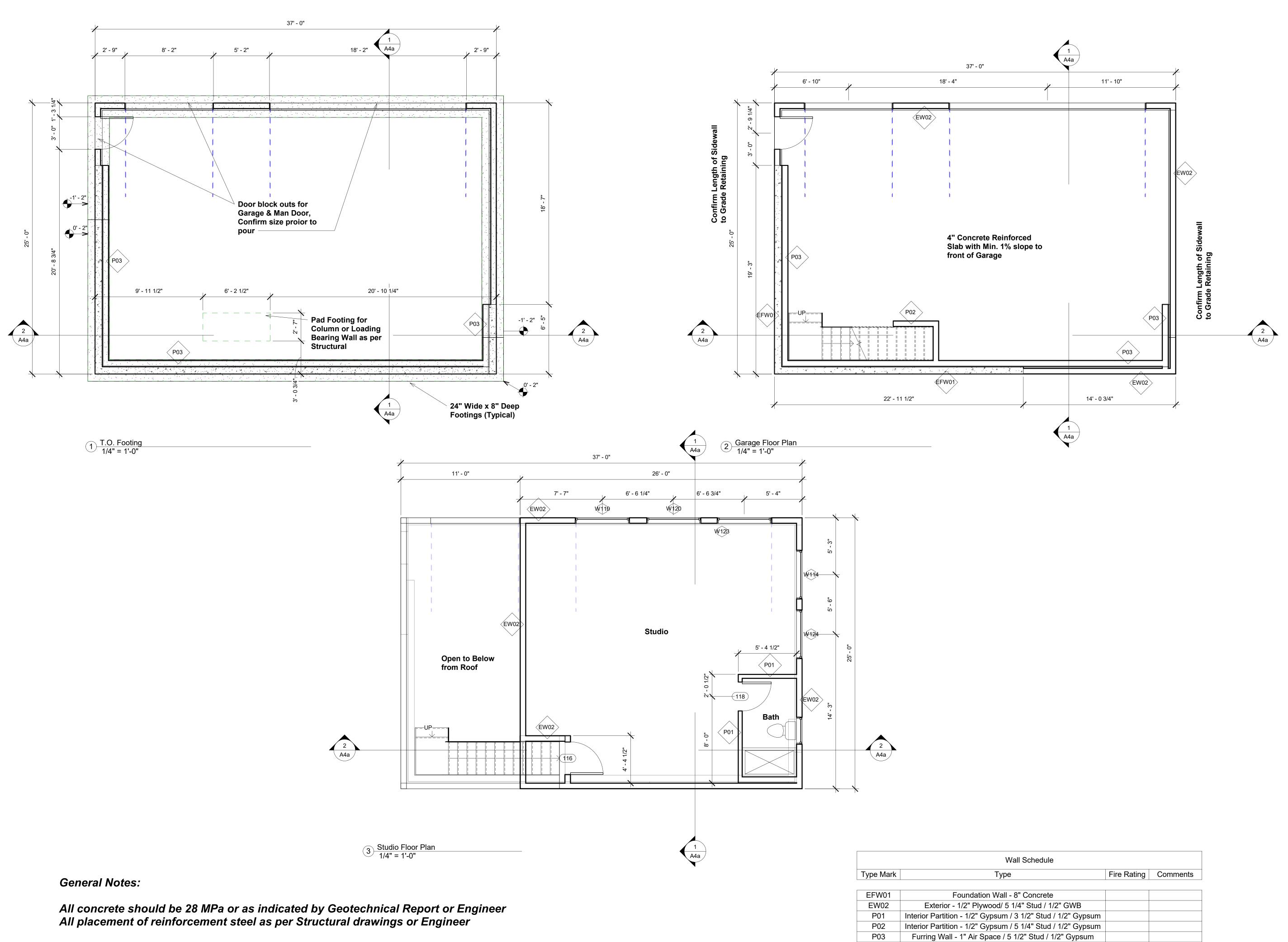


3 Studio Floor Plan 1/8" = 1'-0"

LOT A KAP47574



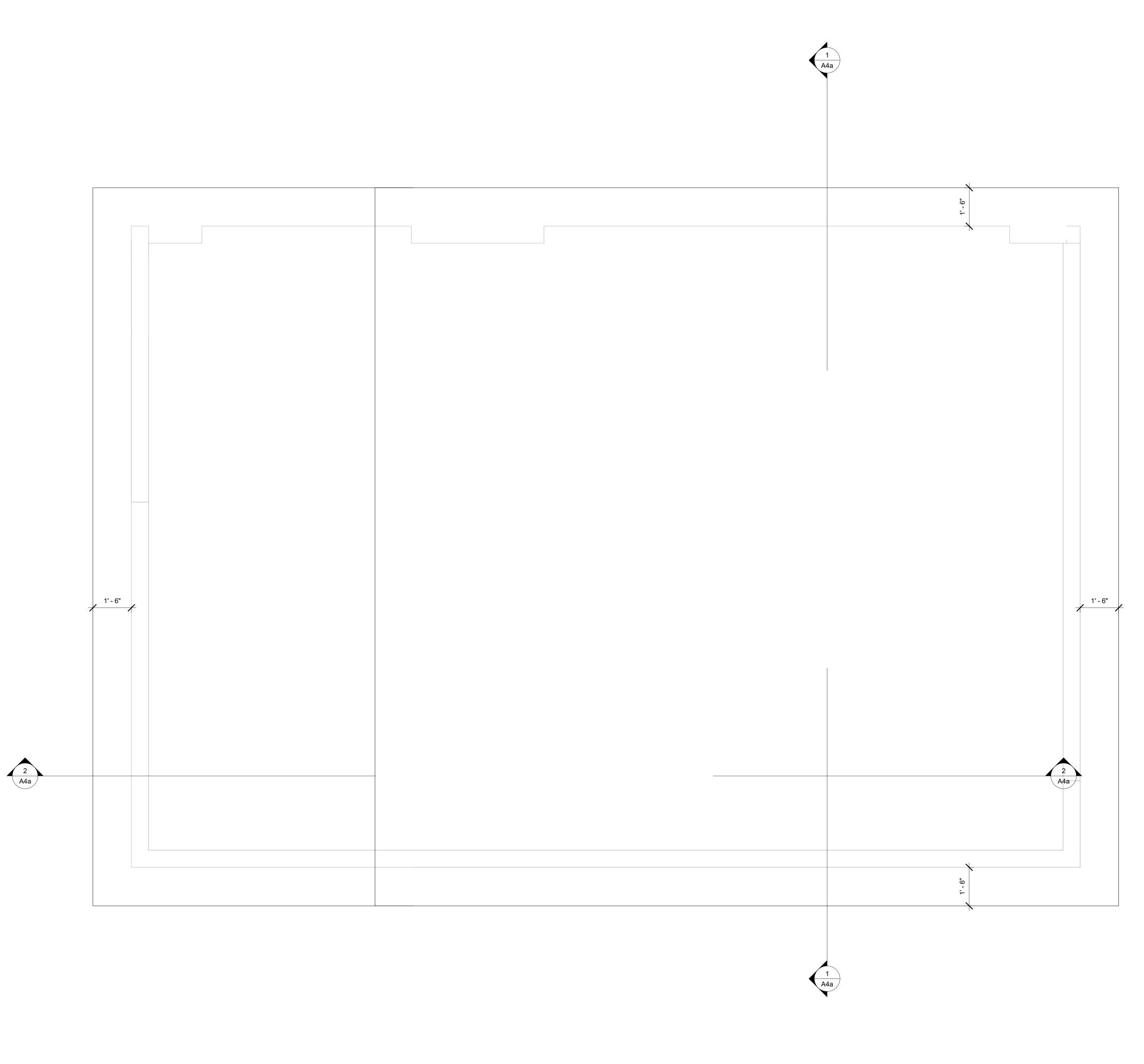
Greenerbydesign.ca www.greenerbydesign.ca Consultant Address Phone Fax e-mail Consultant Address Phone Fax e-mail Consultant Address Phone Fax e-mail All construction shall comply with the requirements of the local codes and ordinances as well as the latest adopted edition of the BC Building Code. All dimensions, including rough opening sizes, are to be verified by the General Contractor prior to constuction and errors or omissions reported to the designer. Do not scale drawings. Exact location of mechanical, electrical and plumbing equipment subject to change due to site conditions. No Description Date	Design www.greenerbydesign.ca Consultant Address Phone Fax e-mail Consultant Address Phone Fax e-mail Consultant Address Phone Fax e-mail All construction shall comply with the requirements of the local codes and ordinances as well as the latest adopted edition of the BC Building Code. All dimensions, including rough opening sizes, are to be verified by the General Contractor prior to constuction and errors or omissions reported to the designer. Do not scale drawings. Exact location of mechanical, electrical and plumbing equipment subject to change due to site conditions.		
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Rusell Garage 932 Lloyd Jones Dr. Site Plan	932 Lloyd Jones Dr.	21-001 May 26, 2021 JA JA	Project number Date Drawn by Checked by
932 Lloyd Jones Dr. Site Plan Project number 21-001 Date May 26, 2021 Drawn by JA	932 Lloyd Jones Dr. Site Plan Project number 21-001 Date May 26, 2021 Drawn by JA	A1	
932 Lloyd Jones Dr. Site Plan Project number 21-001 Date May 26, 2021 Drawn by JA Checked by JA	932 Lloyd Jones Dr. Site Plan Project number 21-001 Date May 26, 2021 Drawn by JA Checked by JA	As indicated	Scale



All dimensions are to outside face of concrete foundation or exterior face of plywood sheathing, typical

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	Fire Rating	Comments
rete		
/ 1/2" GWB		
tud / 1/2" Gypsum		
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www.greenerbydesign.ca Consultent Address Address Phone Benall Consultent Address Phone Benall Consultent Address Phone Benall All construction shall comply with the requirements of the local codes and ordinances as well as the latest adopted edition of the BC Building Code. All dimensions, including rough opening sizes, are to be verified by the General Contractor prior to constuction and errors or omissions reported to the designer. Do not scale drawings. Exact location of mechanical, electrical and plumbing equipment subject to change due to site conditions. No Description Date Gas2 Lloyd Jones Dr. Floor Plans Project number 21-001 Date May 26, 2021 Drawn by Jim Anderson Checked by A2Ba Scale 1/4" = 1-0"		Greener By Design	
Address Phone Fax e-mail Consultant Address Phone Fax e-mail All construction shall comply with the requirements of the local codes and ordinances as well as the latest adopted edition of the BC Building Code. All dimensions, including rough opening sizes, are to be verified by the General Contractor prior to constuction and errors or omissions reported to the designer. Do not scale drawings. Exact location of mechanical, electrical and plumbing equipment subject to change due to site conditions. No Description Date Head Head Head Head Head Head Head Head		www.greenerbydesign.ca	
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Floor Plans Project number 21-001 Date May 26, 2021 Drawn by Jim Anderson		Rusell Garage	
Date May 26, 2021 Drawn by Jim Anderson	9	•	
Checked by JA A2a J/4" = 1'-0"	Date	May 26, 2021	
Scale 1/4" = 1'-0"		ed by JA	12:02:18 PM
	Scale		5/26/2021 1





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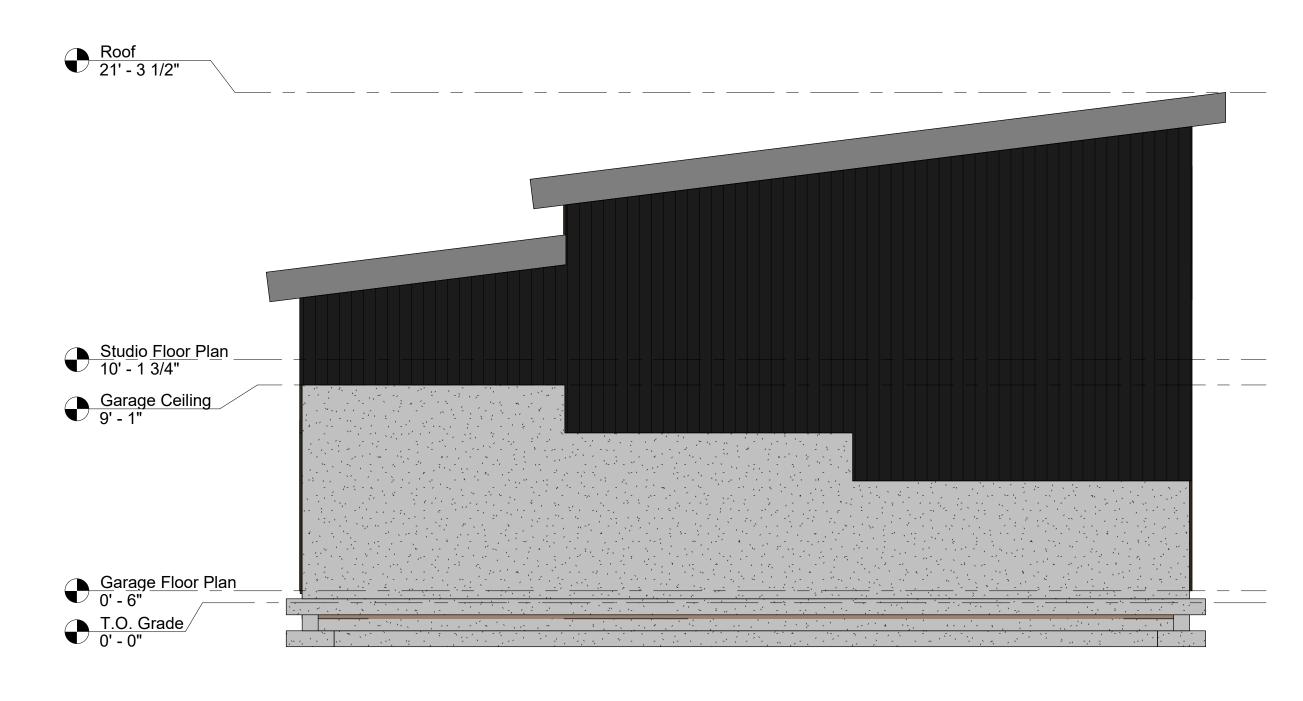
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No.	Description	Date	
	Rusell Garage		
9	32 Lloyd Jones	Dr.	
	Roof Plan		
Project	number	21-001	
Date	te May 26, 2021		
Drawn	^{by} Jim A	Anderson	
Checke	ed by	JA	
	A2b		
Scale	1/2	2" = 1'-0"	

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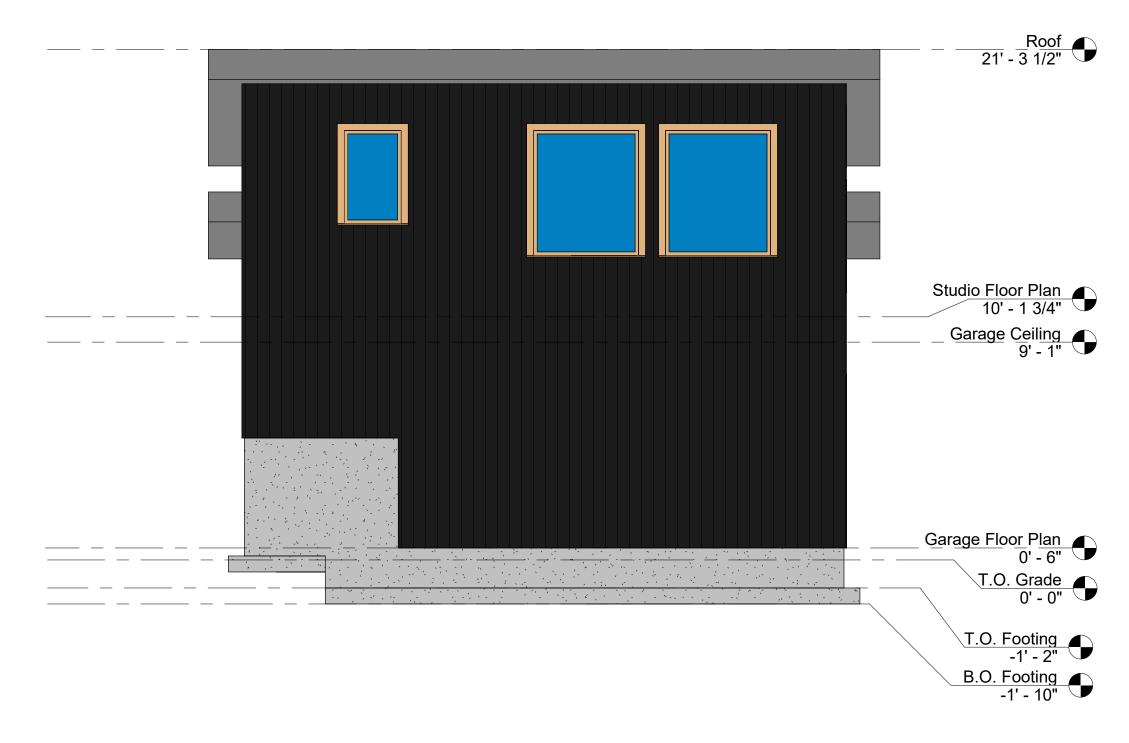




1 South 1/4" = 1'-0"

All dimensions are to outside face of concrete foundation or exterior face of plywood sheathing, typical

B.O. Footing -1' - 10"



3 East 1/4" = 1'-0"



2 North 1/4" = 1'-0"

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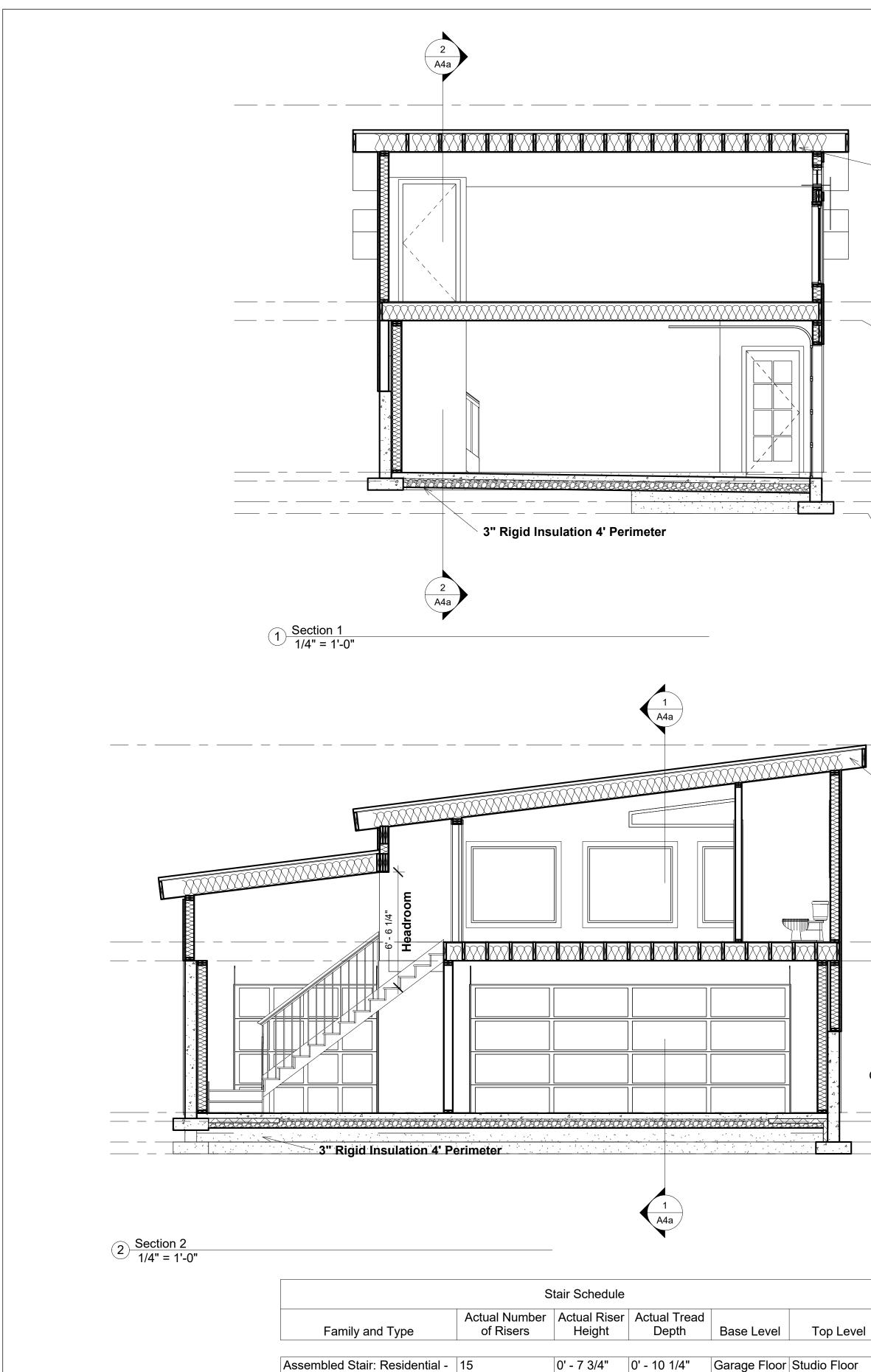
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No.	Description	Date
	Rusell Garage	
9	32 Lloyd Jones	Dr.
	Elevations	
	Lievalions	
Project	number	21-001
Date	May	26, 2021
Drawn		nderson
Checke	ed by	JA
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	A3a	
Scale	1//	4" = 1'-0"

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		Door Sch	edule	
Door Number	Level	Door Type	Door Size	Comments
112	Carago Floor Dian	Exterior Door	36" x 84"	
	Garage Floor Plan			
113	Garage Floor Plan	Garage Door	18' x 7'6"	
				1
114	Garage Floor Plan	Garage Door	8' Wide x 7' 6" Tall	

32" x 80"

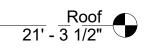
Plan

Plan

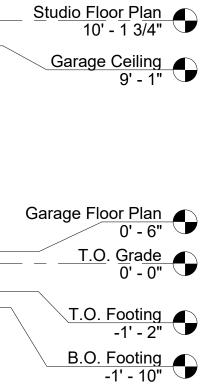
Closed 2 Sides

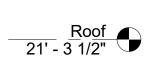
118 Studio Floor Plan

Interior

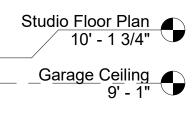


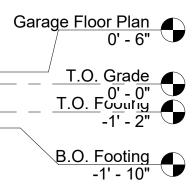
Truss Design as per Engineered Drawings, Final Ceiling Height to Be Confirmed





Truss Design as per Engineered Drawings,
 Final Ceiling Height to Be Confirmed





Wall Schedule				
Type Mark	Туре	Fire Rating	Comments	
EFW01	Foundation Wall - 8" Concrete			
EW02	Exterior - 1/2" Plywood/ 5 1/4" Stud / 1/2" GWB			
P01	Interior Partition - 1/2" Gypsum / 3 1/2" Stud / 1/2" Gypsum			
P02	Interior Partition - 1/2" Gypsum / 5 1/4" Stud / 1/2" Gypsum			
P03	Furring Wall - 1" Air Space / 5 1/2" Stud / 1/2" Gypsum			

	Window Schedule					
			Head	Rough Opening	Rough Opening	
Mark	Туре	Level	Height	Width	Height	
W114	Casement with Trim	Studio Floor Plan	7' - 10"	4' - 6"	5' - 4"	
W116	Casement with Trim	Studio Floor Plan	7' - 10"	2' - 6"	4' - 0"	
W118	Casement with Trim	Studio Floor Plan	5' - 6"	5' - 0"	4' - 6"	
W119	Casement with Trim	Studio Floor Plan	5' - 6"	5' - 0"	4' - 6"	
W120	Casement with Trim	Studio Floor Plan	5' - 6"	5' - 0"	4' - 6"	
W123	Trapezoid_Fixed_Windo w_11501	Studio Floor Plan	8' - 6"	9' - 0"	2' - 0"	
W124	Casement with Trim	Studio Floor Plan	7' - 10"	4' - 6"	5' - 4"	

R01 Roof Type

EFW01 Foundation Wall

EW02 Exterior Wall Type (Typical Unless Noted) Effective R-Value 17.97 RSI 3.17 R Value DSI Value

- Exterior Air -8" Exposure Taped and Se -1/2" Plywood -2x6 Wood St -6 mil Poly Va -1/2" Gypsum - Interior Pain -Interior Air Fi

P01 Interior Partition Type (Typical Unless Noted)

-1/2" Gypsum Wall Board -2x4 Wood Studs @ 24" OC -1/2" Gypsum Wall Board

P02 Interior Insulated Furring Wall Inside Concrete Foundation Effective R-Value 17.78 RSI 3.13

- Exterior Air -8" Concrete -1" Air Space -2x6 Wood St -6 mil Poly Va

-1/2" Gypsum - Interior Pain -Interior Air Fi

F01 Floor Type

-4" Concrete Polished Finish -6 mil Poly Vapour Barrier -4" Compacted Radon Approved Gravel, Mechanical to provide venting as required by Code -3" Rigid Insulation R15, Perimeter Insulation as Shown

F02 Floor Type

-Finishes TBD -Vapour Barrier underside of stairs

-Standing Seam Metal Roof w/Membrane -1/2" Plywood Sheating -Trusses as per Engineered Roof Drawings -R36 Batt or Blown Insulation -6 mil Poly Vapour Barrier -5/8" Gypsum Ceiling Board

-8" Concrete R 0.58 RSI 0.10 -Perimeter 3" Rigid Insulation R15 as shown

	R value	RSI Value	
Film	0.17	0.03	
Vertical Hardie Siding -Tyvex Building Wrap	0.15	0.03	
Sealed			
d Sheathing	0.62	0.11	
Studs @ 24" OC w/R24 Insulation	15.90	2.80	
'apour Barrier	0.00	0.00	
n Wall Board	0.45	0.08	
nt Finish	0.00	0.00	
Film	0.68	0.12	

	R Value	RSI Value
[.] Film	0.17	0.03
R 0.58 RSI 0.10	0.58	0.10
9	0.00	0.00
Studs @ 24" OC w/R24 Insulation	15.90	2.80
'apour Barrier	0.00	0.00
n Wall Board	0.45	0.08
nt Finish	0.00	0.00
Film	0.68	0.12

-3/4" T&G Plywood Subfloor -11 7/8" Joists as per Engineered Floor Drawings filled with 10" R36 Insulation

-5/8" Gypsum Type X Ceiling Board including

Model	Material	Finish	Glazing Type
Model	wateria	FIIISII	туре
	I		

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932 Lloyd Jones Dr.					
Building Sections					
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Drawn	by Jim A	nderson			
Check	ed by	JA			
A4a					
Scale	1/2	l" = 1'-0"			